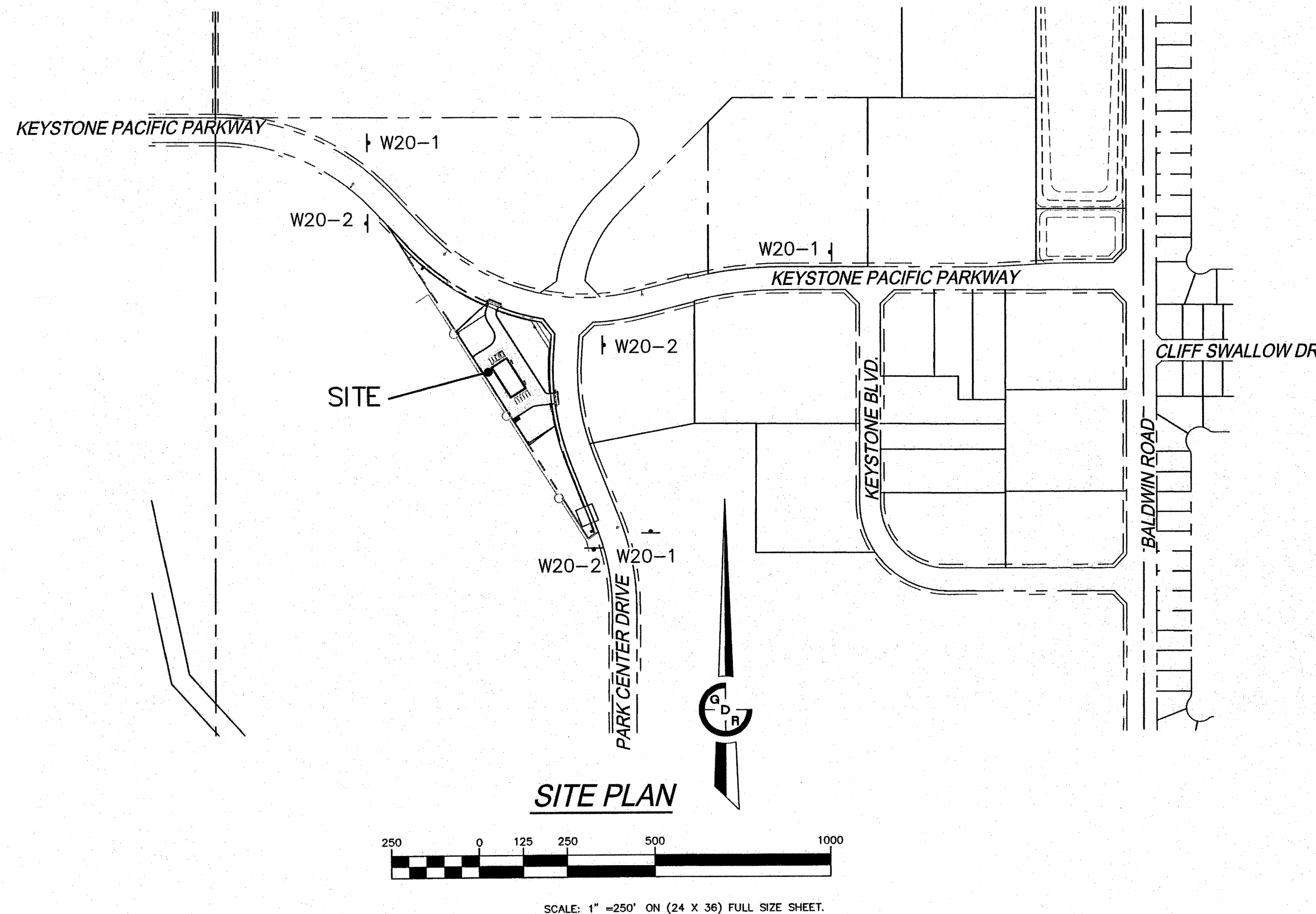


STATE OF CALIFORNIA

KEYSTONE WAREHOUSE (LOT G) CIVIL ON-SITE IMPROVEMENT PLANS

A.P.N. 021-085-020

CITY OF PATTERSON, STANISLAUS COUNTY, CALIFORNIA



ABBREVIATIONS:

AC	ASPHALTIC CONCRETE
APN	ASSESSORS PARCEL NUMBER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
BSW	BACK OF SIDEWALK
C	CONCRETE
CC	CURB CUT
CO	CLEANOUT
E	ELECTRICAL
EG	EXISTING GROUND
F & I	FURNISH AN INSTALL
FF	FINISH FLOOR
FG	FINISH GROUND
FL	FLOWLINE
GB	GRADE BREAK
INV	INVERT
IRR	IRRIGATION
LF	LINEAR FEET
LS	LANDSCAPE
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
PSI	POUNDS PER SQUARE INCH
PVC	POLYVINYL CHLORIDE
PUE	PUBLIC UTILITY EASEMENT
R & D	REMOVE AND DISPOSE
S	SLOPE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SF	SQUARE FEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TC	TOP OF CURB
TEL	TELEPHONE
TV	TELEVISION (CABLE)
TYP	TYPICAL
U	UTILITY
W	WATER
WM	WATER METER

SITE INFORMATION

APN NO: 021-085-020
BUILDING EXTERIOR FOOTPRINT AREA: 4,950 S.F.
SITE AREA: 2.40 ACRES (104,741 S.F.)

GRADING NOTE

EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SOILS REPORT BY:

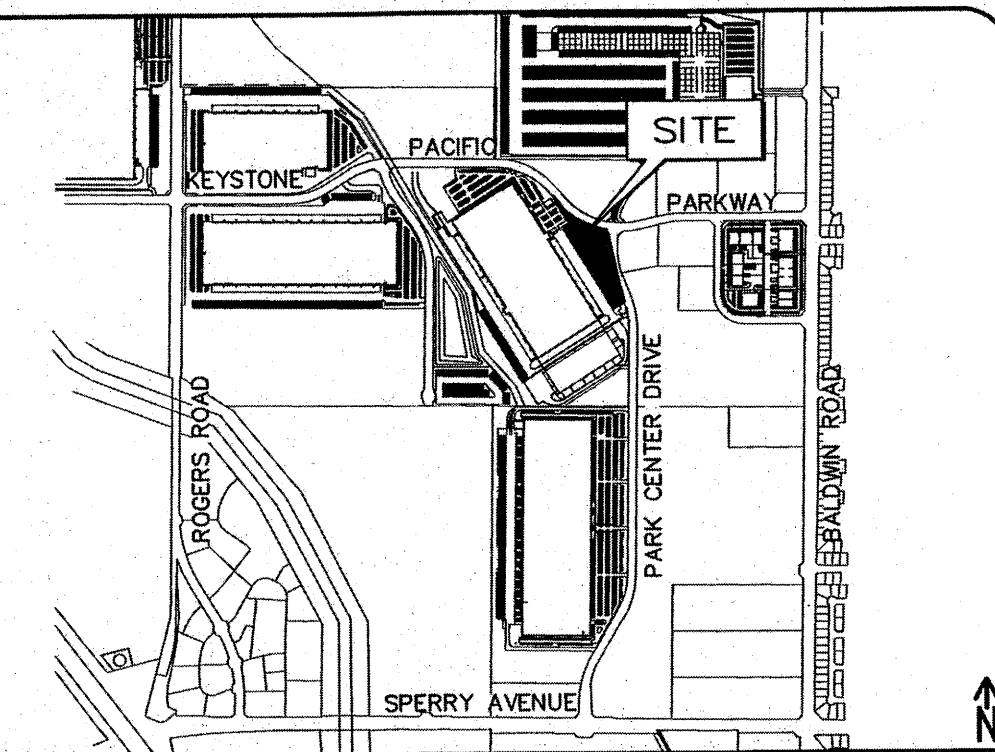
GEOTECHNICAL REPORT PROVIDED BY:
NATS (NORTHERN AMERICAN TECHNICAL SERVICES)
4713 ENTERPRISE WAY, SUITE 4, MODESTO, CA 95356
ATTN: ABEL SOARES, R.G.E.
PHONE: (209) 545-1108
PROJECT NO. 63-1

- NOTE:
1. CONTRACTOR TO COMPLETE AND PROVIDE CONTRACTOR INFORMATION PRIOR TO PERMIT ISSUANCE.
 2. CONTRACTOR TO VERIFY PROOF OF A CURRENT THE CLASS (OR CLASSES) OF LICENSE AS SPECIFIED IN THE "NOTICE TO CONTRACTORS" PRIOR TO PERMIT ISSUANCE.
 3. AN ENCROACHMENT PERMIT IS REQUIRED AND MUST BE OBTAINED BEFORE WORK CAN BE STARTED IN THE PUBLIC RIGHT-OF-WAY.

APPROVED BY THE CITY ENGINEER, CITY OF PATTERSON
REVIEWED FOR CONFORMANCE WITH CITY OF PATTERSON
REQUIREMENTS ONLY. SINCE PLANS WERE PREPARED BY
OTHERS, NO RESPONSIBILITY FOR THE ADEQUACY OF THE
DESIGN IS EXPRESSED.

BY _____ DATE _____

SIGN CODE	MESSAGE	PANEL SIZE	NUMBER OF POST	NUMBER OF SIGNS
W20-1	ROAD WORK AHEAD	48"x48"	3	3
G20-2	END ROAD WORK	18"x36"	3	3



EXISTING	PROPOSED
W	WATER LINE
IRR	IRRIGATION
SS	SEWER LINE
SD	STORM DRAIN LINE
G	GAS LINE
E	ELECTRICAL LINES
TEL	TELEPHONE LINES
TV	CABLE LINES
	RIGHT OF WAY
	CHAIN LINK FENCE
	EDGE OF PAVEMENT
	BLOCK WALL
	GRADE BREAK
	SAWCUT
	FIRE HYDRANT
	VALVE
	SIGN
	ELEVATION
	CURB GUTTER & SIDEWALK
	DRIVEWAYS
	TREE
	WATER METER
	ELECTROLIER
	UTILITY BOX
	SIGNAL BOX
	ELECTRICAL BOX
	REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
	CLEANOUT
	AREA DRAIN
	GRADE
	MANHOLE
	DRAIN INLET

Reviewed for Code Compliance
CSG CONSULTANTS INC.

DEC 04 2015

Reviewed By
[Signature]

LEGEND & UTILITIES

- C1 COVER SHEET
C2 GENERAL NOTES & SPECIFICATIONS
C3 DEMOLITION AND GRADING PLAN
C4 PAVING AND UTILITY PLAN
C5 CONSTRUCTION DETAILS
C6 CITY STANDARD DETAILS
C7 EROSION CONTROL PLAN

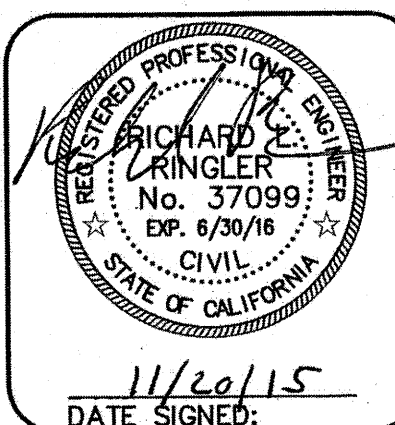
CIVIL SHEET INDEX

COVER SHEET

GDR ENGINEERING, Inc.
ENGINEERING/SURVEYING/PLANNING
3525 MITCHELL ROAD, SUITE G Ceres, CA 95307
TELEPHONE: (209) 538-3360 FAX: (209) 538-7370
E-MAIL: gdreng@gdreng.com

REVISIONS	BY

COMMERCIAL ARCHITECTURE INC.
THEODORE J. BRANDVOLD, ARCHITECT
616 14TH STREET, MODESTO, CA 95354
PH (209) 571-8158 FAX (209) 571-8160



PROJECT: KEYSTONE WAREHOUSE (LOT G)
CLIENT: KEYSTONE PACIFIC BUSINESS PARK, LLC
LOCATION: 2280 KEYSTONE PACIFIC PARKWAY
PATTERSON, CA 95363
A.P.N.: 021-085-020

DRAWN JA
CHECKED
DATE 11/20/2015
SCALE AS NOTED
JOB NO. 15050
SHEET C1
OF 7 SHEETS



CONTRACTOR SHALL VERIFY ACTUAL DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION...CALL "UNDERGROUND SERVICE ALERT" (U.S.A.) (TOLL FREE 800-642-2444) PRIOR TO TRENCHING, GRADING, EXCAVATION, DRILLING, PIPE PUSHING, PLANTING TREES, DIGGING POST HOLES FOR FENCES, ETC.(U.S.A.) WILL SUPPLY INFORMATION OR LOCATE AND MARK ANY UNDERGROUND FACILITIES.

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

UNDERGROUND FACILITIES SHOWN WERE LOCATED BASED ON INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASURING SURFACE FEATURES. NO ATTEMPT WAS MADE TO LOCATE OTHER UNDERGROUND FACILITIES THAT WERE NOT READILY APPARENT FROM A VISUAL INSPECTION OF SURFACE FEATURES.

THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES MUST BE VERIFIED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

\\SERVER\Production\Projects\15050 Comm Arch - Keystone Lot 5\ENGINEERING FILES AND DRAWINGS\DRAWINGS\15050DSSN-revised.dwg Plot Nov 20, 2015 at 10:10am

GENERAL

1. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE APPROVED PLANS AND SPECIFICATIONS AND THE FOLLOWING:

CITY OF PATTERSON STANDARD SPECIFICATIONS.

CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS (CALTRANS STANDARD SPECIFICATIONS) LATEST EDITION, AS REFERENCED IN THE PLANS AND CITY STANDARDS.

CONTRACT CHANGE ORDERS ISSUED BY THE DEVELOPER

2. IN ABSENCE OF MORE DETAILED REQUIREMENTS PROVIDED IN PROJECT PLANS AND SPECIFICATIONS AND LOCAL AGENCY STANDARDS, IT IS INTENDED THAT CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

3. THIS SET OF IMPROVEMENT PLANS IS VALID FOR CONSTRUCTION PURPOSES ONLY AFTER BEING SIGNED BY THE CITY OF PATTERSON.

4. ALL WORK SHALL BE INSPECTED BY THE CITY OF PATTERSON AND CONTRACTOR SHALL REQUEST INSPECTIONS AND TESTING IN ACCORDANCE WITH THE CITY OF PATTERSON STANDARD SPECIFICATIONS AND OTHER DOCUMENTS THAT MAY BE IDENTIFIED BY CITY AND/OR OWNER REGARDING INSPECTION AND TESTING REQUIREMENTS.

5. NO WORK SHALL BE STARTED IN THE PUBLIC RIGHT-OF-WAY UNTIL AN ENCROACHMENT PERMIT IS OBTAINED FROM THE CITY OF PATTERSON DEPARTMENT OF PUBLIC WORKS. COSTS OF OBTAINING PERMIT AND COMPLYING WITH CONDITIONS OF PERMIT SHALL BE INCLUDED IN THE BID PRICE FOR THE VARIOUS ITEMS OF WORK INVOLVED.

6. UNDERGROUND FACILITIES SHOWN ON THE PLANS WERE LOCATED USING INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASURING SURFACE FEATURES. NO ATTEMPT WAS MADE TO LOCATE ANY OTHER UNDERGROUND FACILITIES THAT WERE NOT SHOWN ON UTILITY COMPANY PLANS OR WERE NOT READILY APPARENT FROM INSPECTION OF SURFACE FEATURES. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT.

PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY MEMBERS OF THE UNDERGROUND SERVICE ALERT (U.S.A.) 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER (800) 227-2800. THE CONTRACTOR SHALL RECORD THE U.S.A. ORDER NUMBER AND HAVE THE ORDER NUMBER AVAILABLE TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION.

THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COORDINATE AND COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY TO FIELD VERIFY ALL EXISTING IMPROVEMENTS, BOTH HORIZONTALLY AND VERTICALLY, AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO, SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER IN WRITING FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THIS WORK SHALL BE INCLUDED IN THE BID PRICE FOR THE VARIOUS ITEMS OF WORK INVOLVED. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE, IN WRITING BY THE ENGINEER, PRIOR TO START OF CONSTRUCTION.

7. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER, ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN TO THE CITY FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

THE CONTRACTOR SHALL CONFORM TO ALL APPLICABLE OCCUPATIONAL SAFETY AND HEALTH STANDARDS, RULES, REGULATIONS AND ORDERS ESTABLISHED BY THE STATE OF CALIFORNIA AND LOCAL AGENCIES. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC CONVENIENCE AND PUBLIC SAFETY IN ACCORDANCE WITH THE PROVISIONS IN SECTIONS 7-1.03 & 7-1.04 OF THE CALTRANS STANDARD SPECIFICATIONS. COSTS FOR COMPLYING WITH THESE PROVISIONS SHALL BE INCLUDED IN THE BID PRICE FOR THE VARIOUS ITEMS OF WORK INVOLVED.

THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 5' OR MORE. EXCAVATIONS OF 5 FEET OR MORE IN DEPTH WILL REQUIRE AN EXCAVATIONS PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY. FOR TRENCHES 5 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH SECTION 7-1.02K(6) OF THE CALTRANS STANDARD SPECIFICATIONS.

8. ALL CONTRACTORS AND UTILITY COMPANIES INVOLVED IN THE CONSTRUCTION OF THIS PROJECT SHALL ATTEND PRE-JOB CONFERENCE ARRANGED BY THE DEVELOPER AND/OR ENGINEER. THE MEETING WILL BE HELD AT THE CITY DEPARTMENT OF PUBLIC WORKS OFFICE FOR THE PURPOSE OF HELPING TO COORDINATE CONSTRUCTION AND INSPECTION OF THE PROJECT.

CONSTRUCTION GENERAL

1. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PRESCRIBE THE DETAILS FOR THE CONSTRUCTION AND COMPLETION OF THE WORK WHICH THE CONTRACTOR HAS UNDERTAKEN TO PERFORM IN ACCORDANCE WITH PLANS, SPECIFICATIONS AND APPLICABLE STANDARDS. WHERE THE PLANS AND SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS, BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY DISCREPANCIES OR AMBIGUITIES THAT MAY EXIST IN THE PLANS OR SPECIFICATIONS.

UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, TOOLS, EQUIPMENT AND INCIDENTALS, AND DO ALL WORK INVOLVED IN EXECUTING THE WORK IN A SATISFACTORY AND WORKMANLIKE MANNER.

2. THE BIDDER SHALL EXAMINE CAREFULLY THE SITE OF THE WORK CONTEMPLATED, THE PLANS, SPECIFICATIONS AND THE PROPOSAL OR BID FORMS THEREOF. THE SUBMISSION OF A BID SHALL BE CONCLUSIVE EVIDENCE THAT THE BIDDER HAS INVESTIGATED AND IS SATISFIED AS TO THE CONDITIONS TO BE ENCOUNTERED, AS TO THE CHARACTER, QUALITY AND SCOPE OF WORK TO BE PERFORMED, THE QUANTITIES OF MATERIALS TO BE FURNISHED AND AS TO THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.

IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE INTENT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

3. THE CONTRACTOR SHALL MAINTAIN A SET OF FULL-SIZED AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL WATER, SEWER AND STORM DRAINAGE PIPING, ELECTRICAL AND MECHANICAL EQUIPMENT, CONDUITS, STRUCTURES AND OTHER FACILITIES. THE AS-BUILT PLANS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULL BOXES AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING AT LEAST 48 HOURS PRIOR TO BACKFILLING OF ANY PIPE WHICH STUBS TO A FUTURE PHASE OF CONSTRUCTION FOR INVERT VERIFICATION.

4. APPROPRIATE DUST CONTROL SHALL BE PROVIDED FOR ALLEVIATION OR PREVENTION OF DUST NUISANCE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL MAINTAIN DUST CONTROL DURING CONSTRUCTION AND OTHER TIMES IN ACCORDANCE WITH THE REQUIREMENTS OF CITY OF PATTERSON.

THE CONTRACTOR SHALL USE ALL REASONABLE EFFORTS TO OBTAIN NON-POTABLE WATER FOR CONSTRUCTION OR DUST CONTROL PURPOSES. SEE ITEM 3 UNDER MISCELLANEOUS ALSO.

5. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED, RELOCATED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. THE COST OF RELOCATING, REMOVING AND/OR REPLACING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR RELATED ITEMS OF WORK.

6. THE CONTRACTOR SHALL EXERCISE EXTREME CARE IN CONSTRUCTION AND REMOVAL OPERATIONS TO PROTECT EXISTING IMPROVEMENTS AND UTILITIES, ADJACENT PROPERTY, INCLUDING LAWN, SHRUBBERY, TREES, IRRIGATION FACILITIES, ETC., SO AS NOT TO REMOVE, BREAK, OR DAMAGE ANY IMPROVEMENT OR FACILITY. ANY IMPROVEMENT OR FACILITY THAT IS REMOVED, BROKEN OR DAMAGED BY ACTION OF THE CONTRACTOR EITHER THROUGH HIS NEGLIGENCE OR OPERATIONS SHALL BE REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE.

7. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COSTS RESULTING FROM ANY FIELD CHANGES MADE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE OWNER AND ENGINEER.

8. IF CONSTRUCTION WATER WILL BE OBTAINED FROM THE CITY'S FIRE HYDRANT(S), A FIRE HYDRANT USE PERMIT APPLICATION MUST BE SUBMITTED AND APPROVED BY THE PUBLIC WORKS DEPARTMENT. FEES, DEPOSITS, AND WATER RATES ARE LISTED ON THE APPLICATION.

BENCHMARK:
CHISELED X ON NORTH NOSE OF MEDIAN ON SOUTH LEG OF BALDWIN ROAD ON SOUTH SIDE OF SPERRY AVENUE.
ELEVATION=130.70

THIS TOPOGRAPHIC SURVEY PERFORMED 08/24/2015. FACILITIES SHOWN ON THIS MAP ARE BASED ON AN OBSERVATION OF SURFACE FEATURES AND FROM RECORD INFORMATION PROVIDED JOINT TRENCH PLANS. NO ATTEMPT WAS MADE TO LOCATE UNDERGROUND FACILITIES THAT WERE NOT READILY APPARENT FROM A VISUAL INSPECTION OF SURFACE FEATURES. THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES MUST BE VERIFIED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

SURVEY NOTES

CONSTRUCTION NOTES AND SPECIFICATIONS

GRADING

1. CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH THE SOILS REPORT FOR THE PROJECT. THE REGULATORY AGENCY STANDARD SPECIFICATION AND CALTRANS STANDARD SPECIFICATIONS SECTION 19 (LATEST EDITION).

2. SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK. GEOTECHNICAL FILE NO. 63-1, SEPTEMBER 8, 2015. COPIES OF THE SOILS REPORT MAY BE OBTAINED AT THE OFFICE OF NATS (NORTHERN AMERICAN TECHNICAL SERVICES), 4713 ENTERPRISE WAY, SUITE 4, MODESTO, CA. SOIL INVESTIGATIONS WERE CONDUCTED FOR DESIGN PURPOSES ONLY, AND THE DATA SHOWN IN THE REPORTS ARE FOR SUBSURFACE CONDITIONS FOUND AT THE TIME OF THE INVESTIGATION. THE OWNER AND ENGINEER DISCLAIM RESPONSIBILITY FOR THE INTERPRETATION BY THE CONTRACTOR OF DATA, SUCH AS PROJECTION OR EXTRAPOLATION, FROM THE TEST HOLES TO OTHER LOCATIONS ON THE SITE OF THE WORK. SOIL BEARING VALUES AND PROFILES, SOIL STABILITY AND THE PRESENCE, LEVEL AND EXTENT OF UNDERGROUND WATER FOR SUBSURFACE CONDITIONS DURING CONSTRUCTION OPERATIONS.

3. TESTING TO BE COMPLETED PER CITY REQUIREMENTS AND THE SOILS REPORT.

4. WHEN THE CONTRACTOR HAS COMPLETED ROUGH GRADING THE PADS, HE SHALL NOTIFY THE OWNER IN WRITING. THE OWNER WILL ORDER PAD CERTIFICATIONS TO BE COMPLETED. PADS OUTSIDE OF THE PLUS OR MINUS 0.1 FOOT GRADE DIFFERENTIAL, UNLESS APPROVED BY THE OWNER, WILL REQUIRE RE-GRADING TO THAT TOLERANCE.

5. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE WATER QUALITY CONTROL BOARD (SWQCB), ORDER NO. 92-06-DWQ, NPDES PERMIT REQUIRED. SUBMIT GENERAL PERMIT NO. CA5000002 TO CITY ENGINEER IF USED FOR THIS PROJECT. THE CONTRACTOR SHALL DEVELOP, IMPLEMENT AND MONITOR A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IN ACCORDANCE WITH THE SWQCB REGULATIONS.

SURVEYING

1. THE CONTRACTOR SHALL EXERCISE DUE CAUTION AND SHALL CAREFULLY PRESERVE BENCHMARKS, CONTROL POINTS, REFERENCE POINTS AND ALL SURVEY STAKES, AND SHALL BEAR ALL EXPENSES FOR REPLACEMENT AND/OR ERRORS CAUSED BY THEIR UNNECESSARY LOSS OR DISTURBANCE.

2. THESE PLANS HAVE BEEN PREPARED WITH THE INTENT THAT GDR ENGINEERING, INC. WILL BE PERFORMING THE CONSTRUCTION STAKING FOR THE PROJECT. IF GDR ENGINEERING, INC. DOES NOT PERFORM SUCH STAKING, THEN NOTICE IS HEREBY GIVEN THAT GDR ENGINEERING, INC. WILL NOT ASSUME RESPONSIBILITY FOR ERRORS AND OMISSIONS, IF ANY, WHICH COULD HAVE BEEN AVOIDED, CORRECTED OR OTHERWISE RESOLVED HAD GDR ENGINEERING, INC. PERFORMED THE CONSTRUCTION STAKING FOR THE PROJECT.

3. SURVEY STAKES PROVIDED BY THE ENGINEER SHALL CONSIST OF ONE SET FOR EACH OF THE FOLLOWING:

A. SEWER: MAIN PIPELINE OFFSET STAKES FOR LINE AND GRADE APPROXIMATELY EVERY THIRTY-THREE (33) FEET WITH STATIONING FOR SEWER LATERALS, CLEAN OUTS AND MANHOLE LOCATIONS.

B. WATER: MAIN PIPELINE OFFSET STAKES FOR LINE AND GRADE APPROXIMATELY EVERY FIFTY (50) FEET WITH STATIONING FOR WATER SERVICES AND OFFSETS FOR FIRE HYDRANT LOCATIONS.

C. STORM DRAIN: MAINLINE OFFSET STAKES FOR LINE AND GRADE APPROXIMATELY EVERY THIRTY-THREE (33) FEET WITH OFFSETS FOR DRAIN INLET AND MANHOLE LOCATIONS.

PIPES

SANITARY SEWER

1. CONSTRUCTION SHALL BE PER SECTION 7 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

2. MATERIALS SHALL BE PER SECTION 7 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

3. TESTING SHALL BE PER SECTION 7.14, 7.15, AND 7.16 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

WATER SYSTEM

1. CONSTRUCTION SHALL BE PER SECTION 5 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

2. WATER SERVICES SHALL BE PER CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

3. BEDDING AND BACKFILL SHALL BE PER SECTION 5.18 CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

4. DISINFECTION AND TESTING SHALL BE PER SECTION 5.17 CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

5. CONNECT TO EXISTING SHALL BE PER SECTION 5.16 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

STORM DRAINAGE

1. CONSTRUCTION SHALL BE PER SECTION 8 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

2. MATERIALS SHALL BE PER SECTION 8 OF THE CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

3. BACKFILL SHALL BE PER SECTION 8.10 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

4. TESTING SHALL BE PER SECTION 8.11 AND 8.12 OF CITY OF PATTERSON CITY STANDARD SPECIFICATIONS.

MISCELLANEOUS

1. ALL CONSTRUCTION ACTIVITIES, INCLUDING THE WARMING OF CONSTRUCTION VEHICLE ENGINES, SHALL BE LIMITED TO MONDAY THROUGH SATURDAY ONLY BETWEEN THE HOURS OF 7:00 AM AND 7:00 PM AND ON SUNDAY IF CONSTRUCTION ACTIVITIES ARE NO CLOSER THAN 300 FEET TO OCCUPIED RESIDENCES.

2. THE FOLLOWING KIT FOX RELATED IMPACT MITIGATION MEASURES SHALL BE IN EFFECT DURING PROJECT CONSTRUCTION:

A. ALL EXCAVATED HOLES OR TRENCHES, MORE THAN 2 FEET DEEP, SHALL BE COVERED AFTER EACH WORKING DAY OR BE EQUIPPED WITH ESCAPE RAMPS.

B. ALL CONSTRUCTION PIPES STORED OVER NIGHT SHALL BE INSPECTED FOR KIT FOXES

C. ALL FOOD RELATED TRASH ITEMS SHALL BE REMOVED AT LEAST ONCE A WEEK FROM CONSTRUCTION SITE

3. DUST CONTROL MEASURES SHALL INCLUDE THE FOLLOWING:

A. MATERIALS TRANSPORTED OFF-SITE SHALL BE COVERED, WETTED, OR 6 INCHES OF FREEBOARD PROVIDED TO LIMIT VISIBLE DUST EMISSIONS.

B. ALL OPERATIONS SHALL LIMIT OR REMOVE THE ACCUMULATION OF MUD OR DIRT FROM ADJACENT PUBLIC STREETS AT THE END OF THE DAY.

C. ALL STORAGE PILES SHALL BE STABILIZED WITH WATER OR CHEMICALS.

D. SPEEDS ON UNPAVED ROADS SHALL NOT EXCEED 15 MPH.

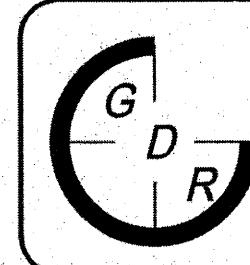
E. SUSPEND GRADING AND EXCAVATION IN WINDS OF OVER 20 MPH AS NECESSARY TO HELP CONTROL DUST.

Reviewed for Code Compliance
CSG CONSULTANTS INC.

DEC 04 2015

Reviewed By
Am/mb

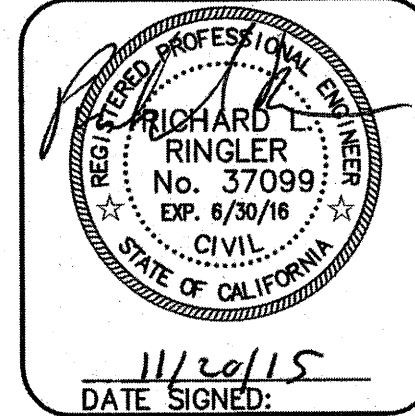
GENERAL NOTES & SPECIFICATIONS



GDR ENGINEERING, Inc.
ENGINEERING/SURVEYING/PLANNING
3525 MITCHELL ROAD, SUITE G CERES, CA 95307
TELEPHONE: (209) 538-3360 FAX: (209) 538-7370
E-MAIL: gdr engr@gdr engr.com

REVISIONS	BY

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THEODORE J. BRANDVOLD, ARCHITECT
616 14TH STREET, MODESTO, CA 95354
PH (209) 571-8158 FAX (209) 571-8160

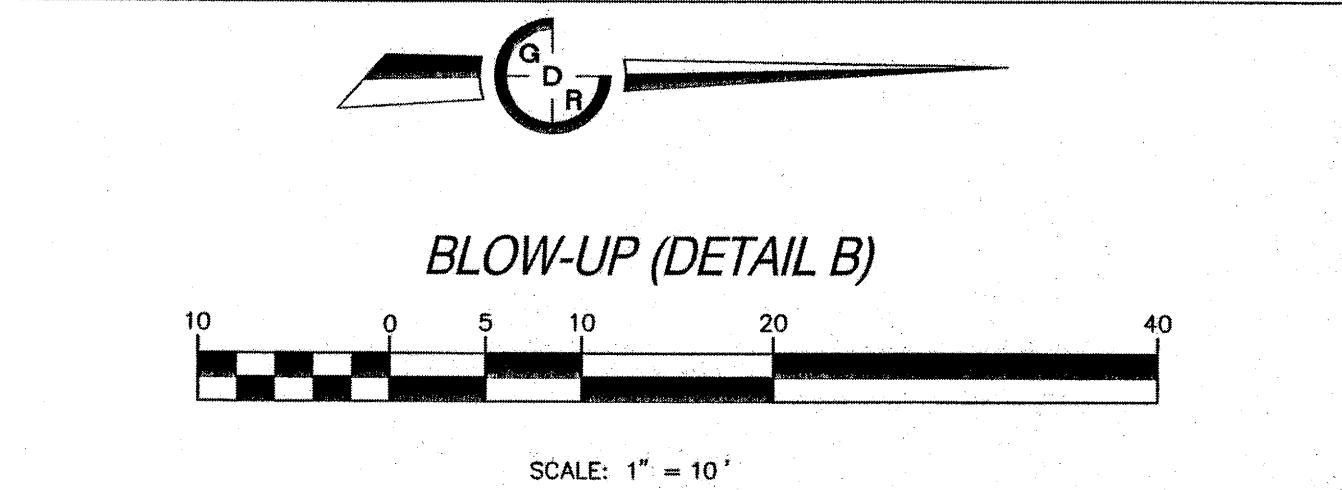
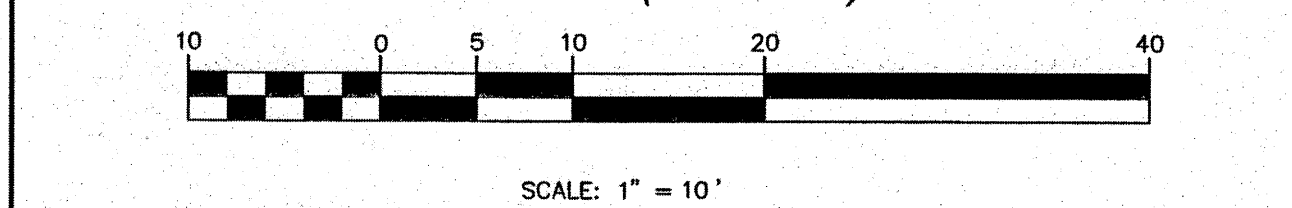
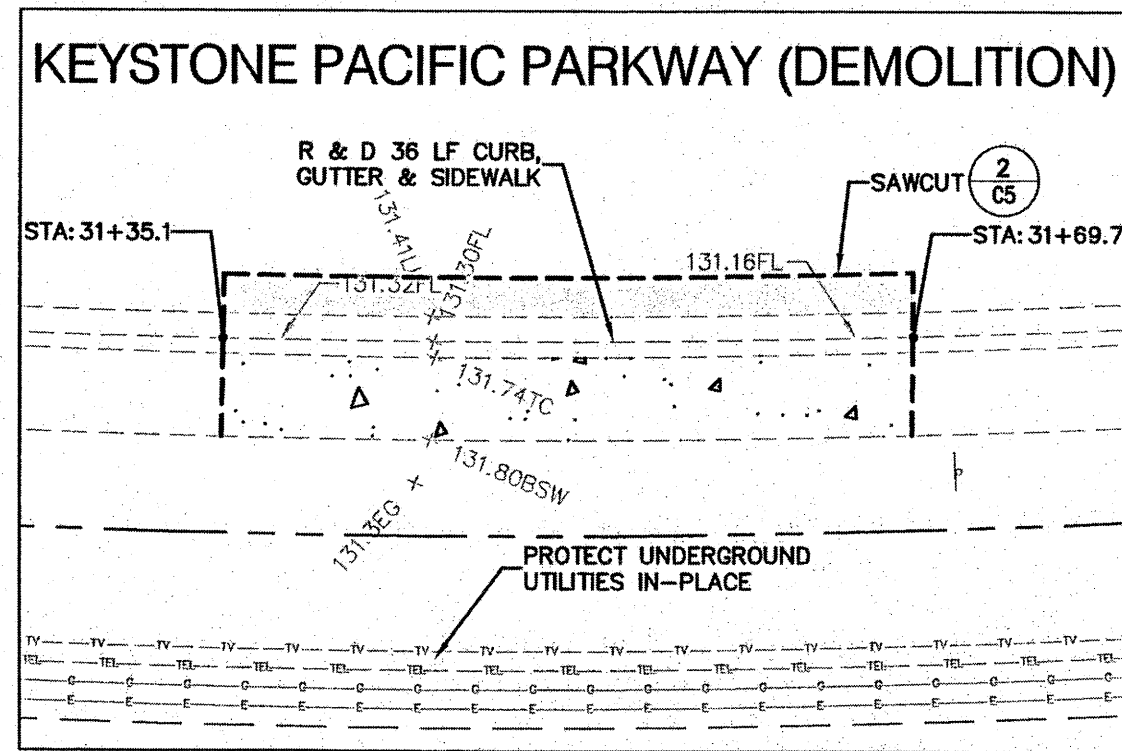
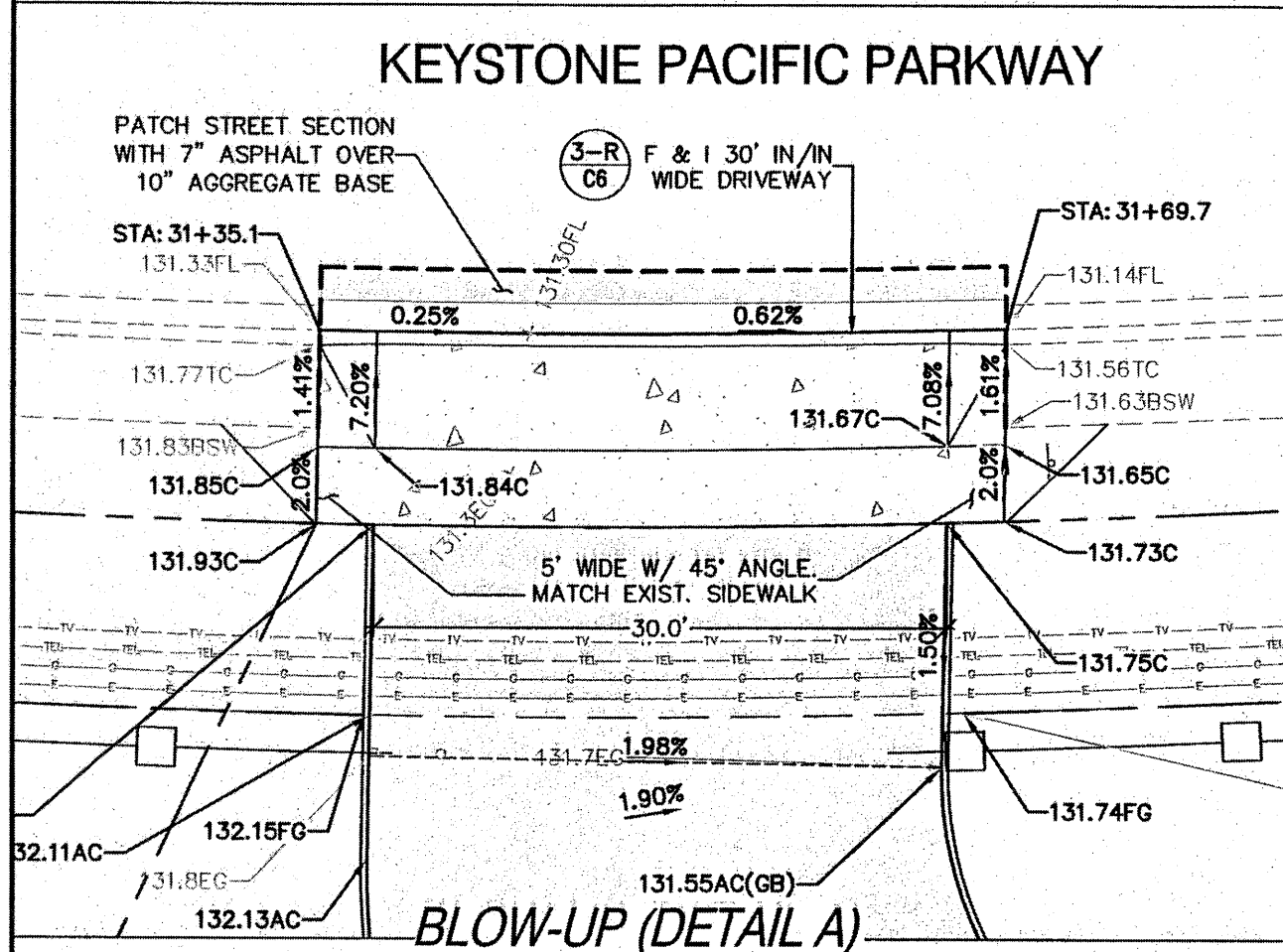
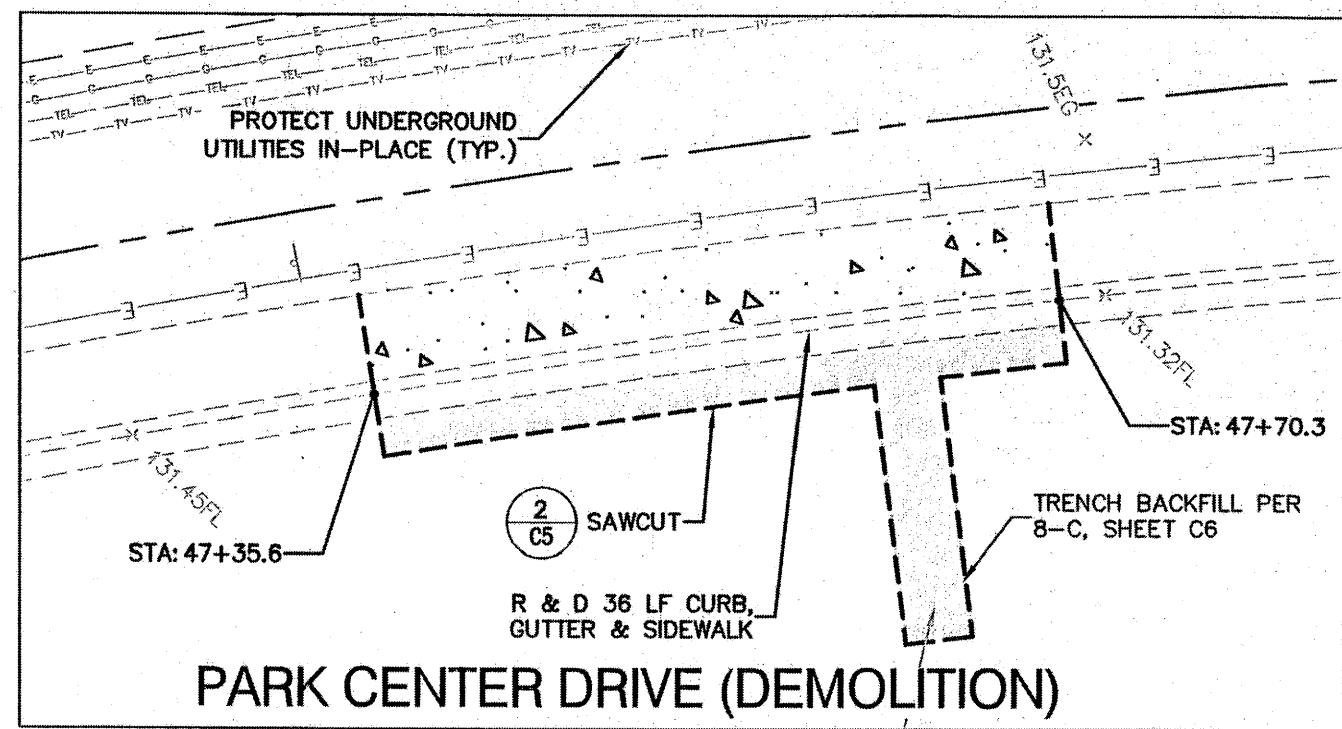
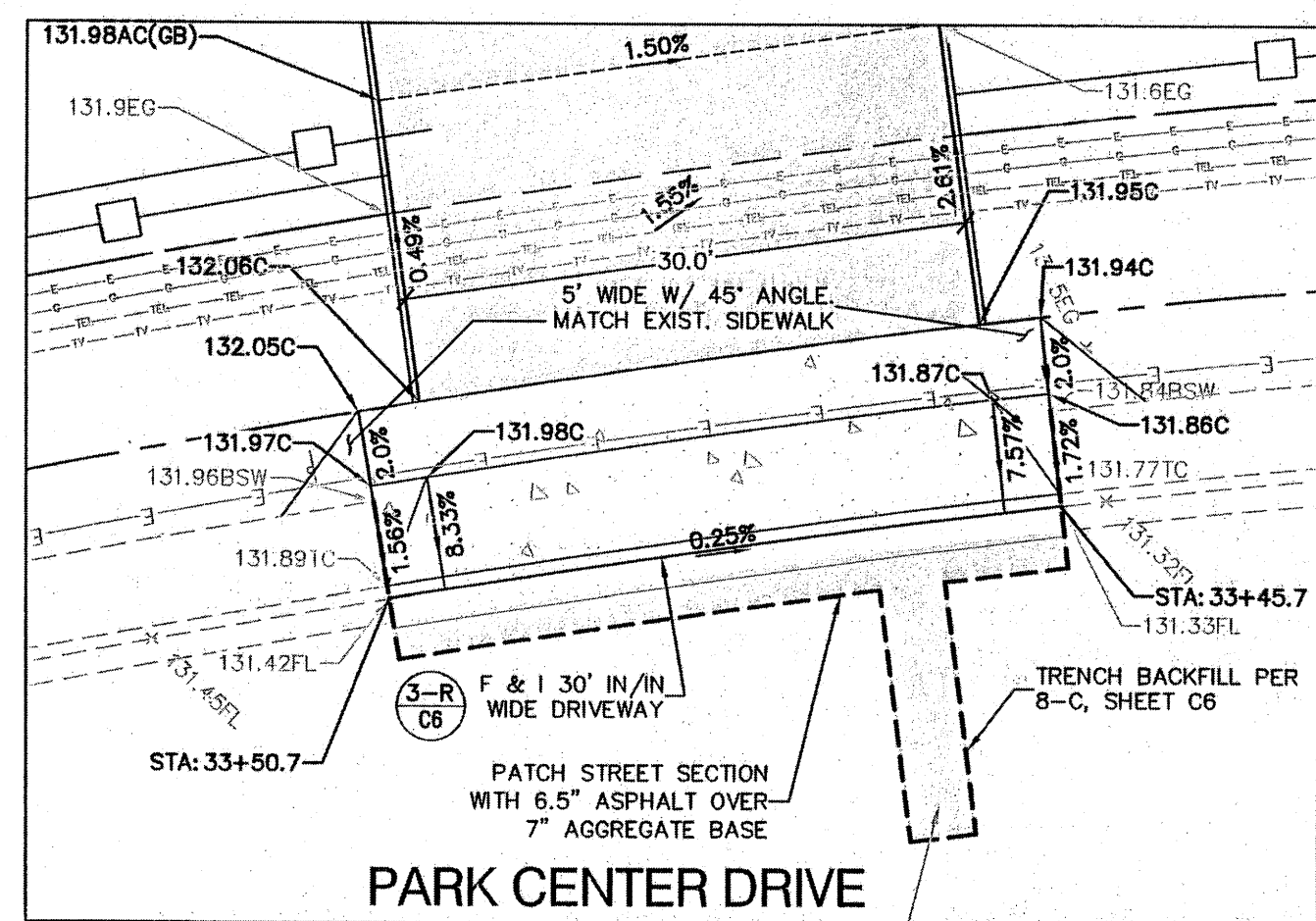


11/20/15
DATE SIGNED:

PROJECT: KEYSTONE WAREHOUSE (LOT G)
CLIENT: KEYSTONE PACIFIC BUSINESS PARK, LLC
LOCATION: 2280 KEYSTONE PACIFIC PARKWAY
PATTERSON, CA 95363
A.P.N.: 021-085-020

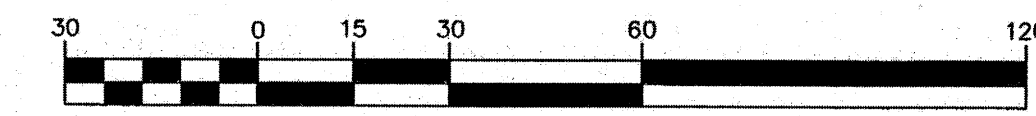
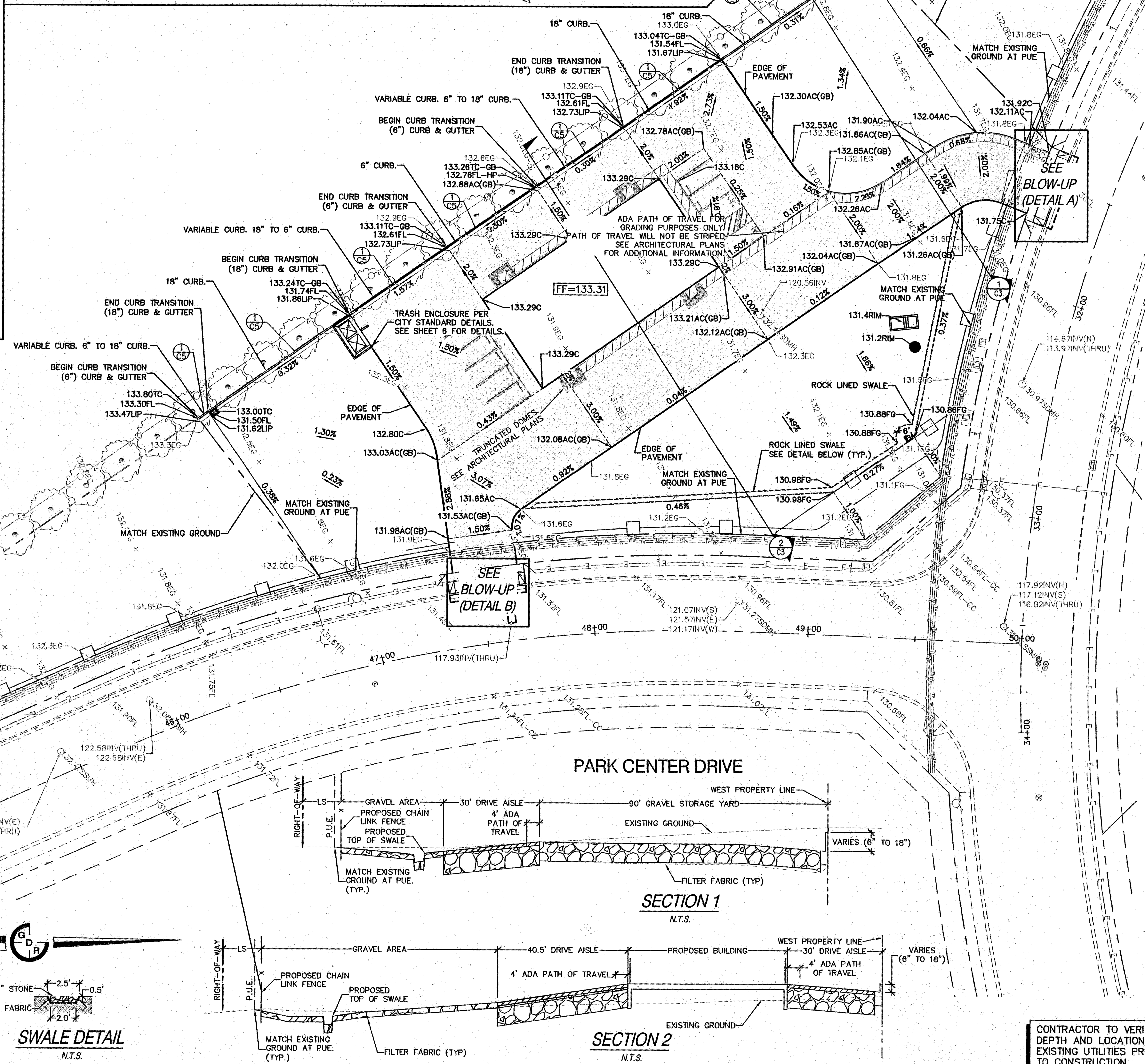
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DATE 11/20/2015
SCALE AS NOTED
JOB NO. 15050
SHEET

C2
OF 7 SHEETS



UNDERGROUND FACILITIES SHOWN WERE LOCATED BASED ON INFORMATION PROVIDED BY UTILITY COMPANIES AND BY MEASURING SURFACE FEATURES. NO ATTEMPT WAS MADE TO LOCATE OTHER UNDERGROUND FACILITIES THAT WERE NOT READILY APPARENT FROM A VISUAL INSPECTION OF SURFACE FEATURES.

CONTRACTOR SHALL VERIFY ACTUAL DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION...CALL "UNDERGROUND SERVICE ALERT" (U.S.A.) (TOLL FREE 800-642-2444) PRIOR TO TRENCHING, GRADING, EXCAVATION, DRILLING, PIPE PUSHING, PLANTING TREES, DIGGING POST HOLES FOR FENCES, ETC.(U.S.A.) WILL SUPPLY INFORMATION OR LOCATE AND MARK ANY UNDERGROUND FACILITIES.



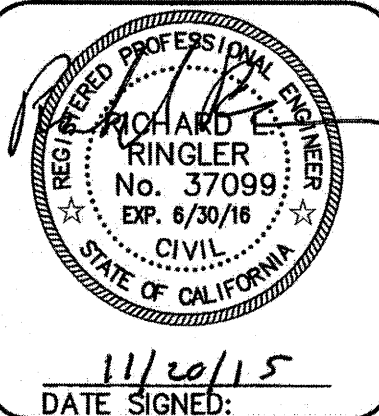
DEMOLITION AND GRADING PLAN



GDR ENGINEERING, Inc.
ENGINEERING/SURVEYING/PLANNING
3525 MITCHELL ROAD, SUITE G CERES, CA 95307
TELEPHONE: (209) 538-3360 FAX: (209) 538-7370
E-MAIL: gdrngr@gdrngr.com

REVISIONS	BY

COMMERCIAL ARCHITECTURE INC.
THEODORE J. BRANDVOLD, ARCHITECT
616 14TH STREET, MODESTO, CA 95354
PH (209) 571-8158 FAX (209) 571-8160



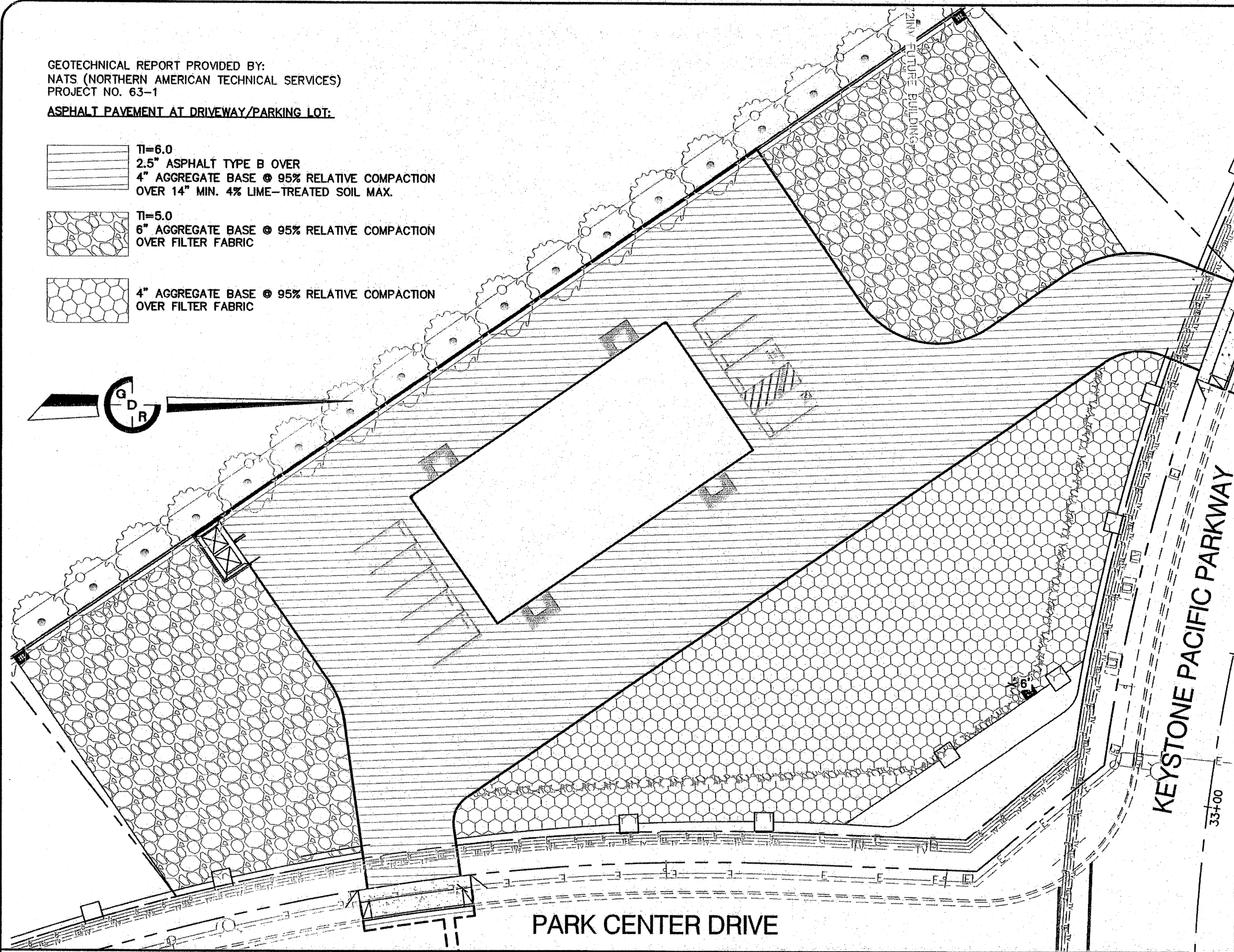
PROJECT: KEYSTONE WAREHOUSE (LOT 6)
CLIENT: KEYSTONE PACIFIC BUSINESS PARK, LLC
LOCATION: 2280 KEYSTONE PACIFIC PARKWAY
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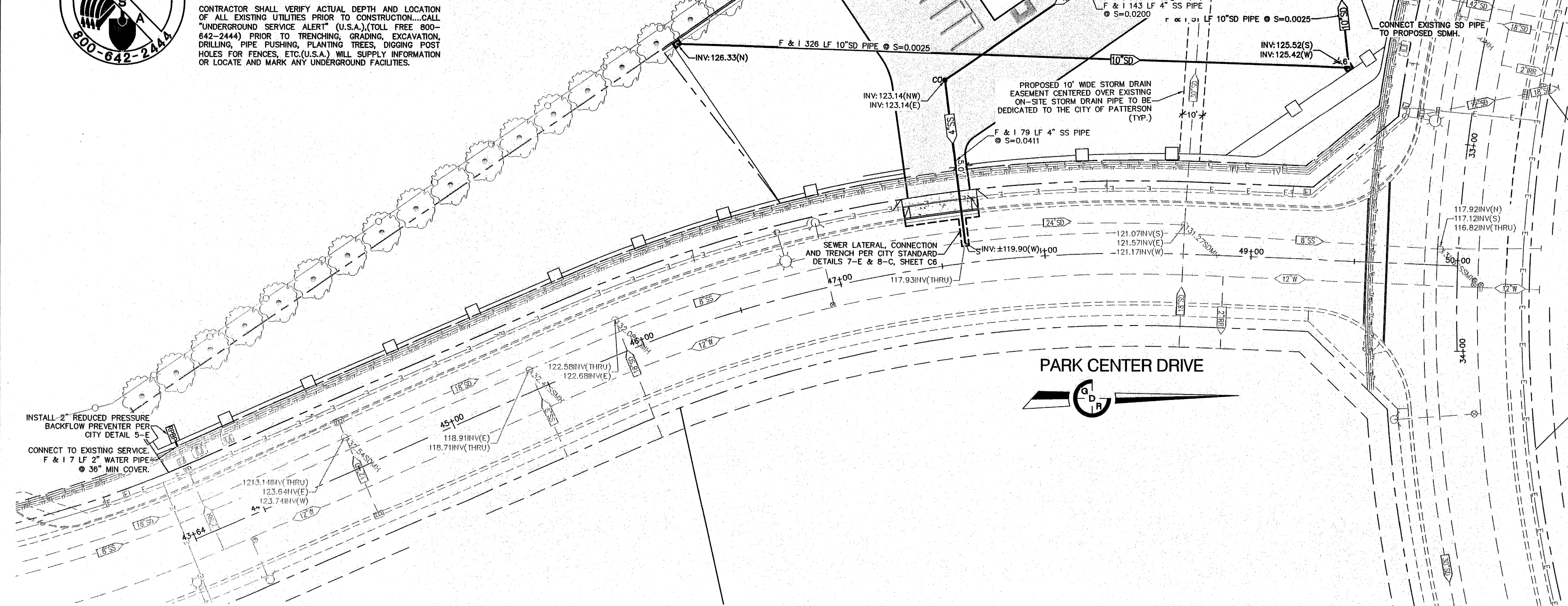
GEOTECHNICAL REPORT PROVIDED BY:
NATS (NORTHERN AMERICAN TECHNICAL SERVICES)
PROJECT NO. 63-1
ASPHALT PAVEMENT AT DRIVEWAY/PARKING LOT:

- TI=6.0
2.5" ASPHALT TYPE B OVER
4" AGGREGATE BASE @ 95% RELATIVE COMPACTION
OVER 14" MIN. 4% LIME-TREATED SOIL MAX.
- TI=5.0
6" AGGREGATE BASE @ 95% RELATIVE COMPACTION
OVER FILTER FABRIC
- 4" AGGREGATE BASE @ 95% RELATIVE COMPACTION
OVER FILTER FABRIC



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LEGEND:

DESCRIPTION

- WATER LINE
STORM DRAIN LINE
SANITARY SEWER LINE

PROPOSED

- REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
CLEANOUT
DRAIN INLET
STORM DRAIN MANHOLE
WATER METER
DEBRIS INTERCEPTOR

- 5-E
3-C5
4-C5
6-F
5-C
7-C5

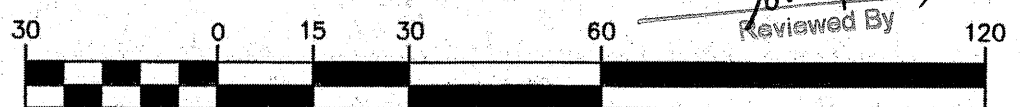
CONTRACTOR'S NOTES:

- CONTRACTOR SHALL POTHOLE & VERIFY LOCATION AND INVERTS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY SUBSTANTIAL DIFFERENCE FROM DESIGN. CONNECT TO EXISTING IN CONFORMANCE WITH THE CITY OF PATTERSON STANDARDS.
- COORDINATE WITH PLUMBING PLANS FOR SIZE AND LOCATION OF BUILDING CONNECTIONS.
- SEE THE LANDSCAPE AND IRRIGATION PLANS FOR LANDSCAPE IRRIGATION AND IRRIGATION CONNECTIONS.
- SEE CITY OF PATTERSON STANDARD SPECIFICATIONS FOR ADDITIONAL DETAILS AND ABBREVIATION DESCRIPTIONS IN REGARD TO ATTACHED DETAILS.
- ALL ON-SITE SEWER AND WATER LINES ARE PRIVATE AND MUST BE PRIVATELY MAINTAINED.
- INSTALL THRUST BLOCKS PER CITY STANDARD SPECIFICATIONS & DETAIL 5-1.
- CONTRACTOR SHALL POTHOLE & VERIFY UTILITY POINTS OF CONNECTION PRIOR TO BEGINNING WORK.
- STORM DRAIN MESSAGE MARKER, PLACARD OR CONCRETE STAMP TO BE INSTALLED WITH EACH PROPOSED CATCH BASIN OR DRAINAGE INLET WITHIN BOUNDARY OF DEVELOPED PROJECT. MESSAGE TO BE APPROVED BY CITY OF PATTERSON.
- ALL PIPES, BACKFLOW DEVICES, AND CONNECTION TO BE IN CONFORMANCE WITH CITY OF PATTERSON CITY STANDARDS.
- STORM DRAIN SYSTEM INSTALLED ON-SITE AS A PART OF THE PROJECT SHALL BE PRIVATELY MAINTAINED. CITY STORM DRAIN INFRASTRUCTURE ON-SITE SHALL BE MAINTAINED BY THE CITY.

Reviewed for Code Compliance
CSG CONSULTANTS INC.

DEC 04 2015

Reviewed By
[Signature]

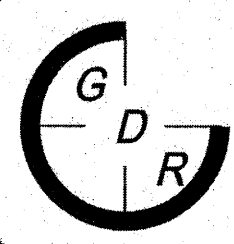


SCALE: 1" = 30' ON (24 X 36) FULL SIZE SHEET.

PAVING AND UTILITY PLAN

PIPE SCHEDULE	
DESCRIPTION	TYPE OF PIPE
STORM DRAIN	POLYVINYL CHLORIDE PIPE (PVC) ASTM D3034 SDR35
WATER (2" & LESS)	HIGH DENSITY POLYETHYLENE PIPE (HDPE) PE 3408, SDR 7, PR 160 PSI
SEWER	POLYVINYL CHLORIDE PIPE (PVC) ASTM D3034 DR35

CONTRACTOR TO VERIFY
DEPTH AND LOCATION OF
EXISTING UTILITIES PRIOR
TO CONSTRUCTION.

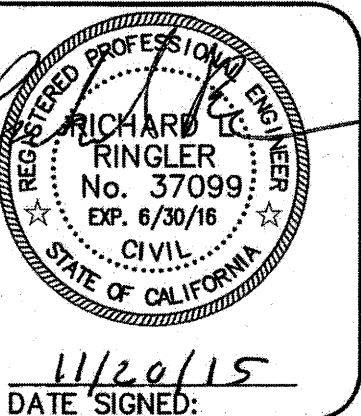


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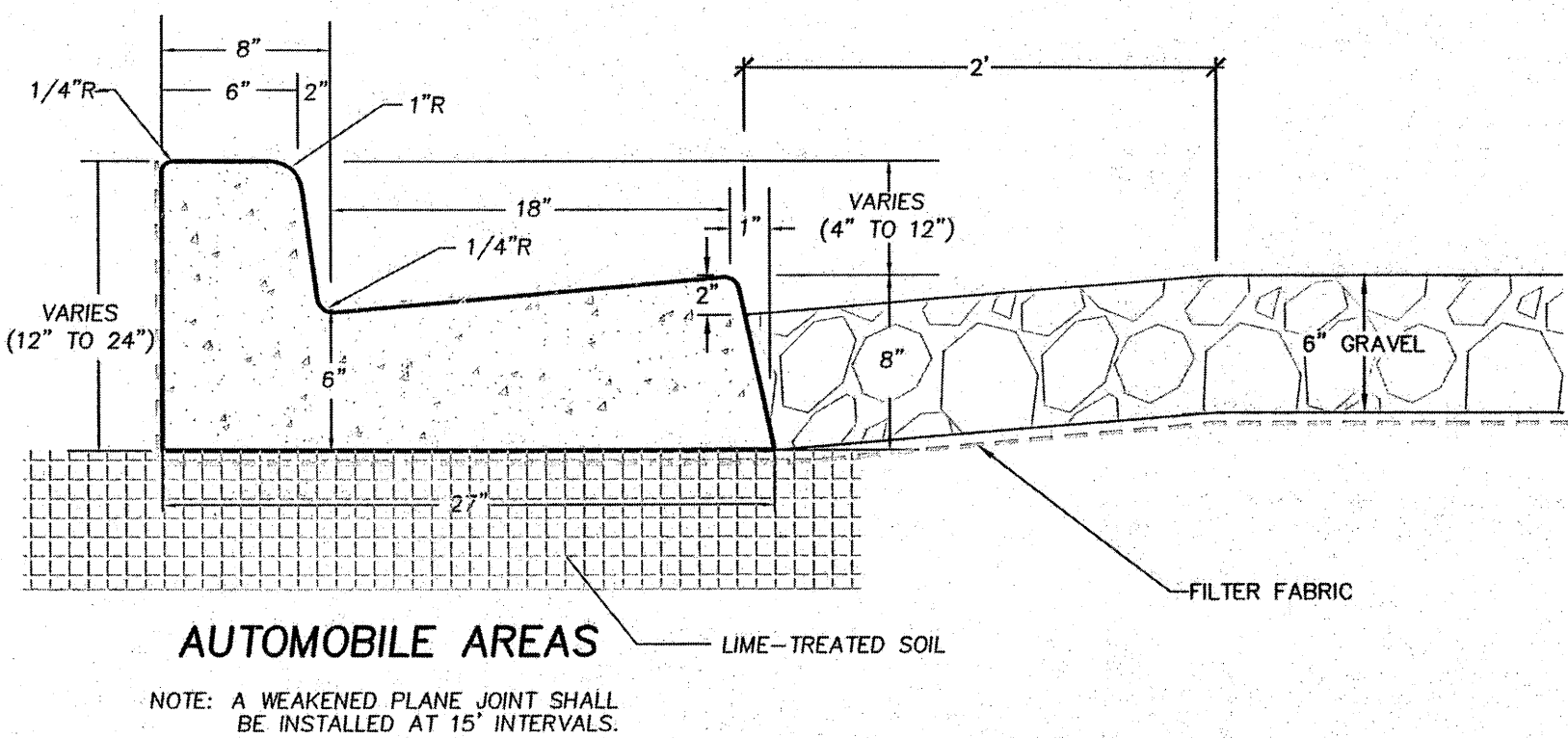
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LOCATION: 2280 KEYSTONE PACIFIC PARKWAY
PATTERSON, CA 95363
A.P.N.: 021-085-020

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OF 7 SHEETS

\\SERVER\Production\Projects\0500 Comm Arch - Keystone Lat. & Engineering Files and Drawings\Drawings\50500SDSN-revised.dwg Plot Nov 20, 2015 at 10:15am



CURB & GUTTER ADJACENT TO GRAVEL STORAGE YARD

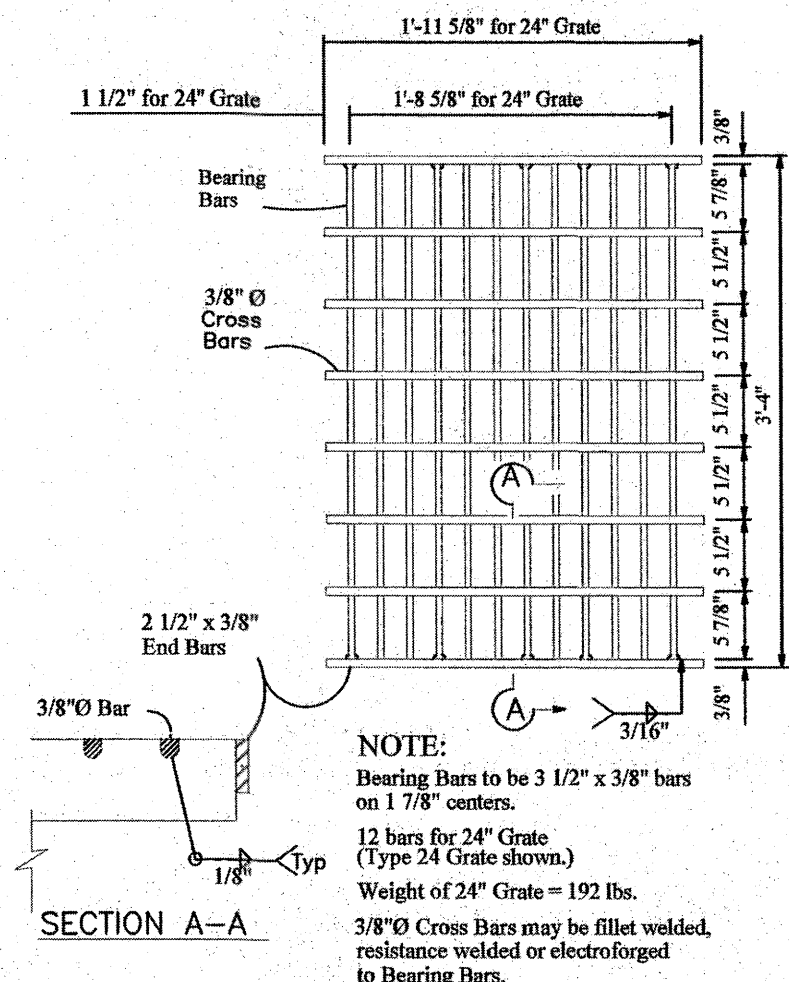
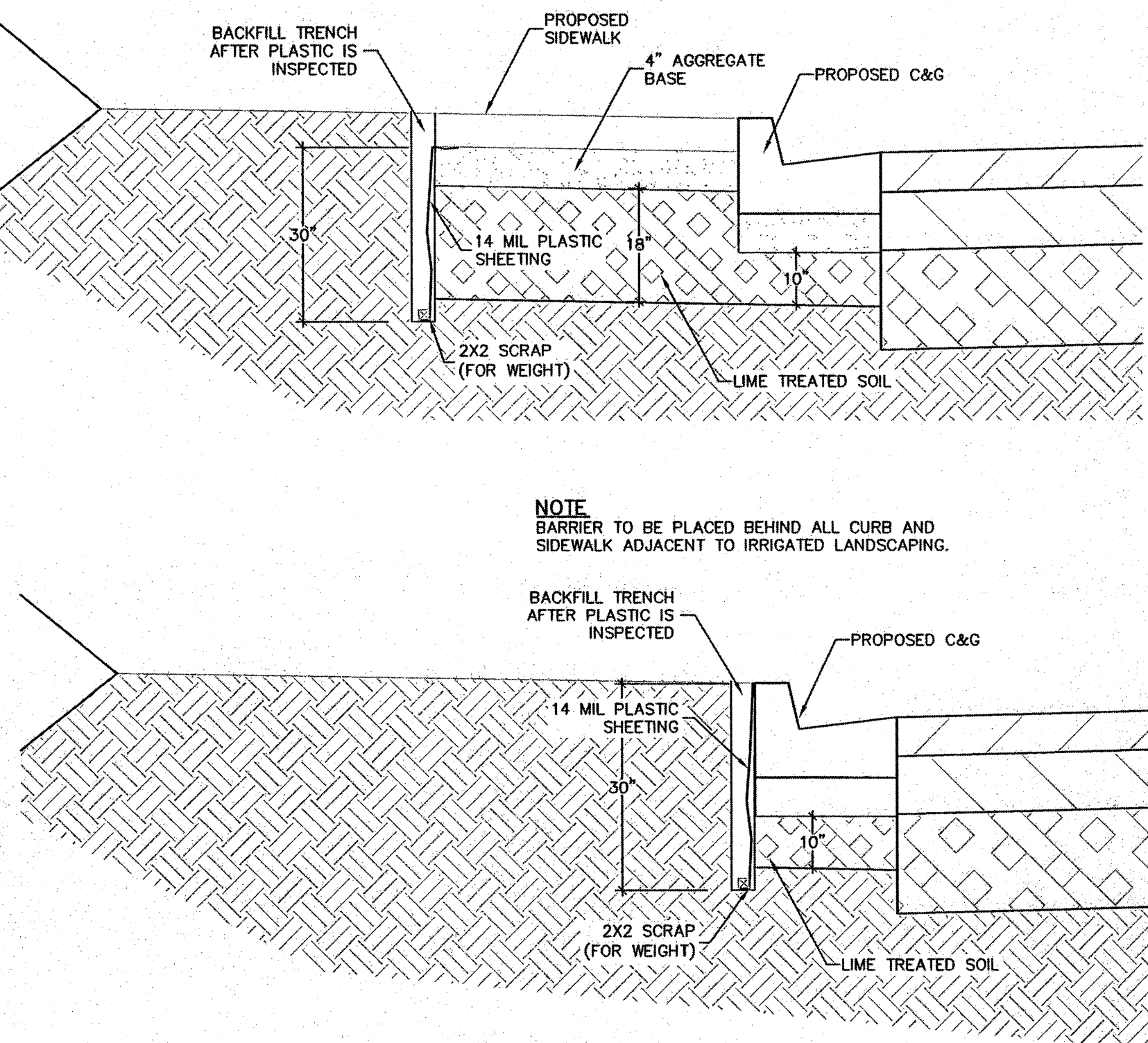
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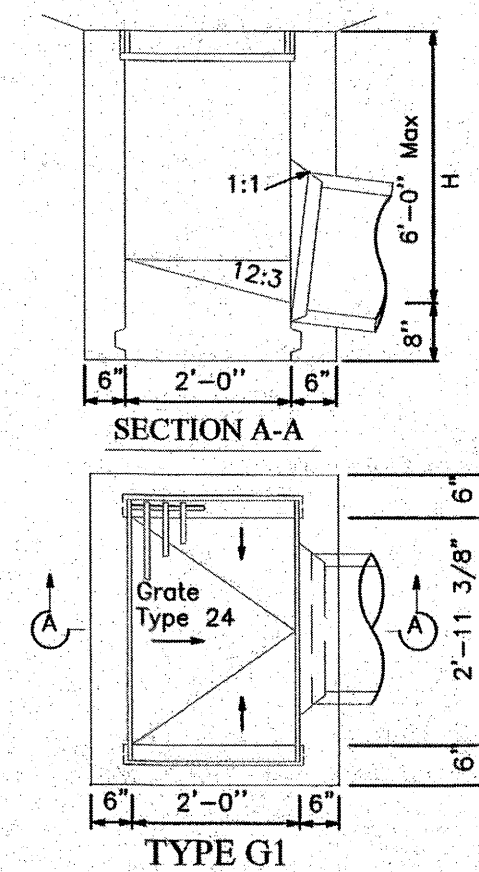
MOISTURE BARRIER ADJACENT TO LANDSCAPING

NTS

5



TYPE 24-12X GRATE
(WELDED STEEL)
(TRAFFIC RATED)
FROM CALTRANS STD. PLAN D77B



TYPE G1
SEE DETAIL 4 FOR INLET NOTES
FROM CALTRANS STD. PLAN D73

NOTES

- "H" is the difference in elevation between the outlet pipe flow line and the normal gutter grade line undepressed.
- For "T" wall thickness, see Table A below.
- Wall reinforcing not required when "H" is 8' or less and the unsupported width or length is 7' or less. Walls exceeding these limits shall be reinforced with #4 bars @ 18" centers placed 1 1/2' clear to inside of box unless otherwise shown.
- Inlet bottom reinforcing not required. See Standard Plan D74C for alternative reinforced bottom and alternative half round bottom.
- BLANK
- Details shown apply to both PVC and concrete pipe.
- Pipe(s) can be placed in any wall.
- Curb section shall match adjacent curb.
- Basin floors shall have wood trowel finish and a minimum slope of 1/2" from all directions toward outlet pipe.
- Galvanizing-See Standard Specifications or Special Provisions
- Cast-in-place or Precast alternative is optional with contractor. See Standard Specifications.
- Set inlet so that grate bars are parallel to direction of principal surface flow.
- See Standard Plans D77A and D77B for grate and frame details and weights of miscellaneous iron and steel.
- See Standard Plan D78 for gutter depression details.

TABLE A CONCRETE QUANTITIES				
Type	H=3'-0" to 8'-0" (T=6")		H=8'-1" to 20'-0" (T=8")	
	H=3'-0" (CY)	Additional PCC per FL (CY)	H=8'-1" (CY)	Additional PCC per FL (CY)
G-1	0.95	0.220	(1)	(1)
G-3	1.03	0.220	(1)	(1)

(1) Maximum allowable height 6'-0". Take based on 8" form slab. No deductions are to be made in these quantities because of pipe openings, different floor alternatives or different curb types.

(1) Maximum allowable height 6'-0". Table based on 8" floor slab. No deductions are to be made to these quantities because of pipe openings, different floor alternatives or different curb types.

FROM CALTRANS STD. PLAN D73

TYPE G1 - DRAIN INLET

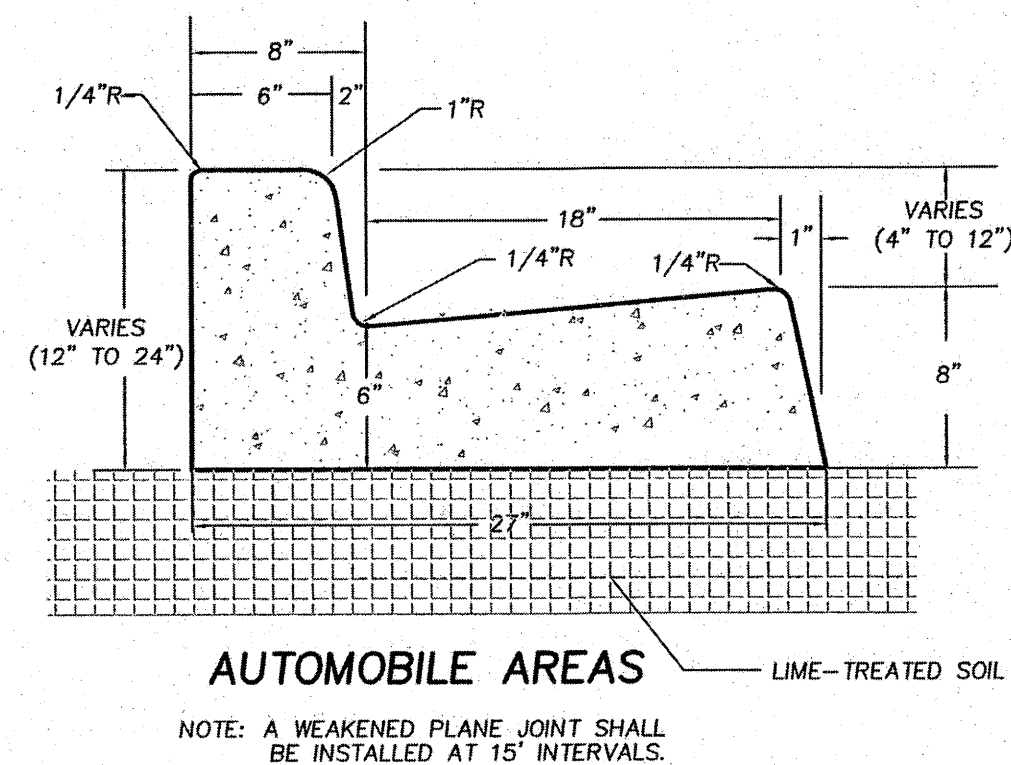
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CLEANOUT

NTS

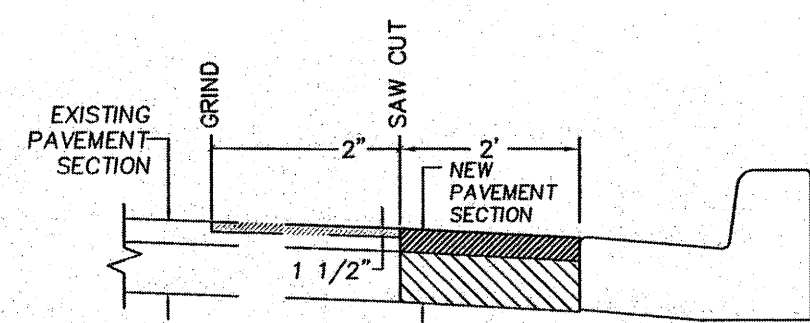
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CURB & GUTTER ADJACENT TO PAVING

NTS

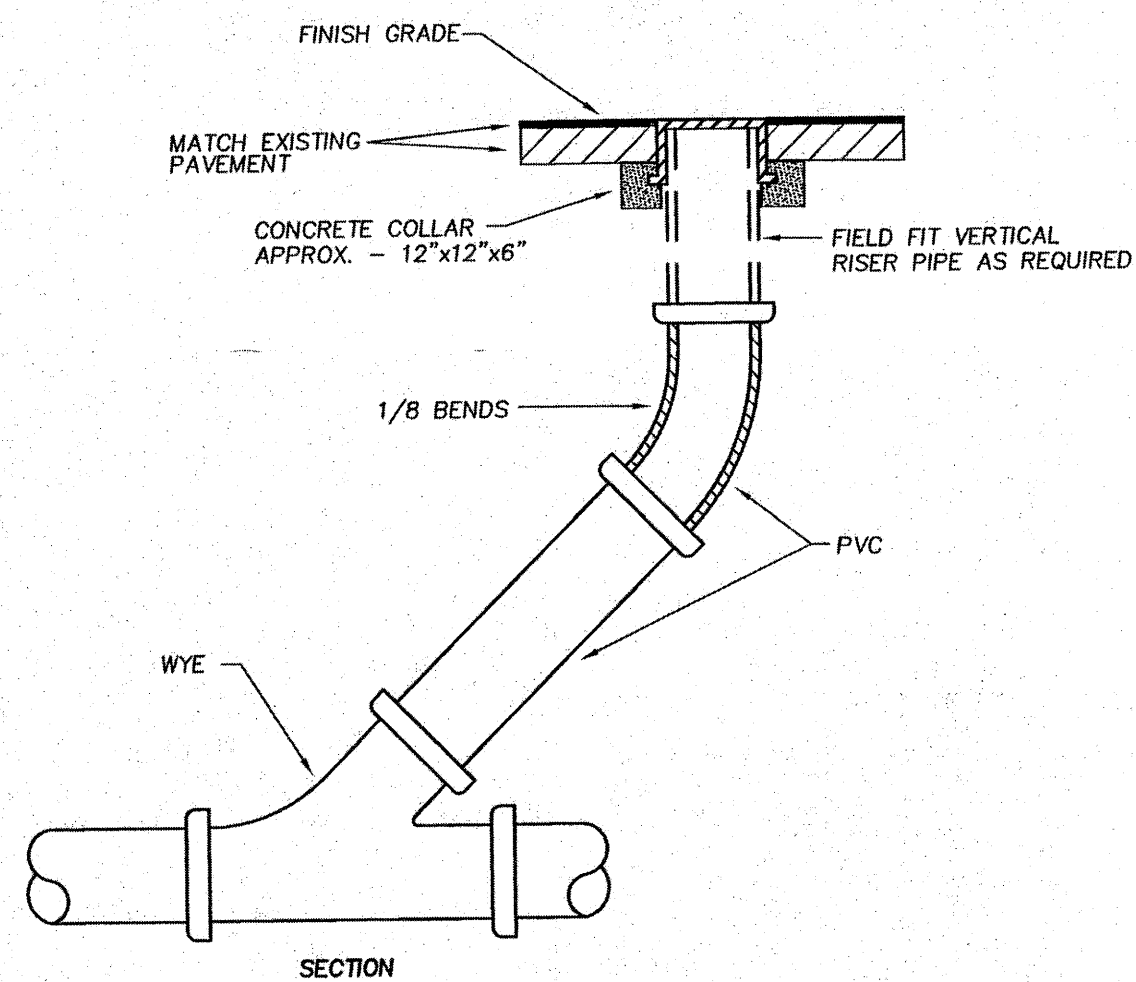
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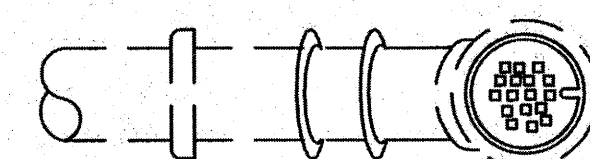
SAWCUT

NTS

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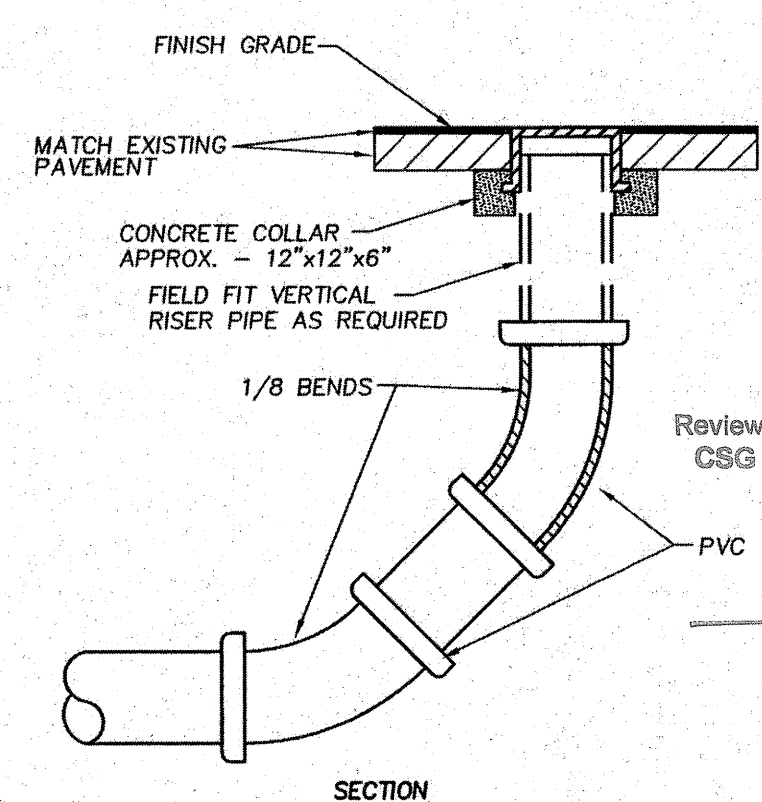


SECTION



PLAN

FRAMES & COVER:
PINKERTON A-512



SECTION

Reviewed for Code Compliance
CSG CONSULTANTS INC.
DEC 04 2015
Reviewed By

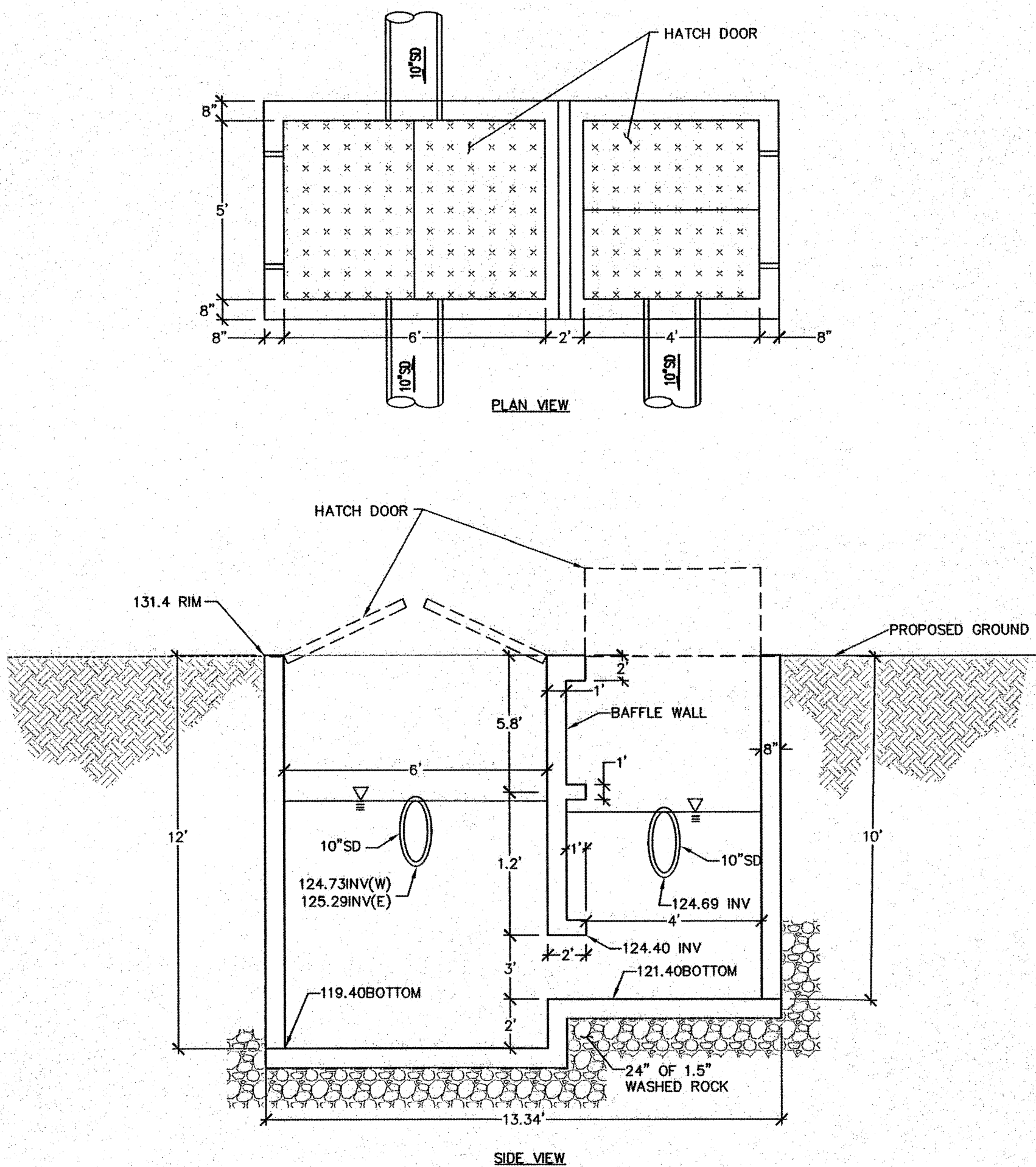
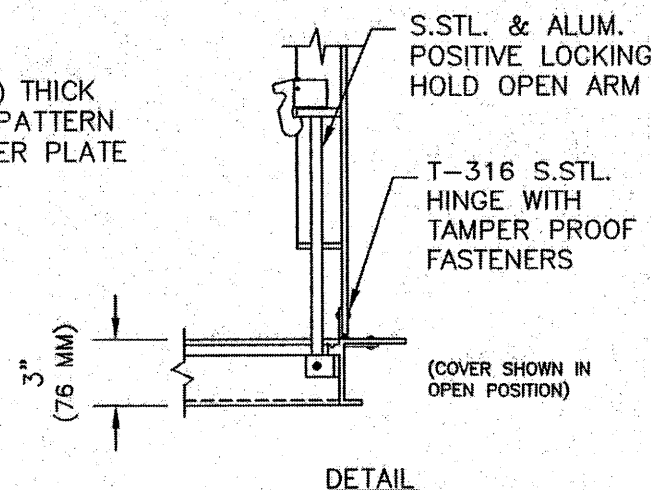
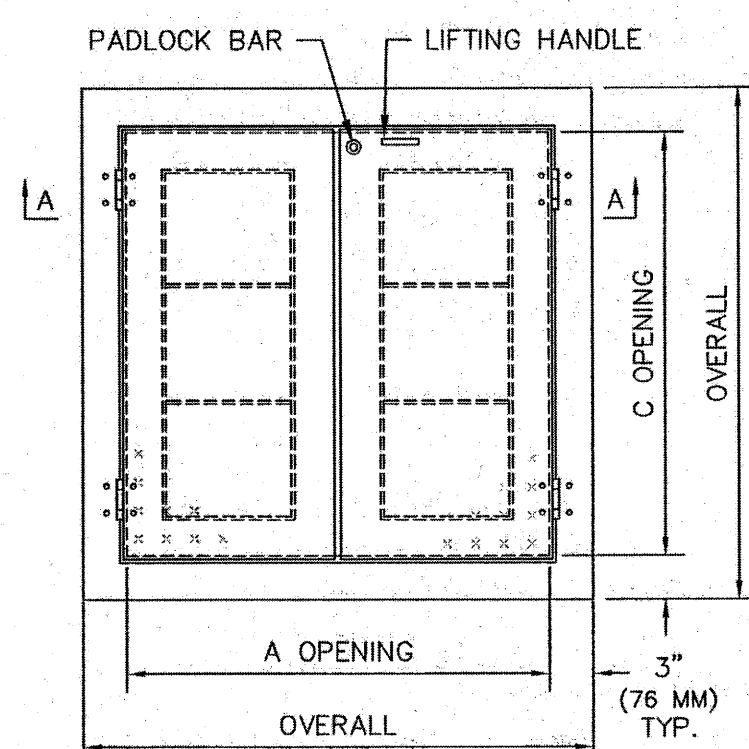
SERIES S2R ACCESS DOOR

STANDARD FEATURES:

- AUTO-LOCK T-316 STAINLESS STEEL HOLD OPEN ARM WITH RELEASE HANDLE
- T-316 STAINLESS STEEL HINGES AND ATTACHING HARDWARE
- NON-CORROSIVE PADLOCK BAR
- DOUBLE LEAF CONSTRUCTION
- 300 LBS. PER SQ. FT. LOAD RATING (1464 KG. PER SQ. METER LOAD RATING)
- EXTRUDED ALUMINUM FRAME
- RECESSED LIFTING HANDLE
- LIFETIME GUARANTEE

HP
HALLIDAY PRODUCTS
www.HallidayProducts.com
Phone 800-298-1027
Fax 407-298-4534
Sales@HallidayProducts.com

STANDARD SIZES				
QTY.	MODEL NO.	A DIM. INCHES (MM)	C DIM. INCHES (MM)	UNIT WT. LBS. (KG.)
	S2R4242	42 (1067)	42 (1067)	93 (42)
	S2R4842	48 (1219)	42 (1067)	99 (45)
	S2R4848	48 (1219)	48 (1219)	110 (50)
	S2R5442	54 (1372)	42 (1067)	108 (49)
	S2R5448	54 (1372)	48 (1219)	119 (54)
	S2R5454	54 (1372)	54 (1372)	127 (58)
	S2R6030	60 (1524)	30 (762)	87 (39)
	S2R6036	60 (1524)	36 (914)	100 (45)
	S2R6042	60 (1524)	42 (1067)	115 (52)
	S2R6048	60 (1524)	48 (1219)	130 (59)
	S2R6054	60 (1524)	54 (1372)	143 (65)
	S2R6060	60 (1524)	60 (1524)	158 (72)
	S2R6636	66 (1676)	36 (914)	109 (49)
	S2R6648	66 (1676)	48 (1219)	141 (64)
	S2R7236	72 (1829)	36 (914)	116 (53)
	S2R7242	72 (1829)	42 (1067)	135 (61)
	S2R7248	72 (1829)	48 (1219)	151 (68)
	S2R7254	72 (1829)	54 (1372)	168 (76)
	S2R7260	72 (1829)	60 (1524)	178 (81)



NOTE:
STRUCTURAL DESIGN OF THE SEPARATOR
WILL BE SUBMITTED TO THE BUILDING
DEPARTMENT FOR REVIEW AND APPROVAL
PRIOR TO PERMIT ISSUANCE.

DEBRIS INTERCEPTOR

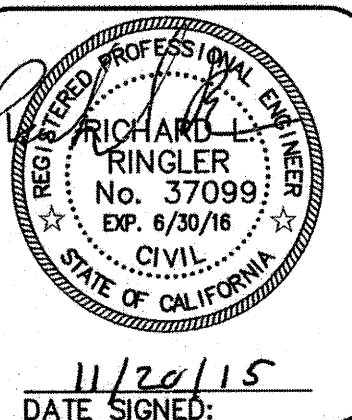
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REVISIONS	BY

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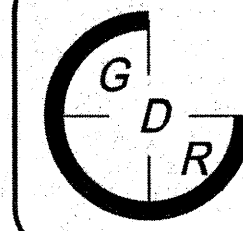


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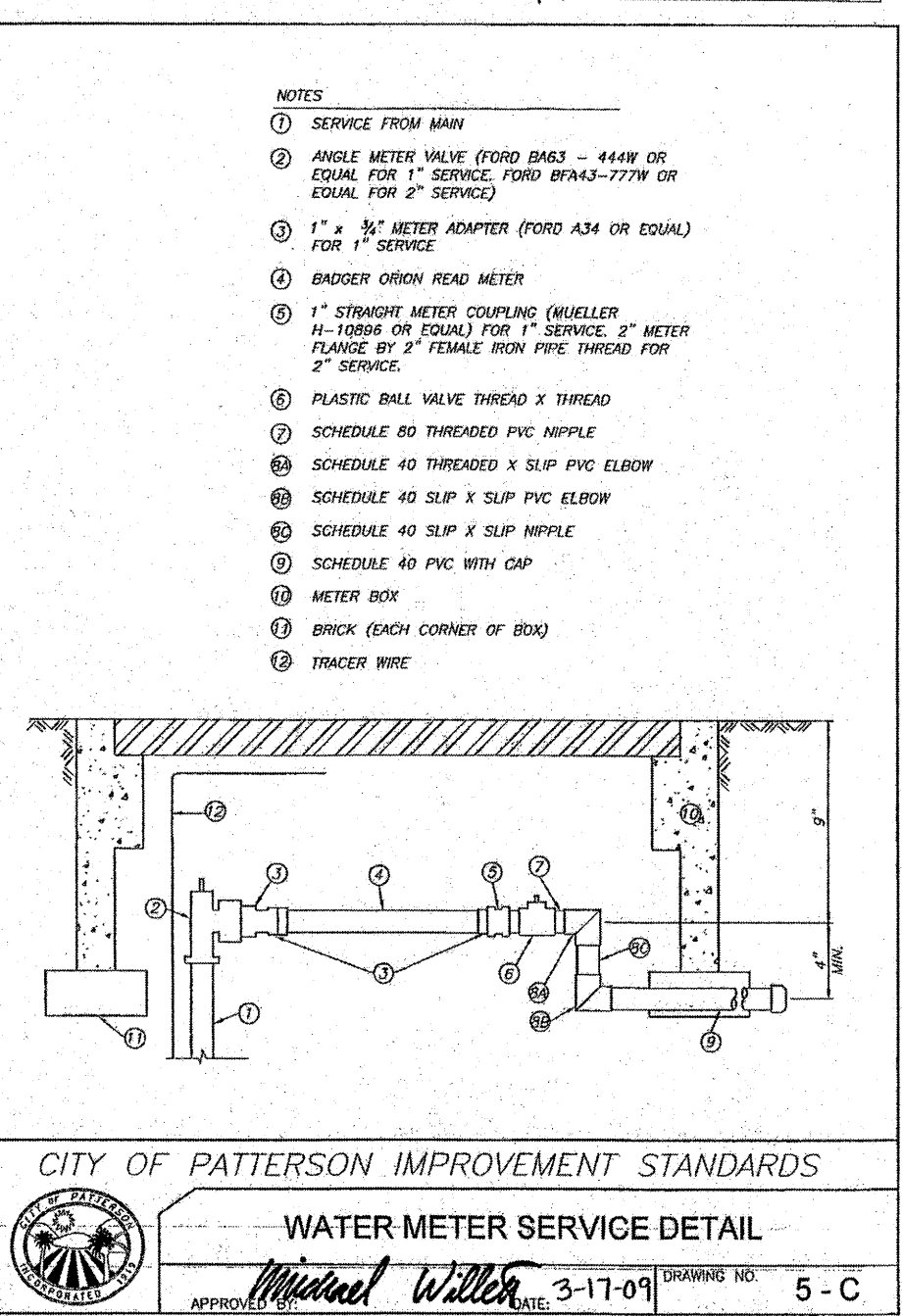
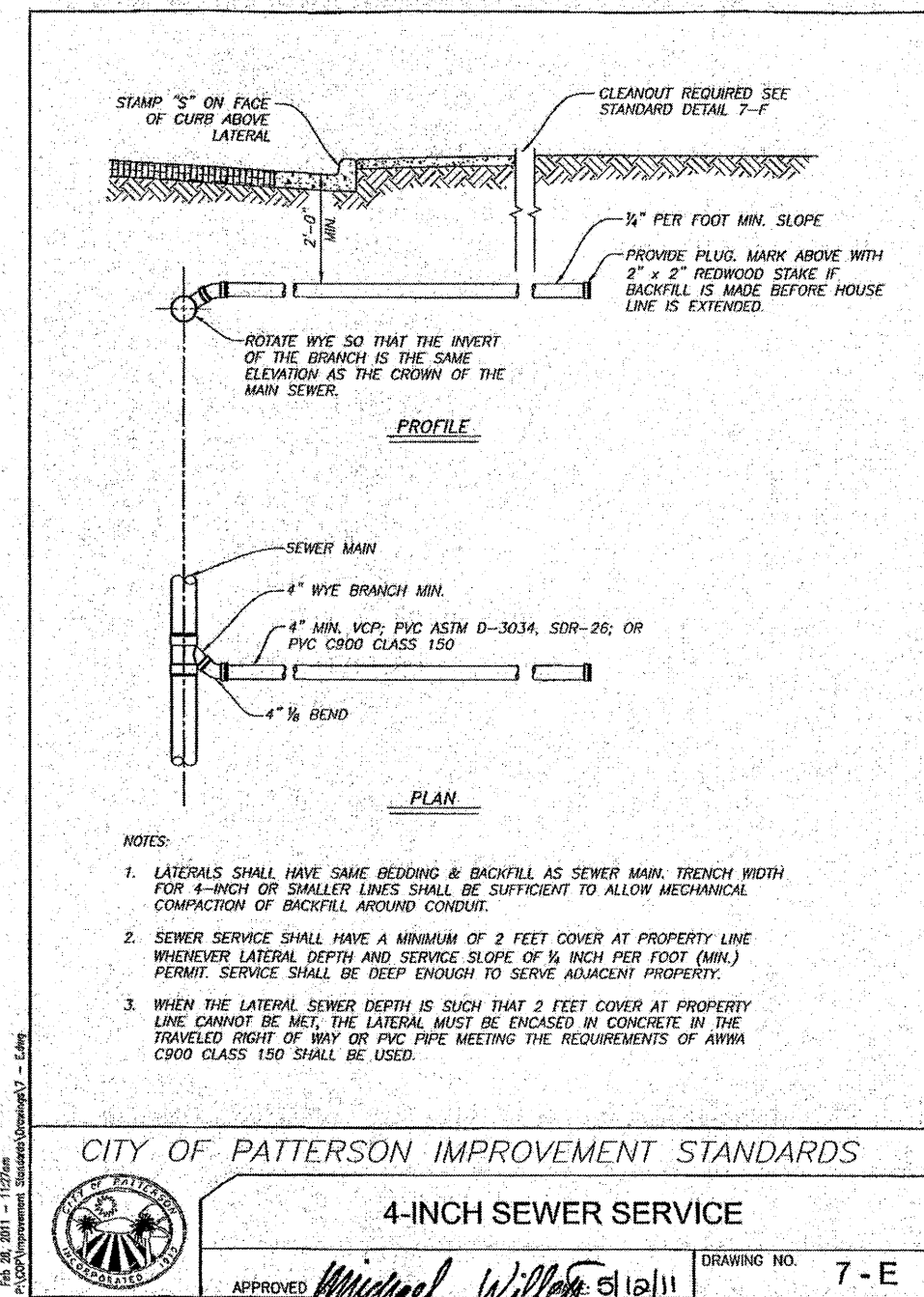
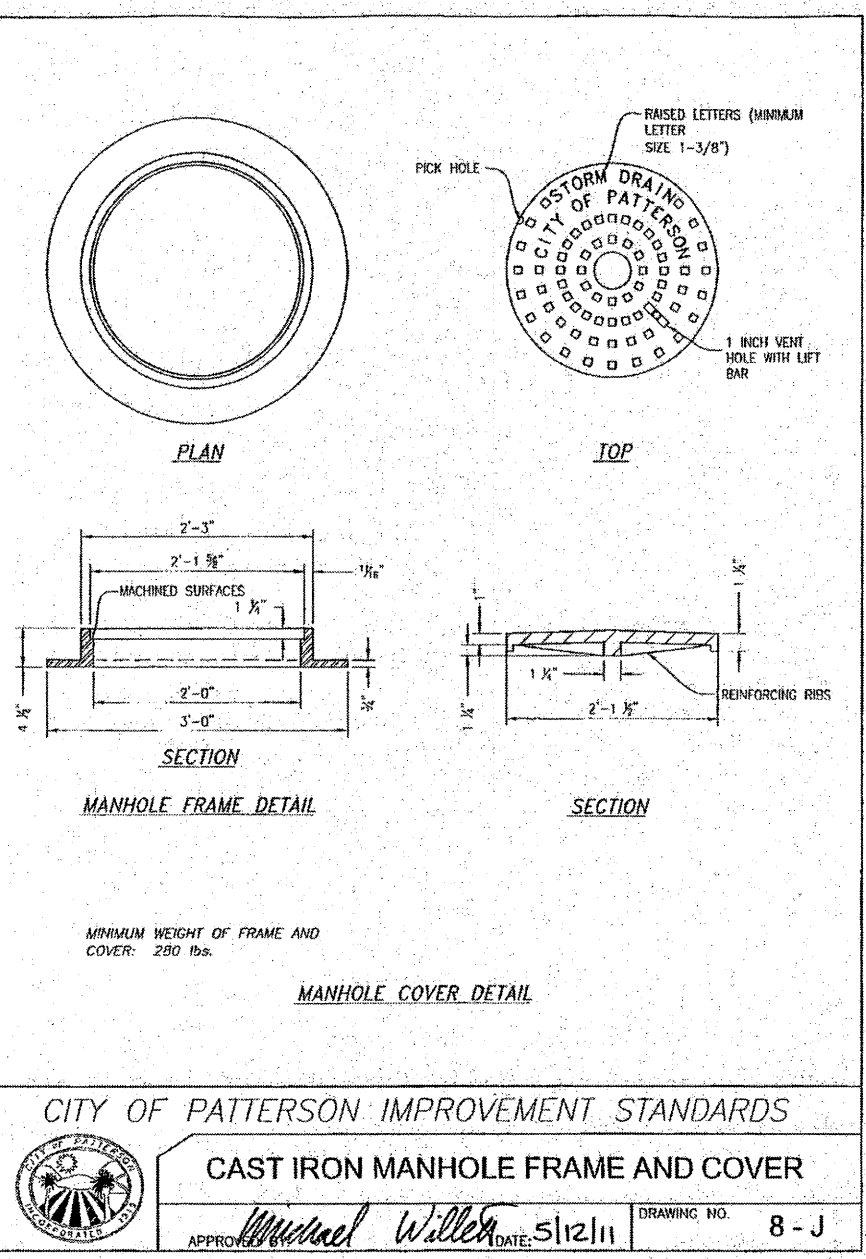
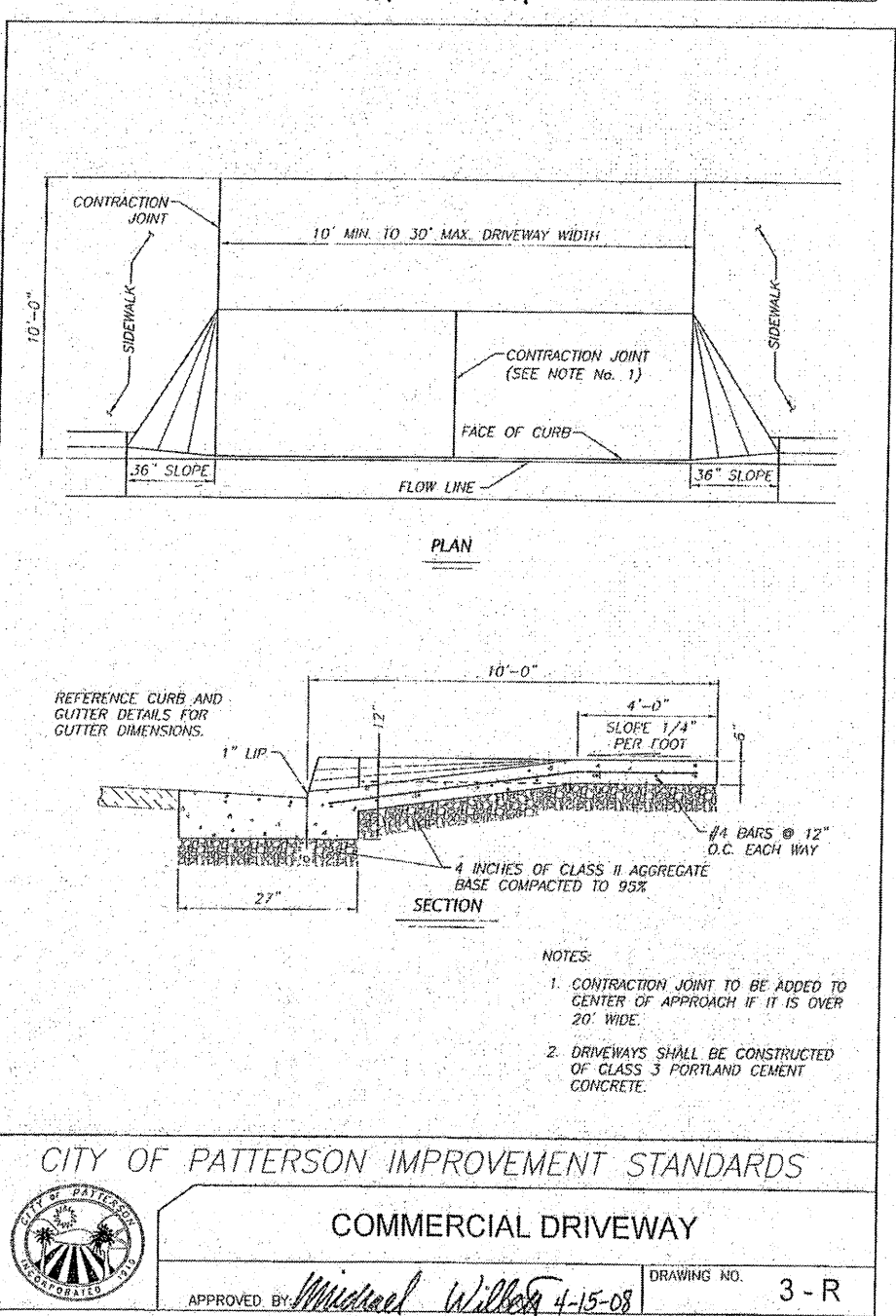
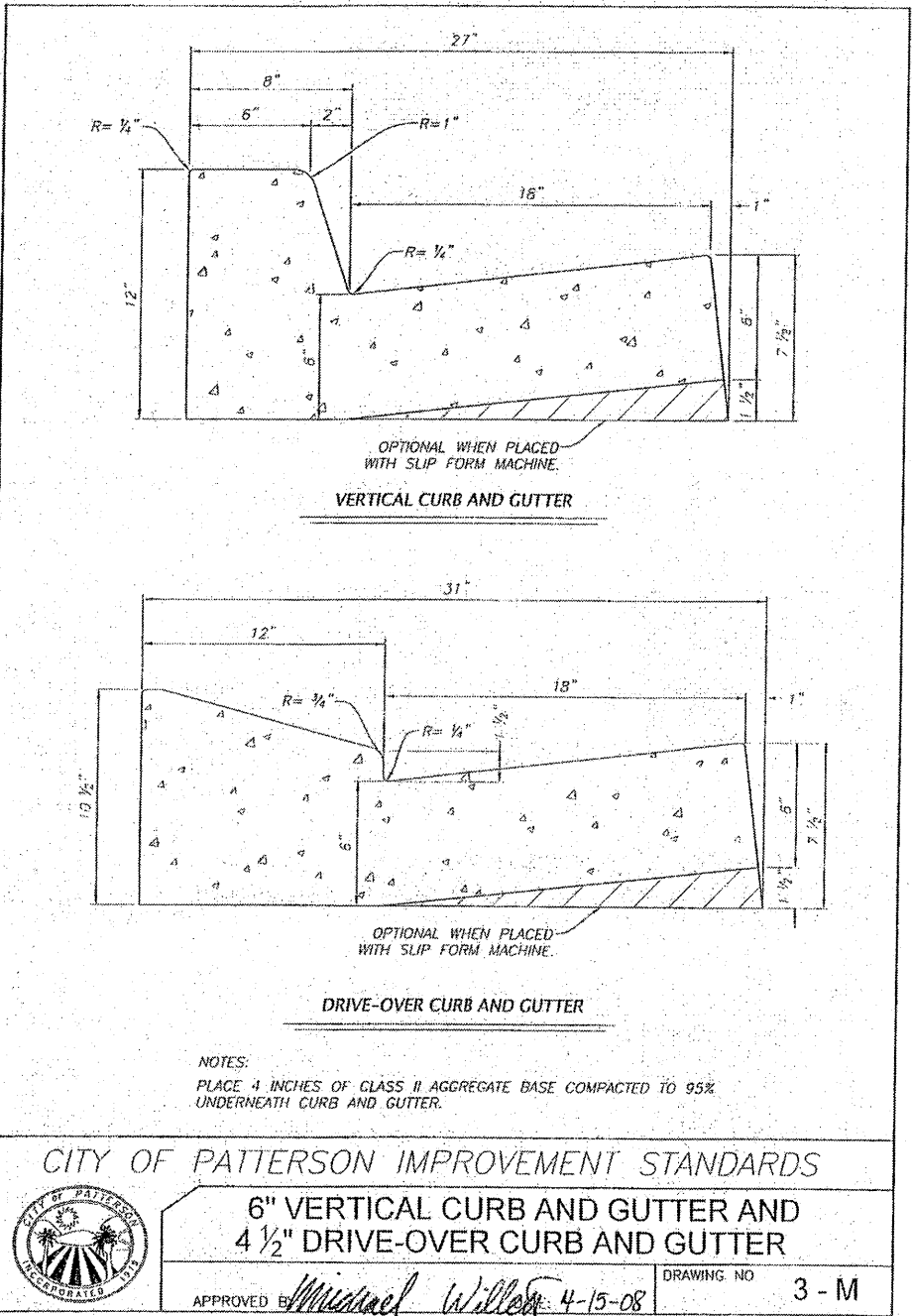
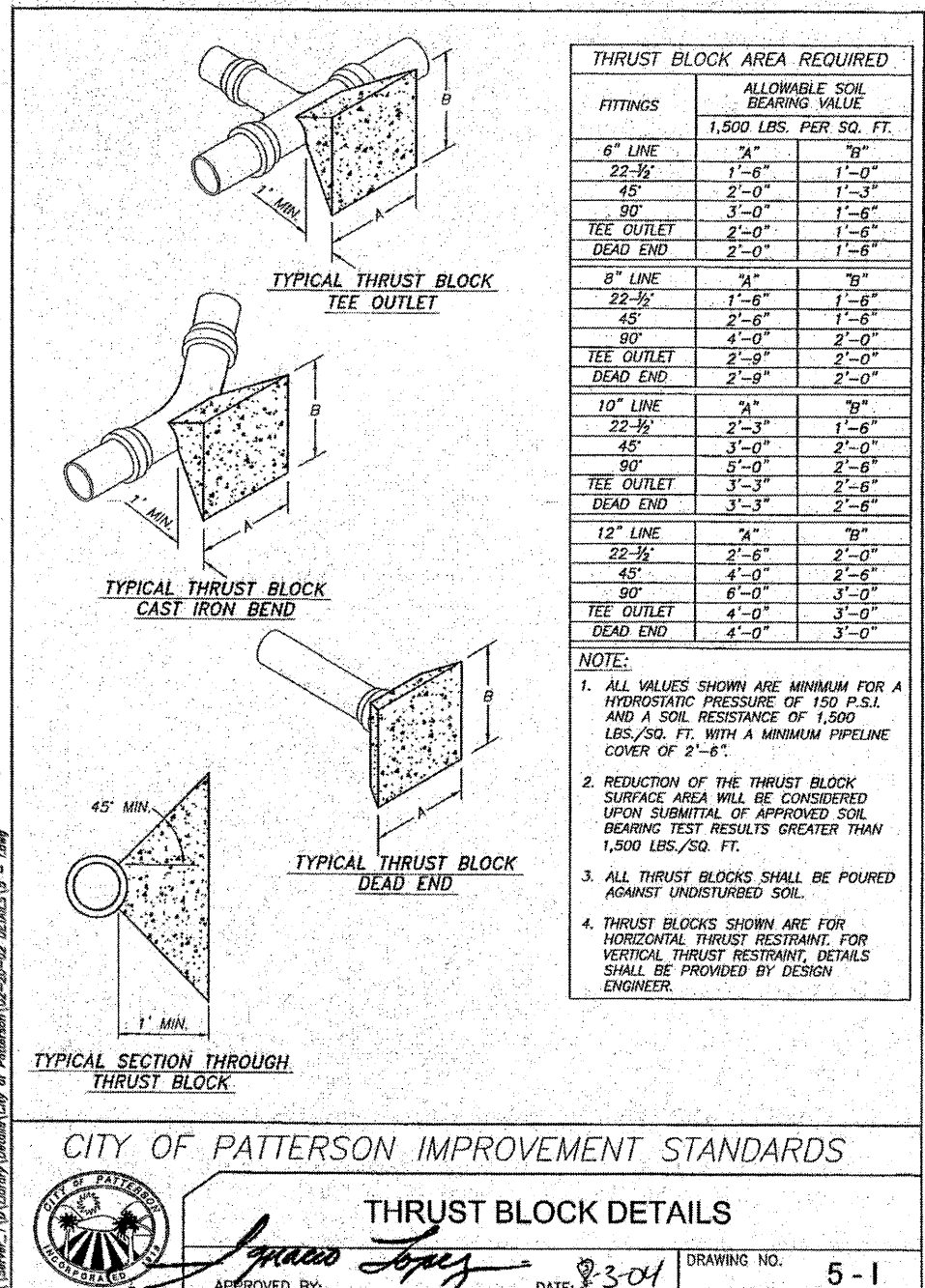
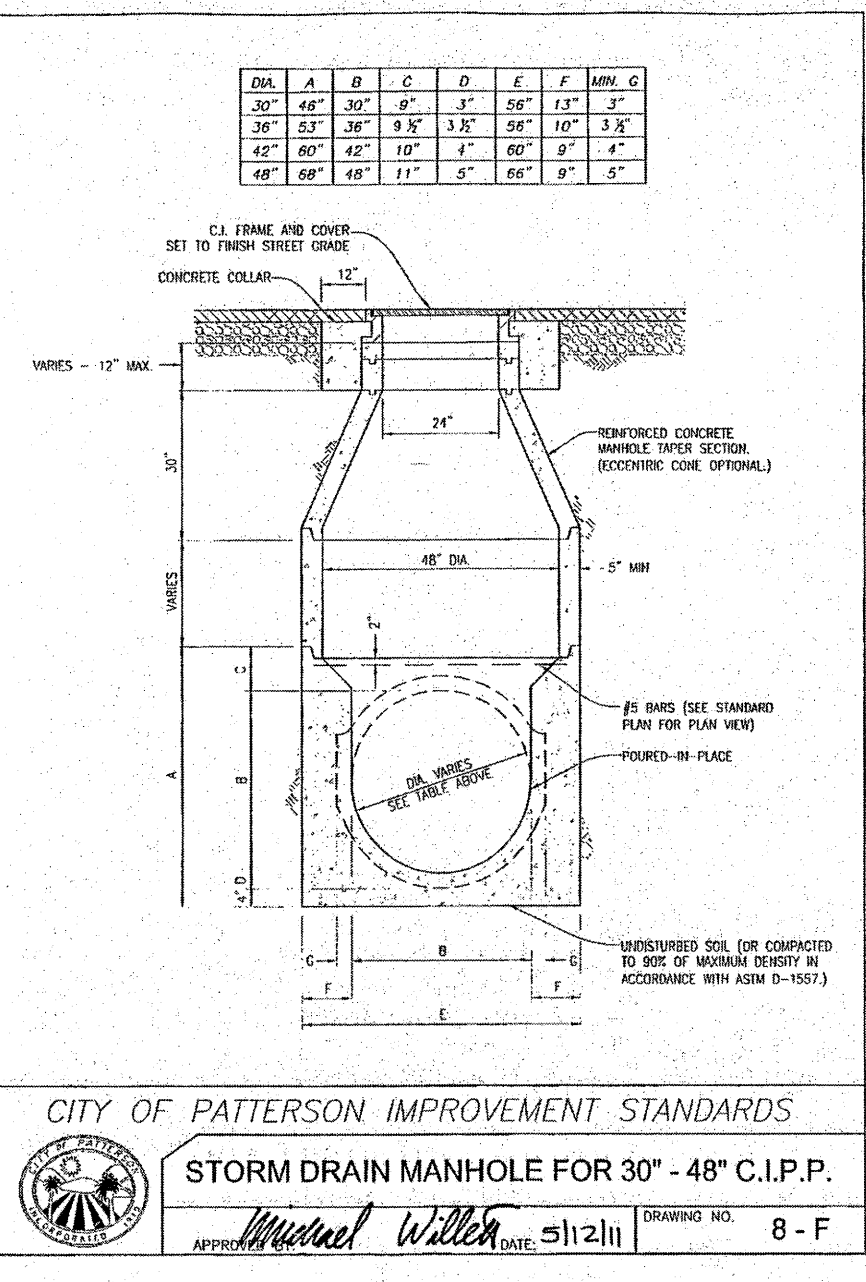
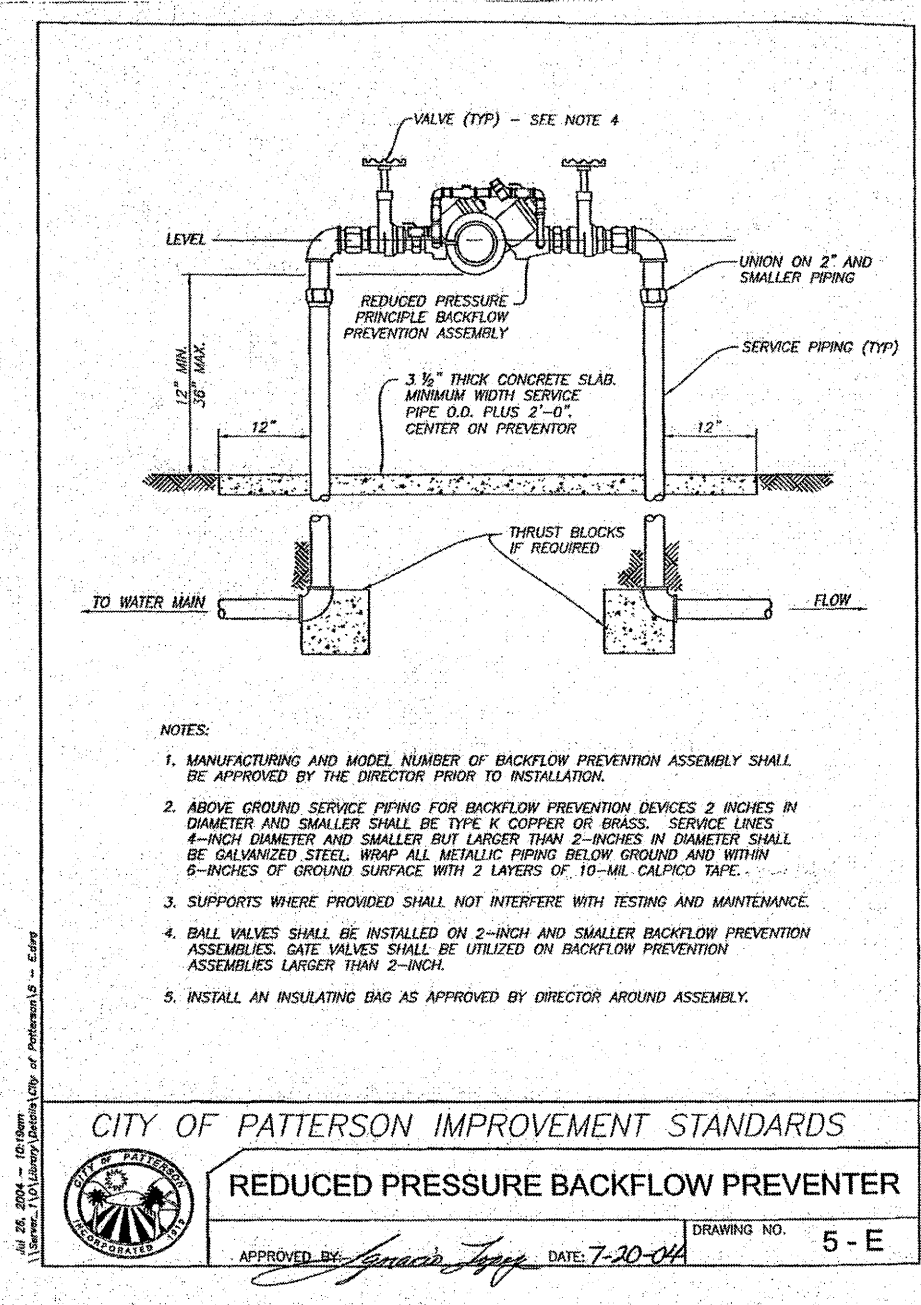
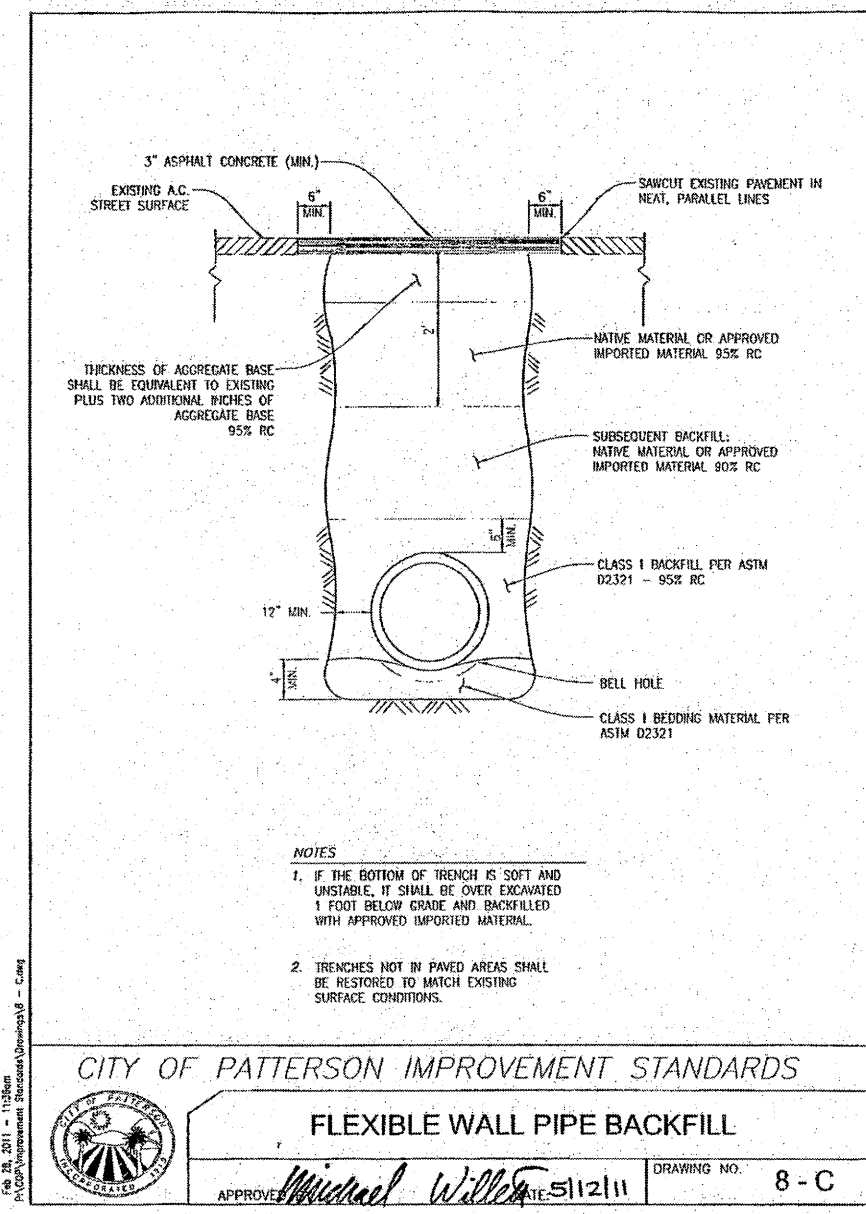
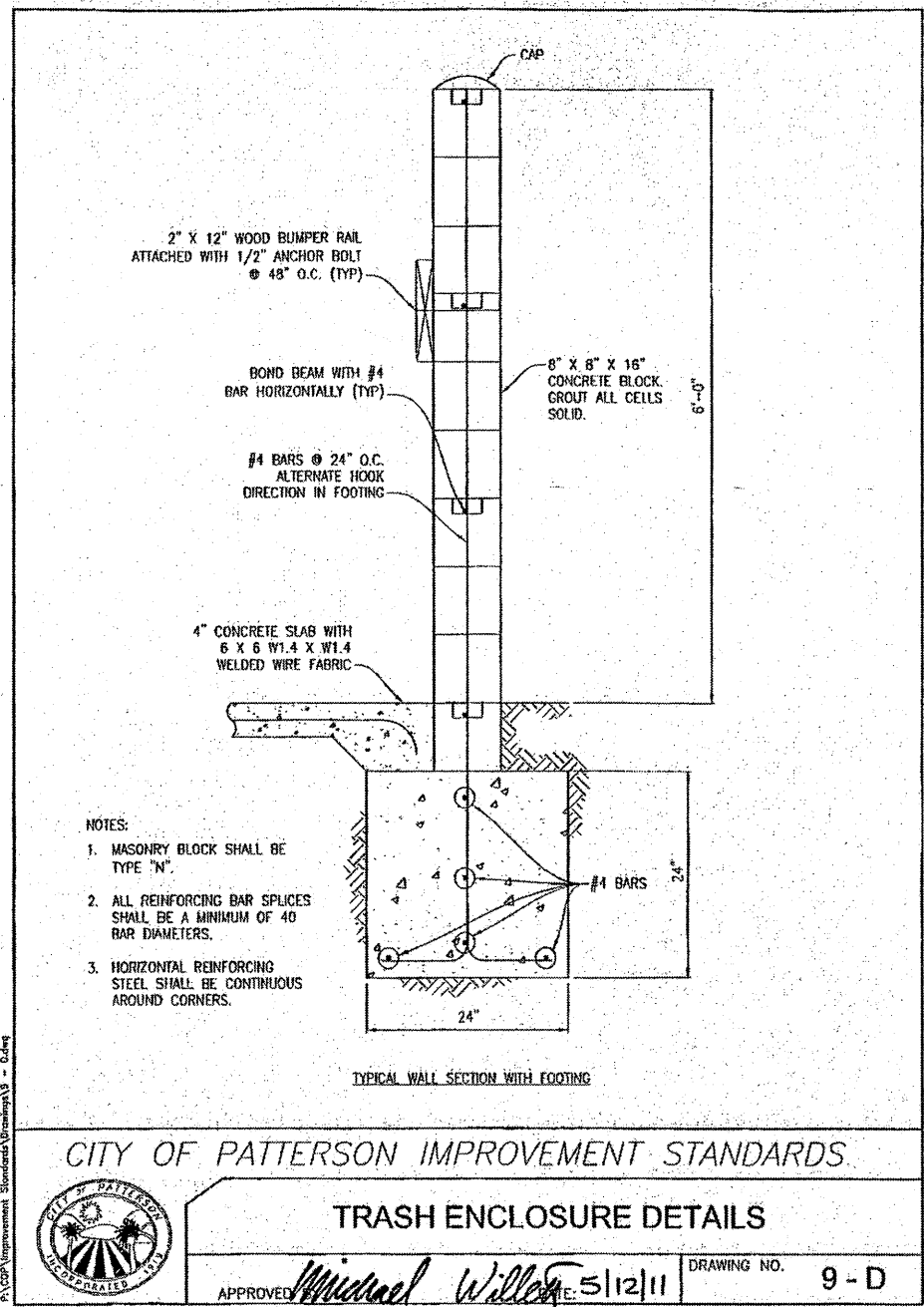
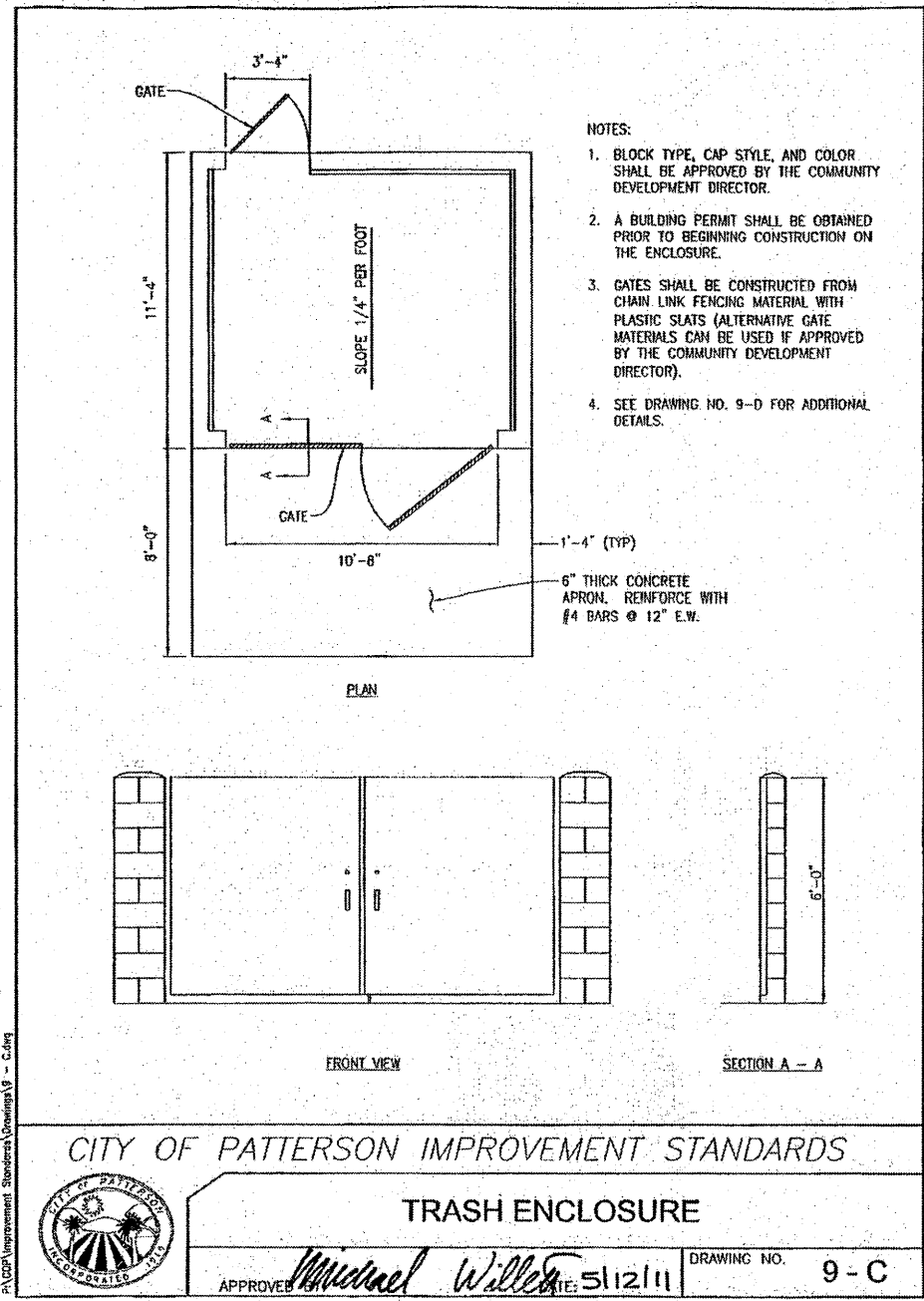
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CONSTRUCTION DETAILS



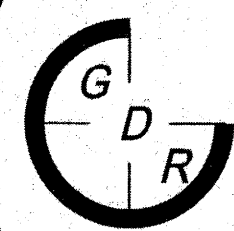
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CONTRACTOR TO VERIFY
DEPTH AND LOCATION OF
EXISTING UTILITIES PRIOR
TO CONSTRUCTION.



CITY STANDARD DETAILS

NOTE TO CONTRACTOR:
CITY, COUNTY AND MANUFACTURER'S STANDARD PLANS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL OBTAIN THE MOST CURRENT STANDARD DRAWINGS PRIOR TO CONSTRUCTION.



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DEC 04 2015
Am/mb
Reviewed By

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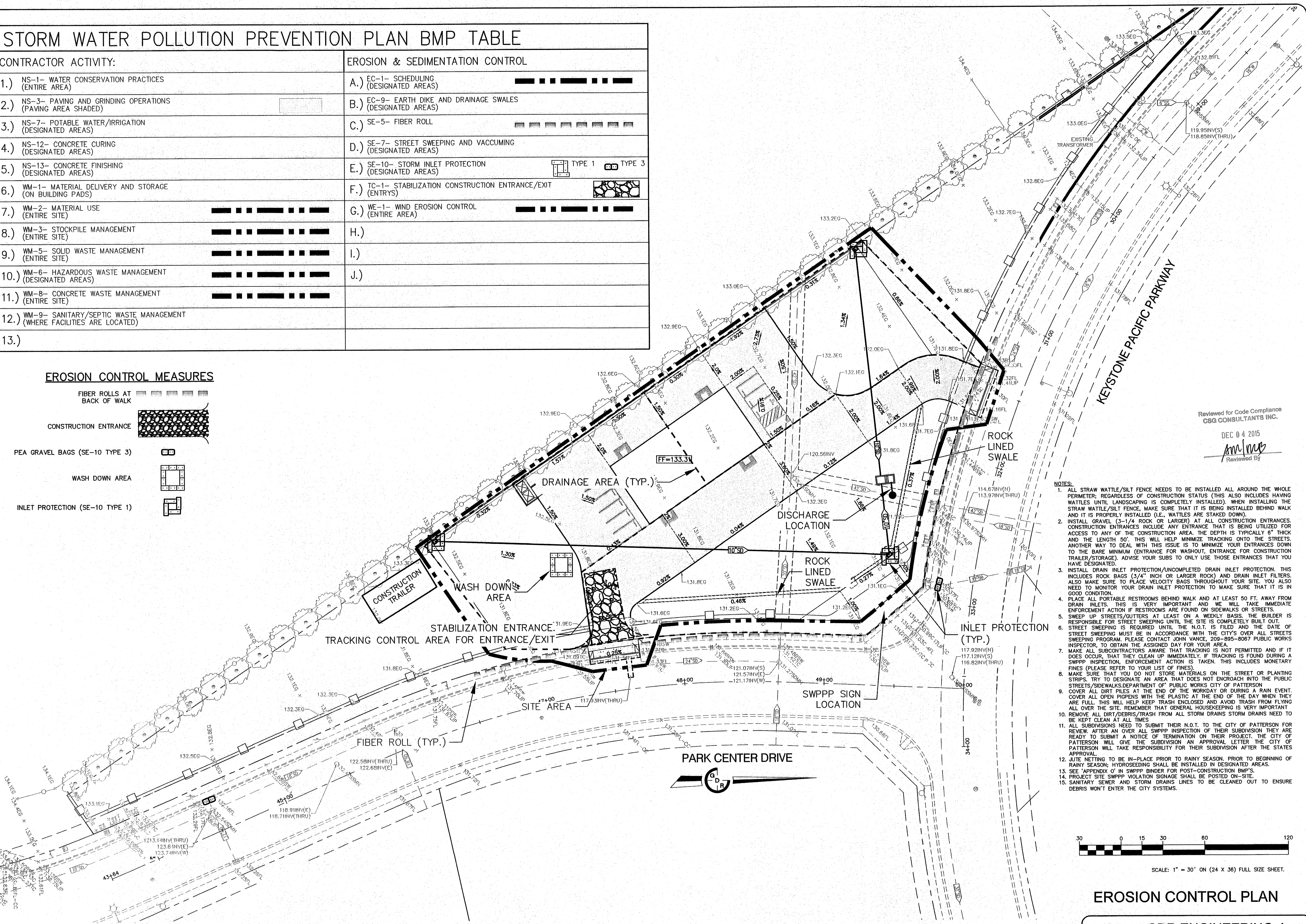
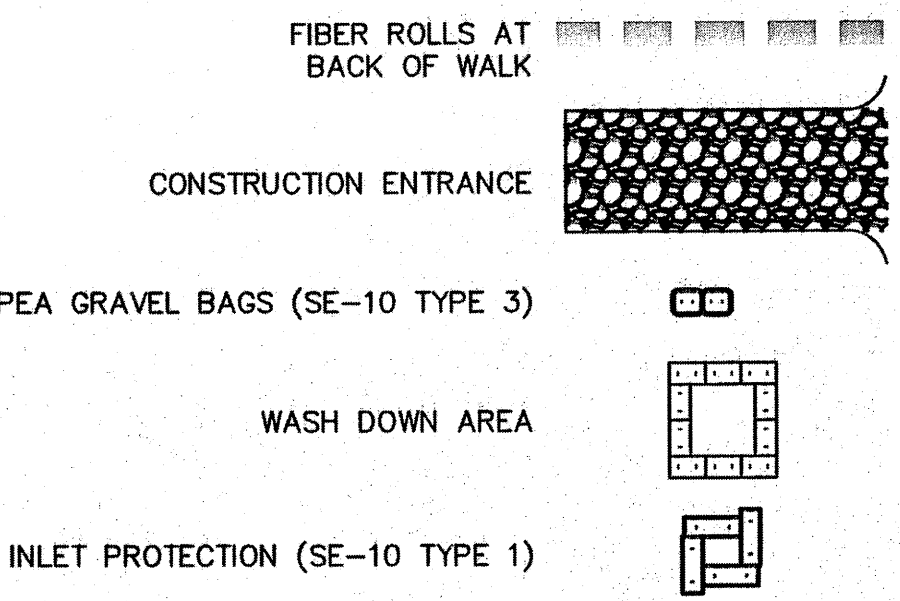
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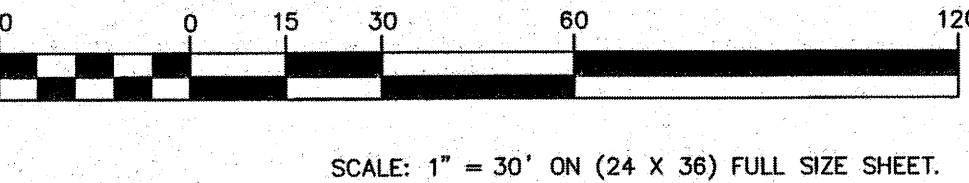
STORM WATER POLLUTION PREVENTION PLAN BMP TABLE

CONTRACTOR ACTIVITY:	EROSION & SEDIMENTATION CONTROL
1.) NS-1- WATER CONSERVATION PRACTICES (ENTIRE AREA)	A.) EC-1- SCHEDULING (DESIGNATED AREAS)
2.) NS-3- PAVING AND GRINDING OPERATIONS (PAVING AREA SHADED)	B.) EC-9- EARTH DIKE AND DRAINAGE SWALES (DESIGNATED AREAS)
3.) NS-7- POTABLE WATER/IRRIGATION (DESIGNATED AREAS)	C.) SE-5- FIBER ROLL
4.) NS-12- CONCRETE CURING (DESIGNATED AREAS)	D.) SE-7- STREET SWEEPING AND VACUUMING (DESIGNATED AREAS)
5.) NS-13- CONCRETE FINISHING (DESIGNATED AREAS)	E.) SE-10- STORM INLET PROTECTION (DESIGNATED AREAS) TYPE 1 TYPE 3
6.) WM-1- MATERIAL DELIVERY AND STORAGE (ON BUILDING PADS)	F.) TC-1- STABILIZATION CONSTRUCTION ENTRANCE/EXIT (ENTRIES)
7.) WM-2- MATERIAL USE (ENTIRE SITE)	G.) WE-1- WIND EROSION CONTROL (ENTIRE AREA)
8.) WM-3- STOCKPILE MANAGEMENT (ENTIRE SITE)	H.)
9.) WM-5- SOLID WASTE MANAGEMENT (ENTIRE SITE)	I.)
10.) WM-6- HAZARDOUS WASTE MANAGEMENT (DESIGNATED AREAS)	J.)
11.) WM-8- CONCRETE WASTE MANAGEMENT (ENTIRE SITE)	
12.) WM-9- SANITARY/SEPTIC WASTE MANAGEMENT (WHERE FACILITIES ARE LOCATED)	
13.)	

EROSION CONTROL MEASURES



- NOTES:
1. ALL STRAW WATTLE/SILT FENCE NEEDS TO BE INSTALLED ALL AROUND THE WHOLE PERIMETER, REGARDLESS OF CONSTRUCTION STATUS (THIS ALSO INCLUDES HAVING WATTLES UNTIL LANDSCAPING IS COMPLETELY INSTALLED). WHEN INSTALLING THE STRAW WATTLE/SILT FENCE, MAKE SURE THAT IT IS BEING INSTALLED BEHIND WALK AND IT IS PROPERLY INSTALLED (I.E., WATTLES ARE STAKED DOWN).
 2. INSTALL GRAVEL (3-1/4" ROCK OR LARGER) AT ALL CONSTRUCTION ENTRANCES. CONSTRUCTION ENTRANCES INCLUDE ANY ENTRANCE THAT IS BEING UTILIZED FOR ACCESS TO ANY OF THE CONSTRUCTION AREA. THE DEPTH IS TYPICALLY 6" THICK AND THE LENGTH 50'. THIS WILL HELP MINIMIZE TRACKING ONTO THE STREETS. ANOTHER WAY TO DEAL WITH THIS ISSUE IS TO MINIMIZE YOUR ENTRANCES DOWN TO THE BARE MINIMUM (ENTRANCE FOR WASHOUT, ENTRANCE FOR CONSTRUCTION TRAILER/STORAGE). ADVISE YOUR SUBS TO ONLY USE THOSE ENTRANCES THAT YOU HAVE DESIGNATED.
 3. INSTALL DRAIN INLET PROTECTION/UNCOMPLETED DRAIN INLET PROTECTION. THIS INCLUDES ROCK BAGS (3/4" INCH OR LARGER ROCK) AND DRAIN INLET FILTERS. ALSO MAKE SURE TO PLACE VELOCITY BAGS THROUGHOUT YOUR SITE. YOU ALSO NEED TO MONITOR YOUR DRAIN INLET PROTECTION TO MAKE SURE THAT IT IS IN GOOD CONDITION.
 4. PLACE ALL PORTABLE RESTROOMS BEHIND WALK AND AT LEAST 50 FT. AWAY FROM DRAIN INLETS. THIS IS VERY IMPORTANT AND WE WILL TAKE IMMEDIATE ENFORCEMENT ACTION IF RESTROOMS ARE FOUND ON SIDEWALKS OR STREETS.
 5. SWEEP UP STREETS/GUTTERS AT LEAST ON A WEEKLY BASIS. THE BUILDER IS RESPONSIBLE FOR STREET SWEEPING UNTIL THE SITE IS COMPLETELY BUILT OUT.
 6. STREET SWEEPING IS REQUIRED UNTIL THE N.O.T. IS FILED AND THE DATE OF STREET SWEEPING MUST BE IN ACCORDANCE WITH THE CITY'S OVER ALL STREETS SWEEPING PROGRAM. PLEASE CONTACT JOHN VANCE, 209-895-8067 PUBLIC WORKS INSPECTOR, TO OBTAIN THE ASSIGNED DAY FOR YOUR AREA.
 7. MAKE ALL SUBCONTRACTORS AWARE THAT TRACKING IS NOT PERMITTED AND IF IT DOES OCCUR, THAT THEY CLEAN UP IMMEDIATELY. IF TRACKING IS FOUND DURING A SWPPP INSPECTION, ENFORCEMENT ACTION IS TAKEN. THIS INCLUDES MONETARY FINES (PLEASE REFER TO YOUR LIST OF FINES).
 8. MAKE SURE THAT YOU DO NOT STORE MATERIALS ON THE STREET OR PLANTING STRIPS. TRY TO DESIGNATE AN AREA THAT DOES NOT ENCROACH INTO THE PUBLIC STREETS/SIDEWALKS/DEPARTMENT OF PUBLIC WORKS CITY OF PATTERSON.
 9. COVER ALL DIRT PILES AT THE END OF THE WORKDAY OR DURING A RAIN EVENT. COVER ALL OPEN PIPES WITH THE PLASTIC AT THE END OF THE DAY WHEN THEY ARE FULL. THIS WILL HELP KEEP TRASH ENCLOSED AND AVOID TRASH FROM FLYING ALL OVER THE SITE. REMEMBER THAT GENERAL HOUSEKEEPING IS VERY IMPORTANT.
 10. REMOVE ALL DIRT/DEBRIS/TRASH FROM ALL STORM DRAIN DRAINS NEED TO BE KEPT CLEAN AT ALL TIMES.
 11. ALL SUBDIVISIONS NEED TO SUBMIT THEIR N.O.T. TO THE CITY OF PATTERSON FOR REVIEW. AFTER AN OVER ALL SWPPP INSPECTION OF THEIR SUBDIVISION THEY ARE READY TO SUBMIT A NOTICE OF TERMINATION ON THEIR PROJECT. THE CITY OF PATTERSON WILL GIVE THE SUBDIVISION AN APPROVAL LETTER THE CITY OF PATTERSON WILL TAKE RESPONSIBILITY FOR THEIR SUBDIVISION AFTER THE STATES APPROVAL.
 12. JUTE NETTING TO BE IN-PLACE PRIOR TO RAINY SEASON. PRIOR TO BEGINNING OF RAINY SEASON; HYDROSEEDING SHALL BE INSTALLED IN DESIGNATED AREAS.
 13. SEE "APPENDIX O" IN SWPPP BINDER FOR POST-CONSTRUCTION BMP'S.
 14. PROJECT SITE SWPPP VIOLATION SIGNAGE SHALL BE POSTED ON-SITE.
 15. SANITARY SEWER AND STORM DRAIN LINES TO BE CLEANED OUT TO ENSURE DEBRIS WON'T ENTER THE CITY SYSTEMS.



EROSION CONTROL PLAN

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REVISIONS	BY

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PROFESSIONAL SEAL
RICHARD L. RINGLER
No. 37099
Exp. 6/30/2015
CIVIL
STATE OF CALIFORNIA
11/20/15
DATE SIGNED:

PROJECT: KEYSTONE WAREHOUSE (LOT G)
CLIENT: KEYSTONE PACIFIC BUSINESS PARK, LLC
LOCATION: 2280 KEYSTONE PACIFIC PARKWAY
PATTERSON, CA 95363
A.P.N.: 021-085-020

DRAWN
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DATE
11/20/2015
SCALE
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OF 7 SHEETS