

# WAREHOUSE & MAINTENANCE STORAGE BUILDING

SW CORNER OF KEYSTONE PACIFIC PARKWAY @ PARK CENTER DRIVE

PATTERSON, CA 95363

A.P.N.: 021-085-020

## PROJECT TEAM

**BUILDING OWNER**  
KEYSTONE CORPORATION  
505 BALDWIN ROAD  
PATTERSON, CA 95363

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**STRUCTURAL ENGINEER**  
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**ELECTRICAL ENGINEER**  
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RICHARD SMITH  
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**LANDSCAPE ARCHITECT**  
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## CODE DATA

### ASSESSOR'S PARCEL NUMBER:

021-085-20

### PROJECT ADDRESS:

KEYSTONE PACIFIC PARKWAY @ PARK CENTER DRIVE  
PATTERSON, CA 95363

### PROJECT JURISDICTION:

CITY OF PATTERSON

### SCOPE OF WORK:

NEW CONSTRUCTION OF  
MAINTENANCE EQUIPMENT STORAGE BUILDING FOR  
STORAGE OF LANDSCAPING EQUIPMENT & CONSTRUCTION  
MATERIALS.  
STORAGE OF MATERIALS SHALL NOT EXCEED 12'-0" IN HEIGHT

### ZONING:

WEST PATTERSON LIGHT INDUSTRIAL

### GENERAL PLAN DESIGNATION:

LI

### SITE AREA:

104,544 SF / 2.40 ACRES

### TYPE OF CONSTRUCTION:

VB

### OCCUPANCY:

S-1

### FIRE SPRINKLERS:

NO, NOT REQUIRED (BUILDING < 5,000 SF)

### ALLOWABLE BUILDING AREA:

9,000 SF / 1 STORY

### STORIES:

1

### OCCUPANT LOAD:

4,950 / 500 = 10 PERSONS

### EXITS REQUIRED / PROVIDED:

REQUIRED 1  
PROVIDED 2

### BUILDING HEIGHT:

24'-0"

### PARKING REQUIRED:

WAREHOUSE/STORAGE: 1 SPACE / 1,000 SQ. FT.

### PARKING PROVIDED:

4,950 SQ. FT. / 1,000 = 5 SPACES REQUIRED

### PARKING PROVIDED:

STANDARD: 8 SPACES  
ACCESSIBLE: 1 SPACE

### SITE AREA TABULATIONS:

BUILDING COVERAGE: 4,950 SQ. FT. 5%  
LANDSCAPE AREA: 13,286 SQ. FT. 13%  
PAVED AREA: 24,350 SQ. FT. 23%  
GRAVEL AREA: 15,195 SQ. FT. 14%  
UNIMPROVED STORAGE YARD: 48,763 SQ. FT. 45%  
104,544 SQ. FT. 100%

## GENERAL NOTES

- CONTRACTOR SHALL VERIFY EXACT CONDITIONS AND DIMENSIONS IN THE FIELD.
- CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS, CONTRACTOR SHALL NOTIFY THE ARCHITECT.
- ALL FRAMING DIMENSIONS ON PLAN, UNLESS NOTED OTHERWISE, ARE TO THE FACE OF STUD FRAMING AND TO THE FACE OF THE EXTERIOR EDGE OF THE BUILDING SLAB.
- ADEQUATELY PROTECT ALL PERSONNEL AND THE PUBLIC FROM HARM AND ACCIDENTS DURING WORK OF THIS PROJECT, BY THE ERECTION OF PROPER BARRICADES, SIGNS AND LIGHTING AS MAY BE NECESSARY.
- ADEQUATELY PROTECT FROM DAMAGE TO EXISTING BUILDINGS AND SURFACES ADJACENT TO WORK OF THIS PROJECT.
- NO ENCLOSURE, SHIELD, OR PROTECTIVE COVERING SHALL INTERFERE WITH USE OF FIRE LANES OR PUBLIC EGRESS AT ANY TIME.
- ALL RUBBISH AND DEBRIS SHALL BE HAULED AWAY FROM THE SITE PROMPTLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- EXCESSIVELY NOISY OR DISRUPTIVE FUNCTIONS SHALL BE PERFORMED AT TIME OF MINIMUM INTERRUPTION TO NORMAL BUSINESS OPERATION.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE, OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK, OR THE EMPLOYEES OR WORK OF THE SUBCONTRACTOR AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL DEBRIS FROM AND ABOUT THE PROJECT AREA AND SHALL LEAVE THE AREA IN A "BROOM CLEAN" MANNER.
- NO MATERIAL OR EQUIPMENT SHALL BE LEFT ON THE PROJECT SITE OVERNIGHT UNSECURED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING CONCRETE WALKS, LANDSCAPING, IRRIGATION SYSTEMS, ETC., WHICH MAY BE DAMAGED BY WORK OF THIS PROJECT.
- ALL CONSTRUCTION SHALL CONFORM TO CURRENT STATE AND LOCAL CODES:  
STRUCTURAL: CALIFORNIA CODE OF REGULATIONS TITLE 24, PART 1 & 2  
CALIFORNIA BUILDING CODE (CBC) 2013 EDITION  
FIRE: CALIFORNIA FIRE CODE, 2013 EDITION  
ELECTRICAL: NATIONAL ELECTRICAL CODE - 2013 EDITION  
MECHANICAL: CALIFORNIA MECHANICAL CODE - 2013 EDITION  
PLUMBING: CALIFORNIA PLUMBING CODE - 2013 EDITION  
CALIFORNIA BUILDING CODE - 2013 EDITION
- CHANGES IN THE APPROVED PLANS AND SPECIFICATIONS SHALL BE MADE BY CHANGE ORDER SIGNED BY THE OWNER AND ARCHITECT.
- TESTS OF MATERIALS SHALL BE CONDUCTED BY A TESTING LAB SELECTED BY THE OWNER WITH THE APPROVAL OF THE ARCHITECT. THE OWNER SHALL PAY THE COSTS OF ALL TESTS.
- VERIFY SIZE, LOCATION, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY OWNER OR OTHERS WITH MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION PERTAINING TO SAME IS BEGUN.
- COORDINATE ROUGH-INS AND STUD WALL FRAMING LOCATIONS TO PROVIDE CLEARANCE FROM THE CENTERLINE OF EACH WATER CLOSET BOWL TO THE ADJACENT SIDE WALL FINISH SURFACE AND A MINIMUM OF 16" FROM THE CENTERLINE OF WALL-MOUNTED SINKS TO THE ADJACENT SIDE WALL FINISH SURFACES, UNLESS NOTED OTHERWISE.
- INSTALL BLOCKING BEHIND, BUT NOT LIMITED TO, CUBICLE CURTAIN TRACKS, T.V. BRACKETS, HANDRAILS, CORNER GUARDS, TOILET ACCESSORIES, GRAB BARS, OVERHEAD CABINETRY, WRITING COUNTERS, MILLWORK, KNEE BRACES, SHELVING, AND ALL MISCELLANEOUS INTERIOR WALL-HUNG EQUIPMENT, BLOCKING FOR HANDRAILS, GRAB BARS AND VANITIES SHALL BE ADEQUATE TO SUPPORT A MINIMUM OF 250LBS OF BOTH VERTICAL AND / OR HORIZONTAL LOADING FOR A MINIMUM OF 15 MINUTES.
- ERRORS AND / OR OMISSIONS IN ROOM FINISH SCHEDULE AND DOOR SCHEDULE DO NOT RELIEVE THE CONTRACTOR FROM WORK SHOWN ON DRAWINGS OR DESCRIBED IN THE SPECIFICATIONS.
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.
- STREET ADDRESS AND NUMBER SHALL BE POSTED PRIOR TO THE FIRST INSPECTION AND INSTALLED PER ADOPTED FIRE PROTECTION DEPARTMENT STANDARDS.
- DISABLED ACCESSIBLE PARKING SIGNAGE SHALL BE PROVIDED AT ALL ENTRANCES TO THE PARKING LOT, AT ALL ACCESSIBLE PARKING STALLS, AT ALL PRIMARY ENTRANCES TO THE BUILDING SITE, AT ACCESSIBLE FITTING ROOMS, AND AT ACCESSIBLE RESTROOMS.
- THE PATH OF TRAVEL FROM THE ACCESSIBLE PARKING TO THE ENTRANCE AND TO THE RESTROOMS SHALL CONFORM TO A.D.A. AND TITLE 24 ACCESS STANDARDS, INCLUDING DOOR HARDWARE, THRESHOLDS, KICK PLATES, AND SIGNAGE.
- THIS PERMIT DOES NOT APPROVE ANY EXTERIOR SIGNAGE. A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNS.

RECEIVED  
DEC 01 2015  
CSG CONSULTANTS INC.

## ARCHITECTURAL SYMBOL LEGEND

### DRAWING TITLE

NORTH ARROW  
DRAWING IDENTIFICATION  
**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
DRAWING SCALE

### INTERIOR ELEVATION

INTERIOR ELEVATION NUMBER  
DRAWING NUMBER LOCATION

### SECTION

SECTION NUMBER  
VIEW DIRECTION  
DRAWING NUMBER LOCATION

### DETAIL

DETAIL NUMBER  
CUT DIRECTION  
DRAWING NUMBER LOCATION

### ELEVATION HEIGHT

ELEVATION HEIGHT  
REFERENCE POINT  
FINISH FLOOR

### REVISIONS

ADDENDUM NUMBER  
REVISED AREA CLOUD

### DETAIL (ENLARGEMENT)

AREA TO BE ENLARGED  
PLAN NUMBER  
DRAWING NUMBER  
LOCATION

### ROOM IDENTIFICATION

ROOM DESIGNATION  
ROOM IDENTIFICATION NUMBER

### KEYED NOTES

KEYED NOTE

### DOOR IDENTIFICATION

DOOR IDENTIFICATION NUMBER

### WINDOW IDENTIFICATION

WINDOW IDENTIFICATION NUMBER

### FIXTURE IDENTIFICATION

FIXTURE IDENTIFICATION NUMBER

### EQUIPMENT IDENTIFICATION

EQUIPMENT IDENTIFICATION NUMBER

### FINISH DESIGNATION

FINISH IDENTIFICATION NUMBER

## FIRE PREVENTION NOTES

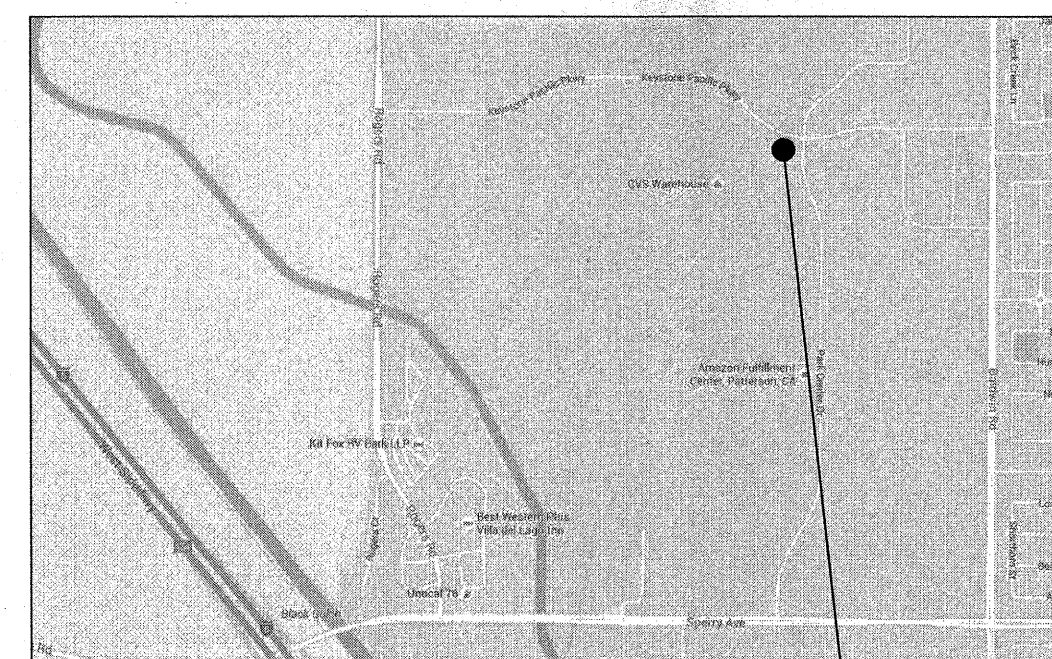
- PROVIDE APPROVED STREET ADDRESS/SUITE NUMBERS TO BE POSITIONED TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET. NUMBERS SHALL BE A MINIMUM OF 6" HIGH WITH A 3/4" STROKE, SHALL CONTRAST WITH THEIR BACKGROUND AND BE ILLUMINATED EITHER INTERNALLY OR EXTERNALLY FROM DUSK TO DAWN DAILY.
- MINIMUM 2A-10BC FIRE EXTINGUISHERS SHALL BE PROVIDED SO THAT THE MAXIMUM TRAVEL DISTANCE TO ONE DOES NOT EXCEED 75 FEET (PER CFC 906). INTERIOR FIRE EXTINGUISHERS ARE TO BE PLACED INSIDE RECESSED FIRE EXTINGUISHER CABINETS AND MULTI-DIRECTIONAL SIGNS ARE TO BE POSTED AT A HEIGHT OF 7'-0" ABOVE THEIR LOCATION.
- FOR ALL PROJECTS REQUIRING A PERMIT FROM FIRE PREVENTION, A MINIMUM OF (3) SETS OF SHOP DRAWINGS AND MATERIAL DATA SHEETS SHALL BE SUBMITTED TO THE FIRE PREVENTION DEPARTMENT FOR APPROVAL.
- AT THE TIME OF FINAL INSPECTION THE PROPERTY OWNER/OPERATOR SHALL PROVIDE THE FIRE DEPARTMENT WITH ACCESS KEYS FOR INSTALLATION INTO THE BUILDING'S KNOX BOX (PER CFC 506).
- COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN BUILDINGS. COMBUSTIBLE DEBRIS, RUBBISH AND WASTE MATERIAL SHALL BE REMOVED FROM BUILDINGS AT THE END OF EACH SHIFT OF WORK (PER CFC 1404.2).
- CONTACT THE FIRE AUTHORITY AT LEAST 72 HOURS PRIOR TO DESIRED INSPECTION TO SCHEDULE AN APPOINTMENT. TO AVOID A RE-INSPECTION FEE, PROVIDE 24 HOURS NOTICE IF THE SCHEDULED INSPECTION NEEDS TO BE CANCELED.
- A KNOX KEY SAFE SHALL BE INSTALLED TO THE RIGHT OF THE MAIN ENTRANCE DOOR WITH TOP OF BOX MOUNTED NO HIGHER THAN 6' ABOVE FINISHED GRADE. SAFE MAY BE ORDERED ONLINE AT [WWW.KNOXBOX.COM](http://WWW.KNOXBOX.COM).
- MAIN ELECTRICAL DISCONNECT SHALL BE IDENTIFIED WITH PERMANENT ALL WEATHER SIGNAGE STATING "MAIN ELECTRICAL DISCONNECT".

This set of plans and specifications MUST be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from Building Inspection, City of Patterson.

APPROVED: [Signature]  
Date: 12/15/15  
Permit No. 2015-0340

The stamping of this plan and specifications SHALL NOT be held to permit or to be an approval of the violation of any provisions of any Ordinance or Law. Occupancy of structure not permitted until after final approval.

## VICINITY MAP



## JOB SITE COPY

PROJECT LOCATION  
KEYSTONE PACIFIC PKWY @ PARK CENTER DR.  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

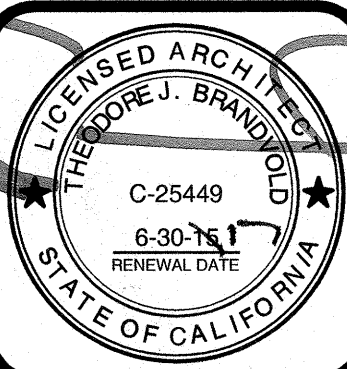
REVISIONS	BY
PATTERSON BLDG. DEPT.	SLW
PATTERSON FIRE DEPT.	SLW

COMMERCIAL ARCHITECTURE INC.

THEODORE J. BRANDVOLD, ARCHITECT

616 14TH STREET, MODESTO, CA 95354

PH (209) 571-8158 FAX (209) 571-8160



PROJECT: WAREHOUSE & MAINTENANCE STORAGE BUILDING  
CLIENT: KEYSTONE CORPORATION  
LOCATION: KEYSTONE PACIFIC PARKWAY  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

DRAWN SLW
CHECKED TJB
DATE 8/25/15
SCALE AS SHOWN
JOB NO. 15-101
SHEET
<b>A-1.0</b>
OF SHEETS

SW KEYSTONE PAC PKWY PATTERSON  
NEW COMMERCIAL WAREHOUSE  
366702/2015-0340  
2ND REVIEW  
DATE 12/7/15



CAL GREEN NON-RESIDENTIAL MANDATORY MEASURES

CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist	Compliant?		
		Yes	No	N/A
PLANNING AND DESIGN				
	Requirements			
	Project meets all the requirements of divisions 5.1 through 5.5	X		
	Site Development			
5.106.1	Storm Water Pollution Prevention Plan (SWPPP). <1 acre, develop a SWPPP compliant with State Storm Water NPDES Construction Permit or local ordinance, whichever is stricter.	X		
5.106.4	Bicycle parking and changing rooms. Comply with Sections 5.106.4.1 and 5.106.4.2; or meet local ordinance, whichever is stricter.			X
5.106.4.1	Short-Term bicycle parking. Visitor traffic- Permanently anchored within 200 feet of entrance. 5% of visitor motorized vehicle parking capacity, minimum of one two-bike rack.			X
5.106.4.2	Long-Term bicycle parking. Buildings >10 tenant-occupants, secure bicycle parking for 5% of tenant-occupied motorized vehicle parking capacity, one space min.			X
5.106.5.2	Designated parking. For any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as shown in Table 5.106.6.2.			X
5.106.8	Light pollution reduction. California Energy Code. Interior and Exterior Lights zero direct-beam illumination leaves the building site. Meet or exceed levels for zones 1-4 Ch. 10 of the California Administrative Code, using the following strategies: 1. Shield all exterior luminaires or use cutoff luminaires. 2. Contain interior lighting within each source. 3. Allow no more than .01 horizontal foot candle 15 ft beyond the site. 4. Contain all exterior lighting within property boundaries. Exception: See Part 2, Chapter 12, Section 1205.6 for campus lighting requirements for parking facilities and walkways.	X		
5.106.10	Grading and paving. Site grading or drainage system away from building	X		
ENERGY EFFICIENCY				
	Performance Requirements			
5.201.1	Scope. Stay current with The California Energy Commission as they adopt mandatory building standards.	X		
WATER EFFICIENCY AND CONSERVATION				
	Indoor Water Use			
5.303.1	Meters. Separate meters shall be installed for the uses described in Sections 503.1.1 through 503.1.3.			X
5.303.1.1	Buildings >50,000 sf. Separate submeters installed as follows: 1. Individual leased, rented or other tenant space within the building projected to consume >100 gal/day. 2. Laundry or cleaners, restaurant or food service, medical or dental office, laboratory or beauty salon or barber shop projected to consume >100 gal/day.			X
5.303.1.2	Excess consumption. Any building within a project or space within a building that is projected to consume more than 1,000 gal/day.			X

CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist	Compliant?		
		Yes	No	N/A
5.303.2	20 percent savings. Plumbing fixtures and fixture fittings schedule reducing potable water use by 20 percent. (Calculate savings by Water Use Worksheets)	X		
5.303.2.1	Areas of Additions or Alterations. For those occupancies within the authority of the California Building Standards Commission as specified in Section 103, the provisions of Section 5.303.2 and Section 5.303.3 shall apply to new fixtures in additions or area of alterations to the building.			X
5.303.4	Wastewater reduction. 1. The installation of water-conserving fixtures or 2. Utilizing nonpotable water systems.	X		
5.303.6	Plumbing fixtures and fittings. Plumbing fixtures and fittings shall comply with the requirements listed for each type in Items listed in Table 5.303.6. 1. Water closets (toilets) – flushometer type 2. Water closets (toilets) – tank type 3. Urinals 4. Public lavatory faucets 5. Public metering self-closing faucets 6. Residential bathroom lavatory sink faucets 7. Residential kitchen faucets 8. Residential shower heads 9. Single shower fixtures served by more than one showerhead	X		
5.304.1	Outdoor Water Use Water budget. Water budget for landscape irrigation use			X
5.304.2	Outdoor potable water use. For new water service, separate meters or submeters are installed for indoor and outdoor potable water use for landscaped areas between 1,000 and 5,000 s.f.			X
5.304.3	Irrigation design. New projects install irrigation controllers and sensors for landscaped areas between 1,000 and 2,500 s.f.			X
5.304.3.1	Irrigation controllers. 1. Controllers shall be weather- or soil moisture-based. 2. Weather-based controllers without integral rain sensors or communication systems have a separate wired or wireless rain sensor. Soil moisture-based controllers are not required to have rain sensor input.			X
5.407.1	Weather Resistance and Moisture Management Weather protection. Provide a weather-resistant exterior wall and foundation envelope as required by California Building Code Section 1403.2 and California Energy Code Section 150, manufacturer's installation instructions or local ordinance, whichever is more stringent.	X		
5.407.2	Moisture control. Employ moisture control measures by the following methods; 5.407.2.1 5.407.2.2	X		
5.407.2.2	Entries and openings. Prevent water intrusion into buildings entries & openings	X		

CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist	Compliant?	
		Yes	No / N/A
MATERIAL CONSERVATION AND RESOURCE EFFICIENCY			
Construction Waste Reduction, Disposal and Recycling			
5.408.1	Construction waste management. Recycle and/or salvage for reuse a minimum of 50% of the non-hazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.	X	
5.408.3	Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils from land clearing shall be reused or recycled.	X	
Building Maintenance and Operation			
5.410.1	Recycling by occupants. Provide readily accessible areas that serve the entire building for the depositing, storage, and collection of non-hazardous materials for recycling.	X	
5.410.1.1	Additions. All additions conducted within a 12 month period under single or multiple permits, resulting in an increase of 30 percent or more in floor area, shall provide recycling areas on site. <b>Exception:</b> Additions within a tenant space resulting in less than a 30-percent increase in the tenant space floor area.	X	
5.410.1.2	Sample ordinance. Space allocation for recycling areas shall comply with Chapter 18, Part 3, Division 30 of the Public Resources Code. Chapter 18 is known as the California Solid Waste Reuse and Recycling Access Act of 1991 (ACT). Note: A sample ordinance for use by local agencies may be found in Appendix A of the document at the CalRecycle's web site.	X	
5.410.2	Commissioning (Cx). For new buildings $\geq 10,000$ s.f., building commissioning for all building systems covered by T24, Part 6, process systems, and renewable energy systems shall be included in the design and construction processes of the building project.		X
5.410.2.1	Owner's Project Requirements (OPR). Documented before the design phase of the project begins the OPR shall include items listed in 5.410.4.		X
5.410.2.2	Basis of Design (BOD). A written explanation of how the design of the building systems meets the OPR shall be completed at the design phase of the building project and updated periodically to cover the systems listed in 5.410.2.2.		X
5.410.2.3	Commissioning plan. A commissioning plan describing how the project will be commissioned and includes items listed in 5.410.2.3.		X
5.410.2.4	Functional performance testing. The correct installation and operation of each component, system, and system-to-system interface has been demonstrated.		X
5.410.2.5	Documentation and training. A Systems Manual and Systems Operations Training were provided.		X

CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist	Compliant?		
		Yes	No	N/A
5.410.2.5.1	Systems manual. The Systems Manual shall be delivered to the building owner or representative and facilities operator and shall include the items listed in 5.410.2.5.1.			X
5.410.2.5.2	Systems operations training. The training of the appropriate maintenance staff for each equipment type and/or system shall include items listed in 5.410.2.5.2.			X
5.410.2.6	Commissioning report. A complete report of commissioning process activities (design through construction and reporting recommendations for post-construction) have been provided to the owner or representative.			X
5.410.4	Testing and adjusting. Testing and adjusting of systems for buildings < 10,000 s.f.	X		
5.410.4.2	Systems. Develop a written plan of procedures for testing and adjusting systems. Systems to be included for testing and adjusting shall include, as applicable to the project, the systems listed in 5.410.3.2.	X		
5.410.4.3	Procedures. Perform testing and adjusting procedures in accordance with industry best practices and applicable national standards on each system.	X		
5.410.4.3.1	HVAC balancing. Before a new space conditioning system serving a building or space is operated for normal use, the system should be balanced in accordance with the procedures defined by national standards listed in 5.410.3.3.1.			X
5.410.4.4	Reporting. After completion of testing, adjusting and balancing, provide a final report of testing signed by the individual responsible for performing these services.	X		
5.410.4.5	Operation and maintenance manual. Provide the building owner with detailed O&M instructions and copies of warranties/guarantees for each system prior to final inspection.	X		
5.410.4.5.1	Inspections and reports. Include a copy of all inspection verifications and reports required by the enforcing agency.	X		

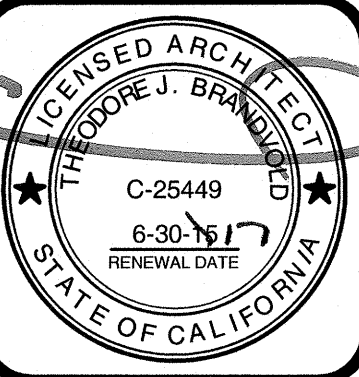
CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist		Compliant?	
			Yes	No / N/A
	ENVIRONMENTAL QUALITY			
	Fireplaces			
5.503.1	Install only a direct-vent sealed-combustion gas or sealed wood-burning fireplace, or a sealed woodstove, and refer to residential requirements in the California Energy Code, Title 24, Part 6, Subchapter 7, Section 150.			X
5.503.1.1	Woodstoves. Woodstoves shall comply with US EPA Phase II emission limits.			X
	Pollutant Control			
5.504.1.3	Temporary ventilation. If the HVAC system is used during construction, use return air filters with a MERV of 8, based on ASHRAE 52.2-1999, or an average efficiency of 30% based on ASHRAE 52.1-1992. Replace all filters immediately prior to occupancy. Applies to additions or alterations.			X
5.504.3	Construction IAQ Management. Cover duct openings and protection of mechanical equipment during construction.			X
5.504.4	Finish material pollutant control. Finish materials shall comply with Sections 5.504.4.1 through 5.504.4.4.		X	
5.504.4.1	Adhesives, sealants, caulks. Adhesives and sealants used on the project shall meet the requirements of the following standards: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.		X	
5.504.4.3	Paints and coatings. Architectural paints and coatings shall comply with Table 5.504.4.2 unless more stringent local limits apply.		X	
5.504.4.3.1	Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for VOC in section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq).		X	
5.504.4.3.2	Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency.		X	

CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist	Compliant?		
		Yes	No	N/A
5.504.4.4	Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the standards listed in 5.504.4.4.			X
5.504.4.4.1	Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.			X
5.504.4.4.2	Carpet adhesive. All carpet adhesive meets the requirements of Table 804.4.1.			X
5.504.4.5	Composite wood products. Hardwood plywood, particleboard, and MDF, composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in Table 5.504.4.			X
5.504.4.5.2	Documentation. At least one of the following has been provided for 5.504.4.5: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Other methods acceptable to the enforcing agency.	X		
5.504.4.6	Resilient flooring systems. Comply with the VOC-emission limits defined in the 2009 CHPS criteria and listed on its Low-emitting Materials List (or Product Registry), or certified under the FloorScore program of the Resilient Floor Covering Institute.	X		
A5.504.4.6.1	Verification of compliance. Documentation was provided verifying that resilient flooring materials meet the pollutant emission limits.	X		
5.504.5.3	Filters. In mechanically ventilated buildings, provide MERV 8 or better air filtration media for outside and return air prior to occupancy.	X		
5.504.5.3.1	Labeling. Installed Filters shall be clearly labeled by the manufacturer indicating the MERV rating.	X		
5.504.7	Environmental tobacco smoke (ETS) control. Prohibit smoking within 25 feet of building entries, outdoor air intakes and operable windows where outdoor areas are provided for smoking, and in buildings.	X		

CALGreen	2013 Non-Residential Mandatory Measures Compliance Checklist	Compliant?		
		Yes	No	N/A
	Indoor Moisture and Radon Control			
5.505.1	Indoor moisture control. Buildings shall meet or exceed the provisions of California Building Code, CCR, Title 24, Part 2, Sections 1203 and Chapter 14.1	X		
	Air Quality and Exhaust			
5.506.1	Outside air delivery. The minimum requirements of Section 121 of the California Energy Code, CCR, Title 24, Part 6 and Chapter 4 of CCR, Title 8, or the applicable local code, whichever is more stringent, have been met.	X		
5.506.2	Carbon dioxide (CO2) monitoring. For buildings equipped with demand control ventilation, CO2 sensors and ventilation controls are installed per Title 24 Energy Code.	X		
	Environmental Comfort			
5.507.4	Acoustical control. Employ building assemblies and components with STC values determined in accordance with ASTM E90 and ASTM E413.	X		
5.507.4.1	Exterior noise transmission. Building envelope assemblies have an STC ≥ 50, and exterior windows have an STC ≥ 30.	X		
5.507.4.2	Performance method. For buildings located as defined in Section 5.507.4.1 or 5.507.4.1.1, wall and roof-ceiling assemblies exposed to the noise source making up the building addition envelope or altered envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level of 50 dBA in occupied areas during any hour of operation.			X
5.507.4.3	Interior sound. Assemblies separating tenant and public spaces have an STC ≥ 40.	X		
	Outdoor Air Quality			
5.508.1.1	CFCs. Install HVAC and refrigeration equipment that does not contain CFCs.	X		
5.508.1.2	Halons. Install fire suppression equipment that does not contain Halons.	X		

REVISIONS	BY
PATTERSON BLDG. DEPT.	SLW

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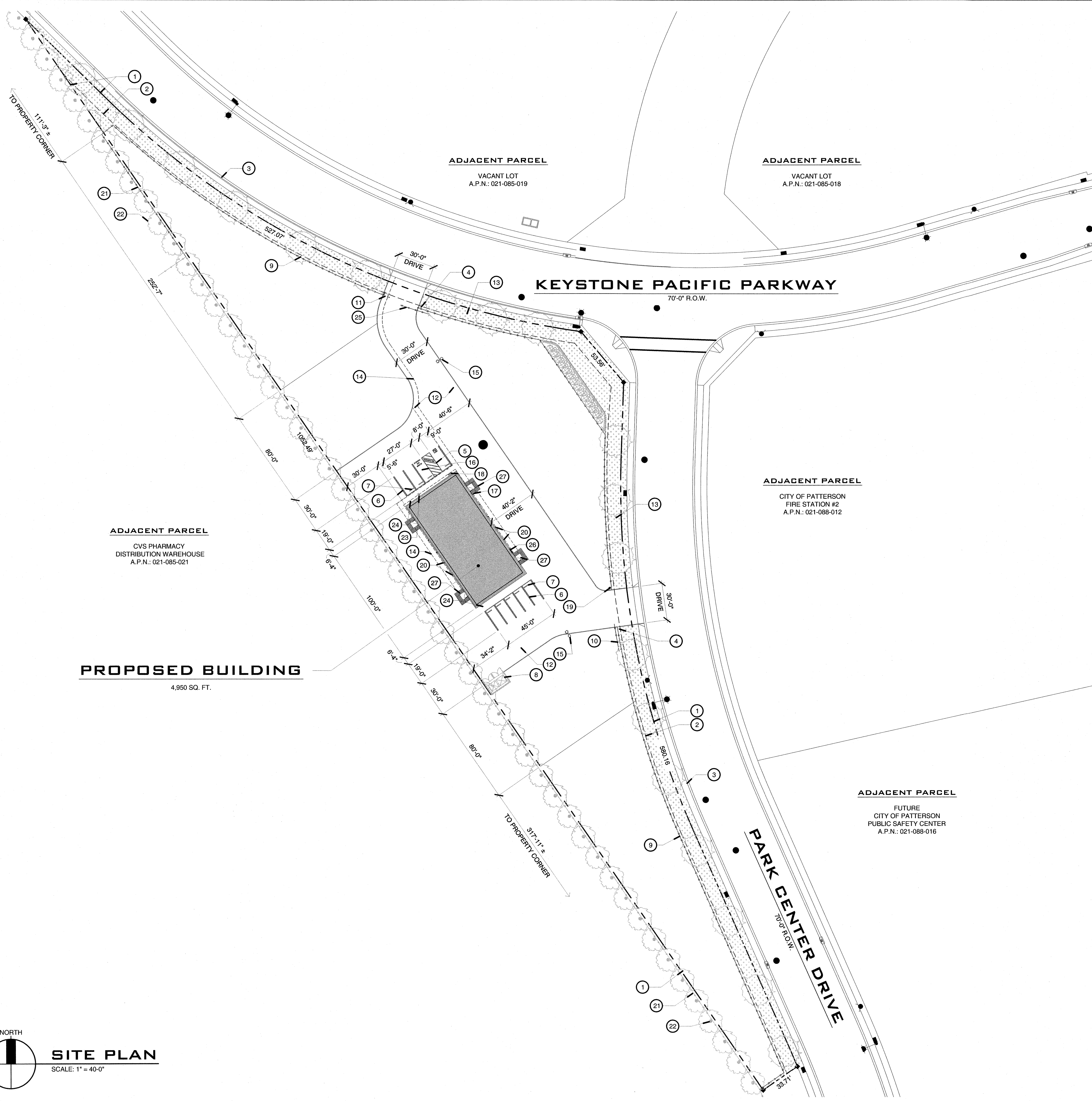
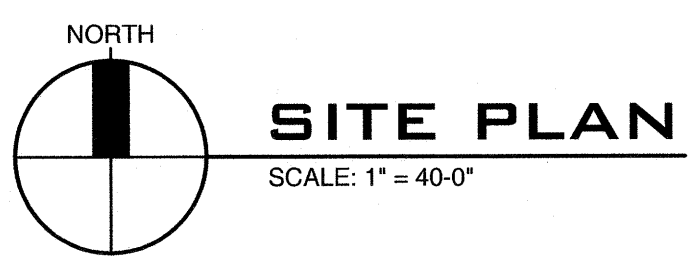
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*am/mw*

PROJECT : WAREHOUSE & MAINTENANCE  
STORAGE BUILDING  
CLIENT : KEYSTONE CORPORATION  
LOCATION : KEYSTONE PACIFIC PARKWAY  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

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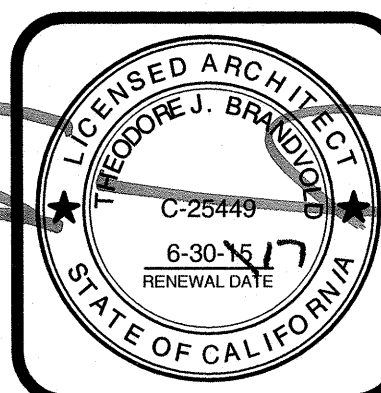
**KEYNOTES**

- 1 PROPERTY LINE, TYPICAL
- 2 DASHED LINE INDICATES EXISTING PUBLIC UTILITY EASEMENT
- 3 EXISTING CURB, GUTTER AND WALK - SEE CIVIL DRAWINGS
- 4 SITE ACCESSIBILITY SIGNAGE - SEE DETAILS
- 5 VAN ACCESSIBLE PARKING STRIPING AND ACCESSIBILITY RAMP - SEE DETAILS
- 6 CITY STANDARD PARKING STRIPING, TYPICAL - SEE DETAIL
- 7 4'-0" LONG X 6" WIDE CONCRETE WHEEL STOPS, TYPICAL
- 8 CMU TRASH ENCLOSURE WITH CONCRETE APRON - SEE DETAIL
- 9 +6'-0" HIGH CHAIN LINK FENCE WITH VINYL SLATS - SEE DETAIL
- 10 +6'-0" HIGH X 30'-0" WIDE, ROLLING CHAIN LINK DRIVE GATE WITH VINYL SLATS - SEE DETAIL
- 11 +6'-0" HIGH X 3'-0" WIDE CHAIN LINK MAIN GATE WITH VINYL SLATS - SEE DETAIL
- 12 ASPHALTIC CONCRETE PAVING - SEE CIVIL DRAWINGS
- 13 LANDSCAPE PLANTER, TYPICAL - SEE LANDSCAPE DRAWINGS
- 14 DASHED LINE INDICATES 4'-0" WIDE MINIMUM ACCESSIBLE PATH OF TRAVEL SEE CIVIL DRAWINGS FOR GRADING REQUIREMENTS
- 15 SITE LIGHTING FIXTURE, TYPICAL - SEE ELECTRICAL DRAWINGS
- 16 DESIGNATED PARKING FOR FUEL EFFICIENT VEHICLE. PROVIDE AND INSTALL 6" HIGH LETTERING IN WHITE TRAFFIC PAINT "CLEAN AIR VEHICLE"
- 17 BICYCLE RACK - (1) BICYCLE RACK - WELLE SERIES BIKE BOLLARD BBDO4-IG HOT DIPPED GALVANIZED WITH POWDER COAT(BLACK) FINISH - 2 BIKE CAPACITY
- 18 HVAC CONDENSING UNIT - SEE MECHANICAL DRAWINGS
- 19 LANDSCAPE IRRIGATION CONTROLLER ON STEEL POST -SEE ELECTRICAL AND LANDSCAPE DRAWINGS
- 20 CONCRETE FILLED, STEEL PIPE BOLLARD, TYPICAL AT ROLL-UP DOORS, SEE DETAIL
- 21 EXISTING +6'-0" HIGH CHAIN LINK FENCE WITH VINYL SLATS ON ADJACENT PROPERTY TO REMAIN, TYPICAL
- 22 EXISTING LANDSCAPING ON ADJACENT PROPERTY, TYPICAL
- 23 DOMESTIC WATER CONNECTION WITH SHUT-OFF VALVE IN BOX MARKED "WATER" SEE CIVIL AND PLUMBING DRAWINGS FOR CONTINUATION
- 24 PLUMBING CLEANOUT TO GRADE - SEE CIVIL AND PLUMBING DRAWINGS FOR CONTINUATION
- 25 +6'-0" HIGH X 25'-0" WIDE, ROLLING CHAIN LINK DRIVE GATE WITH VINYL SLATS - SEE DETAIL
- 26 ELECTRICAL MAIN SERVICE PANEL AND TELEPHONE BOARD - SEE ELECTRICAL DRAWINGS
- 27 EXTERIOR DOOR WITH ACCESSIBLE LANDING AND TRUNCATED DOMES - SEE DETAIL

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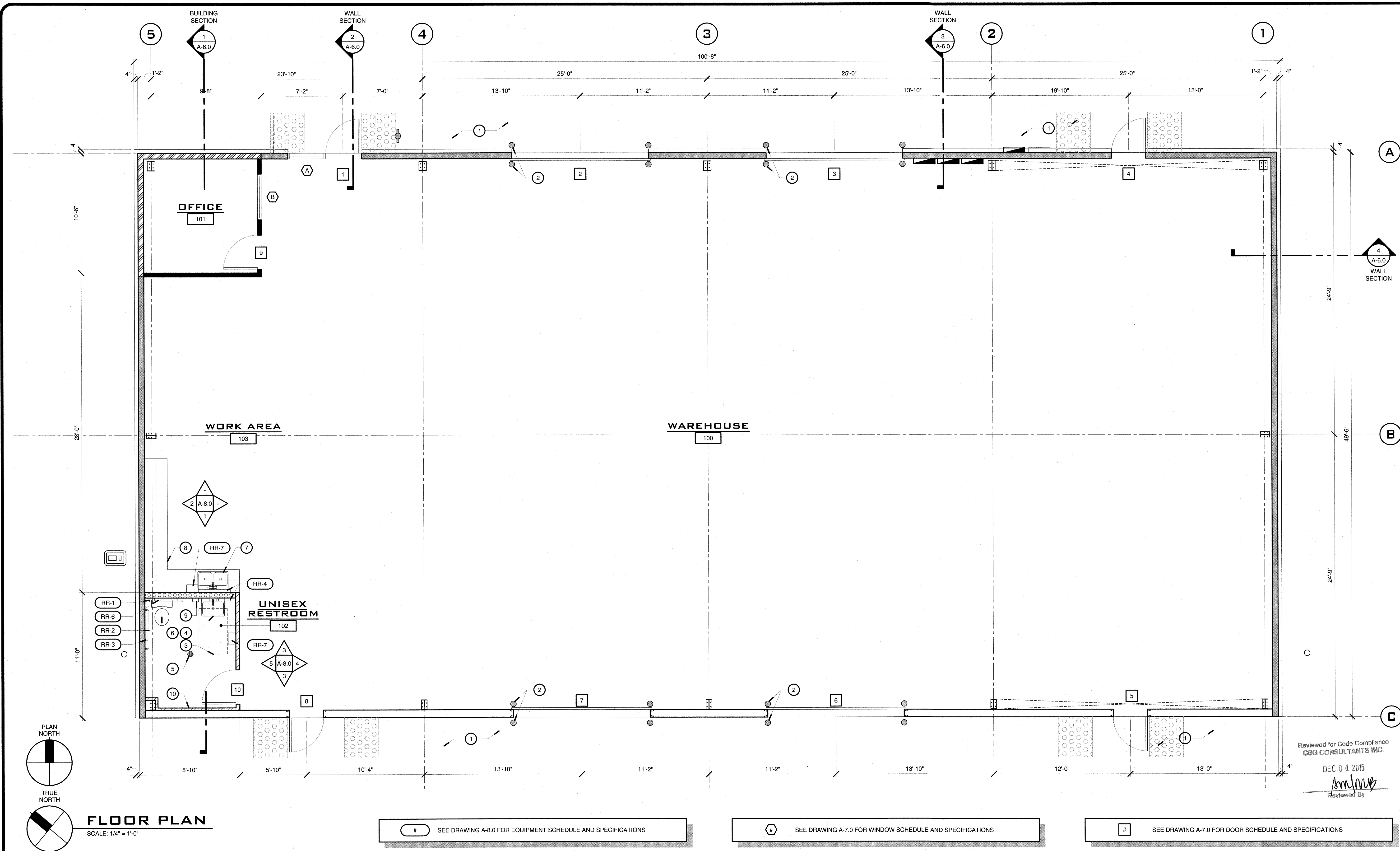
**COMMERCIAL ARCHITECTURE INC.**  
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STORAGE BUILDING  
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PATTERSON, CA 95363  
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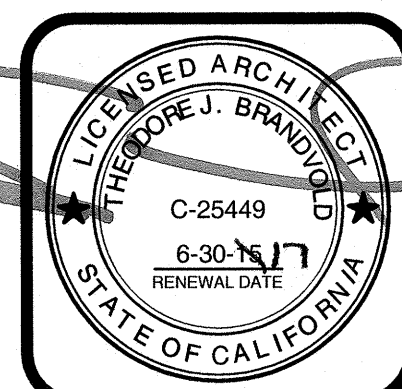




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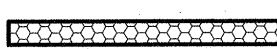
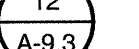
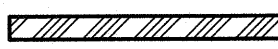
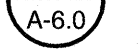

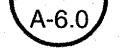

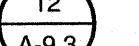

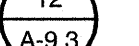
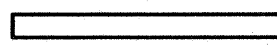

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PROJECT : WAREHOUSE & MAINTENANCE  
STORAGE BUILDING  
CLIENT : KEYSTONE CORPORATION  
LOCATION : KEYSTONE PACIFIC PARKWAY  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

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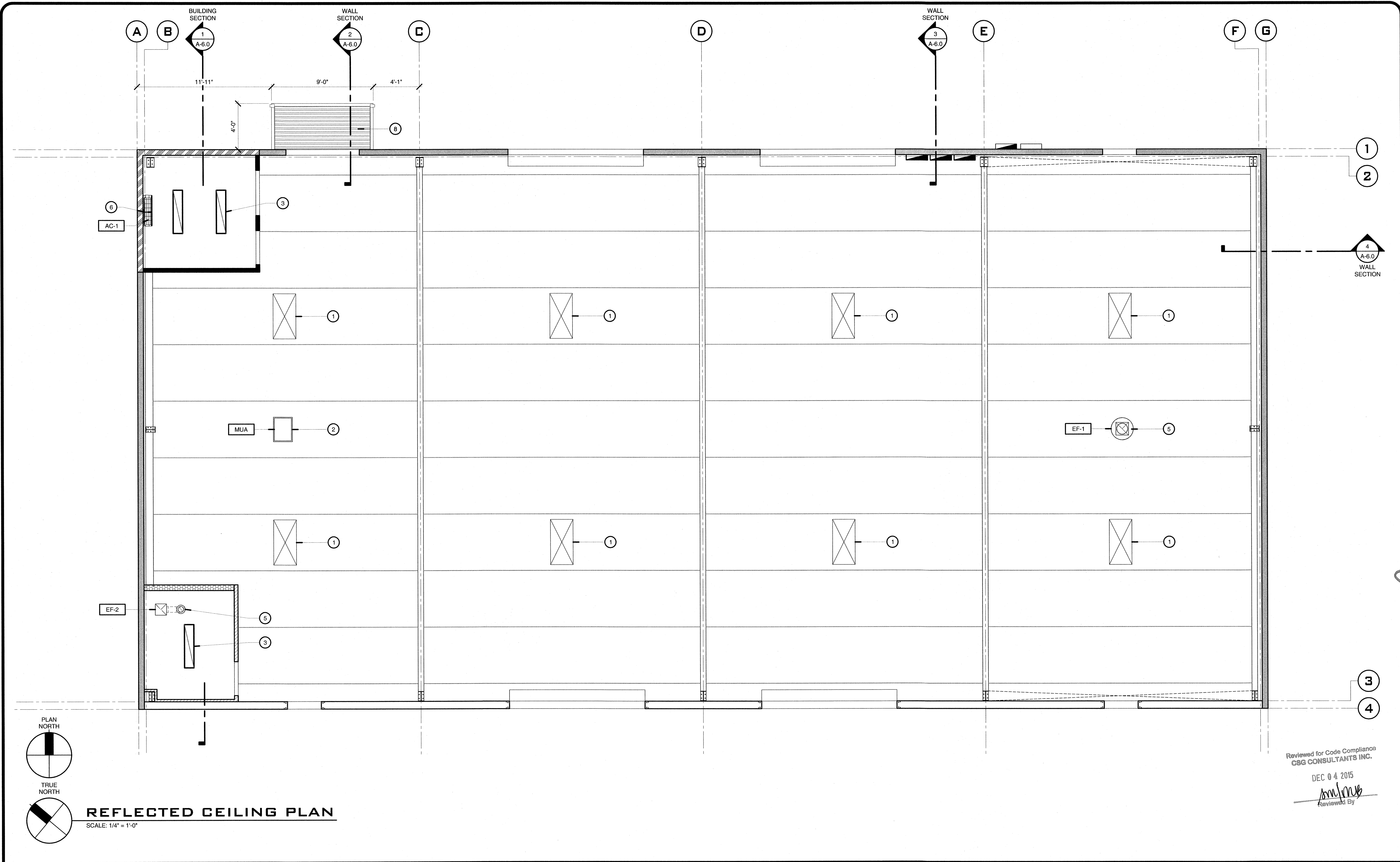
### WALL LEGEND

INTERIOR PARTITION - STEEL STUD FRAMING - NON INSULATED	NON-RATED	EXTERIOR WALL - STEEL STUD FRAMING - INSULATED	NON-RATED	EXTERIOR WALL - STEEL STUD FRAMING - NON INSULATED	NON-RATED
 6" x 22 GAUGE STEEL STUDS @ 16" O.C. 3/8" TYPE 'X' GYPSUM BOARD, BOTH SIDES WALL FRAMING AND GYPSUM BOARD TO + 8'-0" A.F.F. SEE FINISH SCHEDULE FOR INTERIOR WALL FINISH	 12 A-9.3	 6" x 22 GAUGE STEEL STUDS @ 16" O.C. 3.5" EXPANDED POLYSTYRENE INSULATION WITHIN STUD BAYS 3/8" TYPE 'X' GYPSUM BOARD AT INTERIOR FACE TO + 8'-0" A.F.F. 3-5/8" X 22 GAUGE ACCENT BASE SEE EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISH SEE INTERIOR FINISH SCHEDULE FOR INTERIOR WALL FINISH	 283 A-6.0	 6" x 18 GAUGE STEEL STUDS @ 16" O.C. 1/2" PLYWOOD SHEATHING AT INTERIOR FACE TO + 8'-0" A.F.F. 3-5/8" X 22 GAUGE ACCENT BASE FRAMING SEE STRUCTURAL FOR EXTERIOR WALL SHEATHING SEE EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISH SEE INTERIOR FINISH SCHEDULE FOR INTERIOR WALL FINISH	 283 A-6.0
INTERIOR PARTITION - STEEL STUD FRAMING - NON INSULATED	NON-RATED	INTERIOR PARTITION - STEEL STUD FRAMING - INSULATED	NON-RATED	EXTERIOR WALL - STEEL BUILDING GIRTS - NON INSULATED	NON-RATED
 3-5/8" (2-1/2" WHERE NOTED) x 22 GAUGE STEEL STUDS @ 16" O.C. 3/8" TYPE 'X' GYPSUM BOARD, AT INTERIOR STUD FACE WALL FRAMING AND GYPSUM BOARD TO + 8'-0" A.F.F. SEE FINISH SCHEDULE FOR INTERIOR WALL FINISH	 12 A-9.3	 3-5/8" x 22 GAUGE STEEL STUDS @ 16" O.C. R-13 BATT INSULATION 3/8" TYPE 'X' GYPSUM BOARD, BOTH SIDES WALL FRAMING AND GYPSUM BOARD TO + 8'-0" A.F.F. SEE FINISH SCHEDULE FOR INTERIOR WALL FINISH	 12 A-9.3	 8" STEEL BUILDING GIRT 1/2" PLYWOOD SHEATHING AT INTERIOR FACE TO + 8'-0" A.F.F. SEE STRUCTURAL FOR GIRT SPACING SEE EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISH SEE FINISH SCHEDULE FOR INTERIOR WALL FINISH	

### KEYNOTES

1	ASPHALT PAVING, TYPICAL - SEE SITE PLAN AND CIVIL DRAWINGS	4	ACCESSIBLE, WALL MOUNTED LAVATORY - SEE PLUMBING DRAWINGS
2	CONCRETE FILLED, STEEL PIPE BOLLARD, TYPICAL - SEE DETAIL	5	FLOOR DRAIN, TYPICAL WHERE INDICATED - SEE PLUMBING DRAWINGS
3	DASHED LINE INDICATES ACCESSIBLE CLEAR SPACE, TYPICAL - SEE DETAIL	6	ACCESSIBLE WATER CLOSET - SEE PLUMBING DRAWINGS
4	ACCESSIBLE, WALL MOUNTED LAVATORY - SEE PLUMBING DRAWINGS	7	STAINLESS STEEL SINK - SEE PLUMBING DRAWINGS
5	FLOOR DRAIN, TYPICAL WHERE INDICATED - SEE PLUMBING DRAWINGS	8	PLASTIC LAMINATE CASEWORK - SEE INTERIOR ELEVATIONS AND DETAILS
6	ACCESSIBLE WATER CLOSET - SEE PLUMBING DRAWINGS	9	INSTA-HOT WATER HEATER - SEE PLUMBING DRAWINGS
7	STAINLESS STEEL SINK - SEE PLUMBING DRAWINGS	10	2-1/2" STEEL STUD FURRING WALL - SEE WALL SCHEDULE
8	PLASTIC LAMINATE CASEWORK - SEE INTERIOR ELEVATIONS AND DETAILS		
9	INSTA-HOT WATER HEATER - SEE PLUMBING DRAWINGS		
10	2-1/2" STEEL STUD FURRING WALL - SEE WALL SCHEDULE		

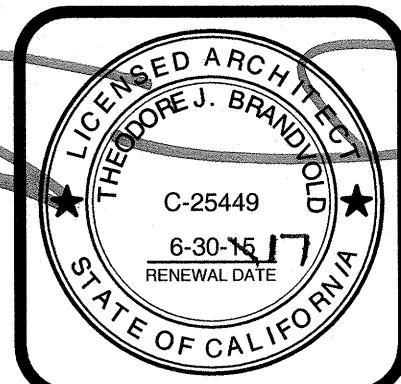




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COMMERCIAL ARCHITECTURE INC.

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STORAGE BUILDING

CLIENT : KEYSTONE CORPORATION

LOCATION : KEYSTONE PACIFIC PARKWAY  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

Reviewed for Code Compliance  
CSG CONSULTANTS INC.  
DEC 04 2015  
*[Signature]*  
Reviewed By

- REFER TO CEILING LEGEND FOR FINISH CEILING HEIGHTS, UNLESS OTHERWISE NOTED
- # SEE MECHANICAL DRAWINGS FOR EQUIPMENT SCHEDULE AND SPECIFICATIONS
- # SEE DRAWING A-8.3 FOR FINISH SCHEDULE AND SPECIFICATIONS

CEILING LEGEND				
SYMBOL	MARK	HEIGHT	DESCRIPTION	DETAIL
	C-1	+ 8'-0" A.F.F.	5/8" TYPE 'X' GYPSUM BOARD CEILING ON 6" x 20 GA. STEEL CEILING JOISTS	

- | # | KEYNOTES   |
|---|--|
| 1 | SKYLIGHT PANEL, TYPICAL - SEE STEEL BUILDING DRAWINGS                    |
| 2 | GRAVITY VENT - SEE MECHANICAL DRAWINGS                                   |
| 3 | 1x4 FLUORESCENT LIGHT FIXTURE, TYPICAL - SEE ELECTRICAL DRAWINGS         |
| 4 | EMERGENCY EXIT LIGHTING - SEE ELECTRICAL DRAWINGS                        |
| 5 | EXHAUST FAN - SEE MECHANICAL DRAWINGS                                    |
| 6 | WALL MOUNTED DUCTLESS CONDITIONING UNIT- SEE MECHANICAL DRAWINGS         |
| 7 | GRAVITY VENT - SEE MECHANICAL DRAWINGS                                   |
| 8 | WALL MOUNTED ALUMINUM CANOPY - SEE EXTERIOR ELEVATIONS FOR SPECIFICATION |

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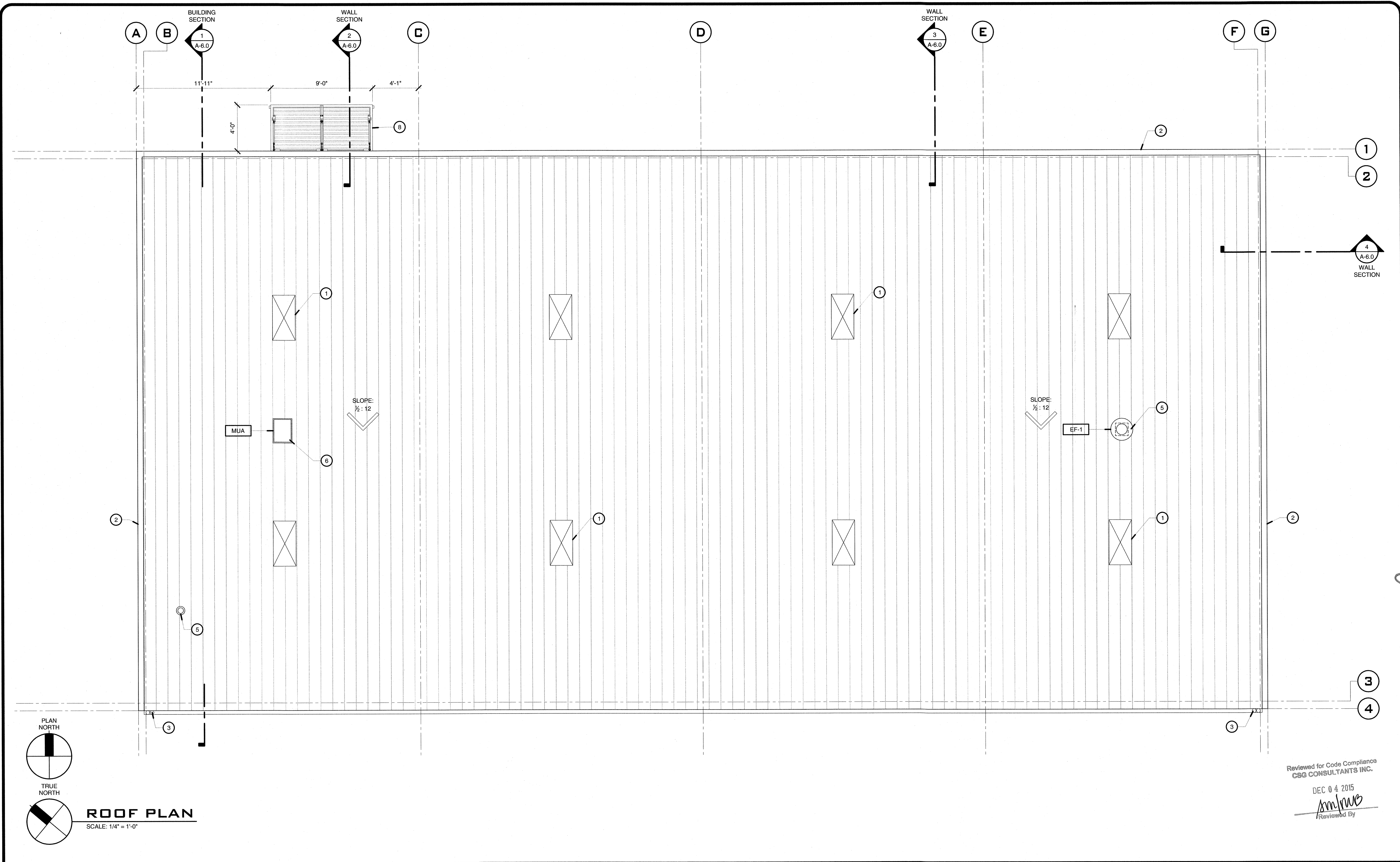
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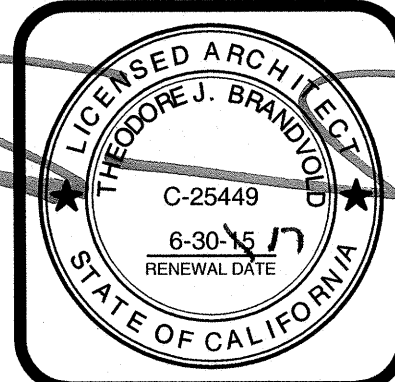




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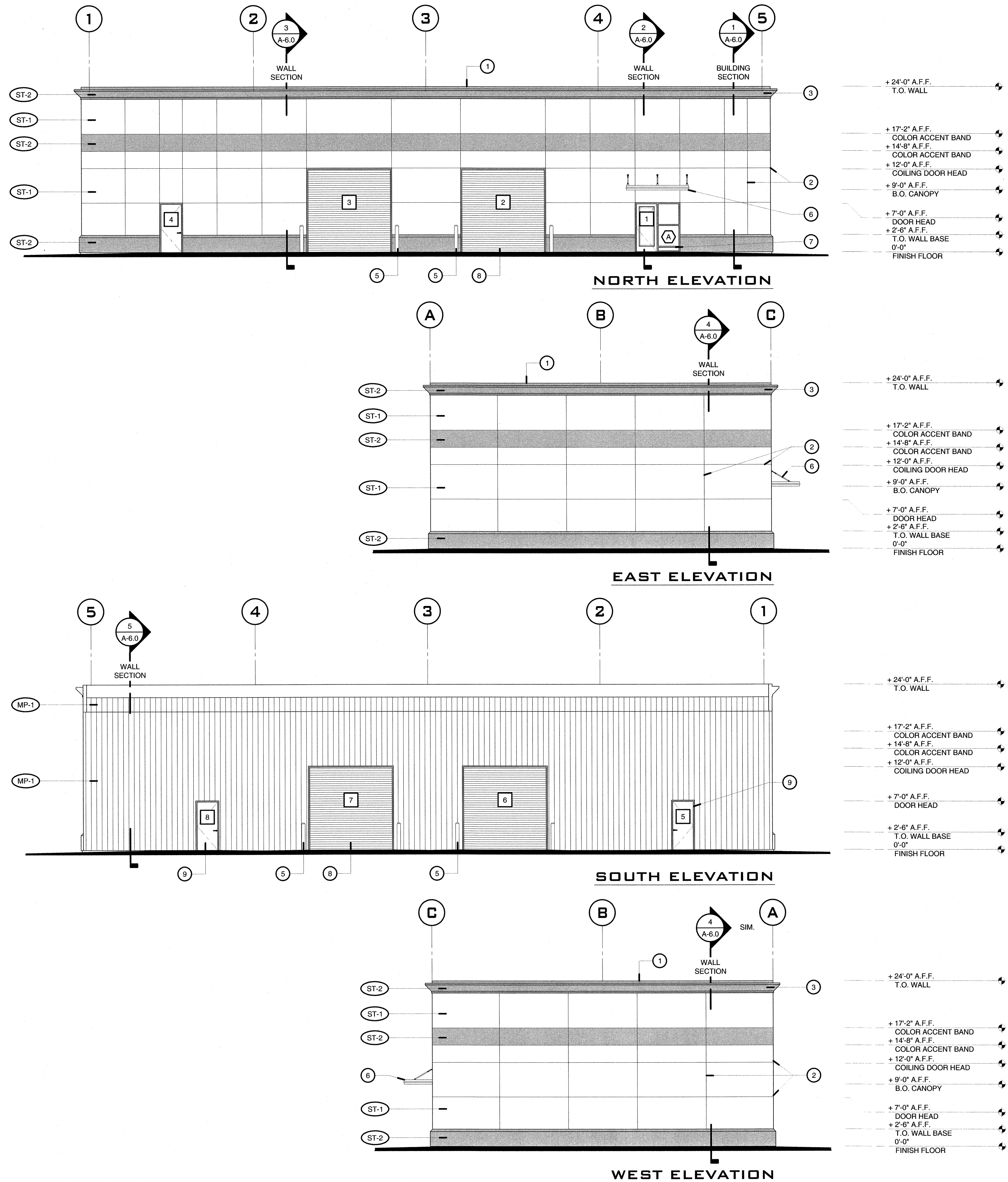
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OF SHEETS

KEYNOTES	
1 SKYLIGHT PANEL, TYPICAL - SEE STEEL BUILDING DRAWINGS	1 A-9.2
2 24 GAUGE, PRE-FINISHED PARAPET CAP, TYPICAL - SEE DETAIL	
3 ROOF DRAIN AND OVERFLOW, TYPICAL - SEE STEEL BUILDING DRAWINGS	
4 LINE OF WALL BELOW	
5 EXHAUST FAN ROOF CAP - SEE MECHANICAL DRAWINGS AND DETAIL	1 101
6 PLUMBING VENT ROOF CAP - SEE PLUMBING DRAWINGS AND DETAIL	1 101
7 GRAVITY VENT - SEE MECHANICAL DRAWINGS	
8 WALL MOUNTED ALUMINUM CANOPY - SEE EXTERIOR ELEVATIONS FOR SPECIFICATION	

# SEE MECHANICAL DRAWINGS FOR EQUIPMENT SCHEDULE AND SPECIFICATIONS





#	KEYNOTES
1	24 GA. PRE-FINISHED METAL PARAPET CAP
2	STUCCO CONTROL JOINT, FRYE 1/2" CHANNEL SCREED PCS-375-50, TYPICAL
3	ARCHITECTURAL FOAM SHAPE
4	3-5/8" STEEL STUD FRAMED WALL BASE WITH 3-COAT STUCCO SYSTEM
5	3-6" CONCRETE FILLED PIPE BOLLARD, TYPICAL
6	ALUMINUM SUN SHADE CANOPY - MAPES LUMISHADE CANOPY WITH 2-1/2" ROLL FORMED, PAN STYLE ALUMINUM DECKING, (3) HANGER RODS, 8" EXTRUDED 'J' STYLE FASCIA - CANOPY COLOR TO BE BRONZE BAKED ENAMEL.
7	ALUMINUM STOREFRONT SYSTEM - SEE DOOR/WINDOW SCHEDULE
8	STEEL ROLL-UP DOOR - SEE DOOR SCHEDULE
9	HOLLOW METAL DOOR WITH HOLLOW METAL FRAME, TYPICAL - PAINT PER SPECIFICATIONS

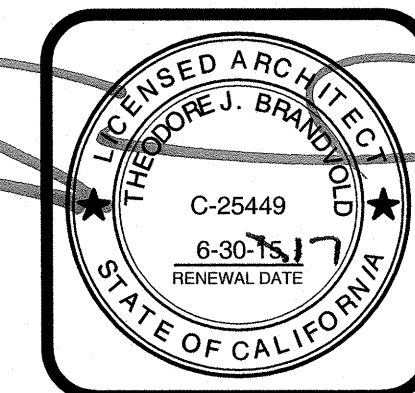
EXTERIOR FINISH SCHEDULE	
ST-1	<b>3- COAT STUCCO SYSTEM - FIELD COLOR</b> A. SELF-FURRING WIRE FABRIC, CORROSION RESISTANT METAL LATH OVER (2) LAYERS GRADE 'D' 15# BUILDING PAPER. USE EXPANDED METAL LATH ON HORIZONTAL SURFACES. HORIZONTAL LATH SHALL BE TIED TO FRAMING WITH NO. 18 GA. TIES. B. MIN. 3/8" THICKNESS SCRATCH (FIRST) COAT. C. MIN. 3/8" THICKNESS BROWN (SECOND) COAT. D. MIN. 1/8" THICKNESS FINISH COAT, SPRAYED LIGHT SAND FINISH. E. 3 COAT ELASTOMERIC PAINT SYSTEM BY DUNN EDWARDS OR APPROVED ALTERNATE 1st Coat SUPER-LOC W718 2nd Coat ENDURAWALL, 100% Acrylic Elastomeric W370 3rd Coat ENDURAWALL, 100% Acrylic Elastomeric W370 NOTE: LATH AND PLASTER SHALL BE PER CBC CHAPTER 2345 STUCCO TO BE LIGHT SAND FINISH, TYPICAL COLOR 1 - TBD
ST-2	<b>3- COAT STUCCO SYSTEM - ACCENT COLOR 1</b> APPLICATION - SAME AS ST-1 COLOR 2 - TBD
MP-1	<b>METAL ROOF / WALL PANEL</b> 24 GAUGE STEEL, PBR WALL PANEL GALVALUME PLUS WEATHER RESISTANT COATING 1-1/4" DEEP VERTICAL RIBS AT 12" O.C.

EXTERIOR PAINT SPECIFICATION		
DUNN EDWARDS PAINTS: (OR APPROVED ALTERNATE)		
FERROUS METAL:		
1st Coat	GALV-ALUM Metal Primer (if shop primed, only touch-up is required)	43-7
2nd Coat	PERMASHEEN Semi-Gloss	W 901
3rd Coat	PERMASHEEN Semi-Gloss	W 901
EXTERIOR WOOD:		
1st Coat	E-Z PRIME	W708
2nd Coat	EVERSHIELD	W701
3rd Coat	EVERSHIELD	W701
EXTERIOR STUCCO:		
1st Coat	EFF-STOP	ESPR00-0-VH
2nd Coat	ENDURAWALL	W370
3rd Coat	ENDURAWALL 100% Acrylic Elastomeric	W370
GALVANIZED METAL:		
Etch	GALVA-ETCH	GE 123
1st Coat	GALV-ALUM Metal Primer	43-7
2nd Coat	ENDURATEC Alkyd Gloss Enamel	OD 42-8
3rd Coat	ENDURATEC Alkyd Gloss Enamel	OD 42-8
CONCRETE / MASONRY:		
1st Coat	S-W LOXON 7% SILOXANE WATER REPELLANT,	A1017
2nd Coat:	S-W LOXON 7% SILOXANE WATER REPELLANT,	A1017

#	SEE DRAWING A-7.0 FOR WINDOW SCHEDULE AND SPECIFICATIONS
#	SEE DRAWING A-7.0 FOR DOOR SCHEDULE AND SPECIFICATIONS

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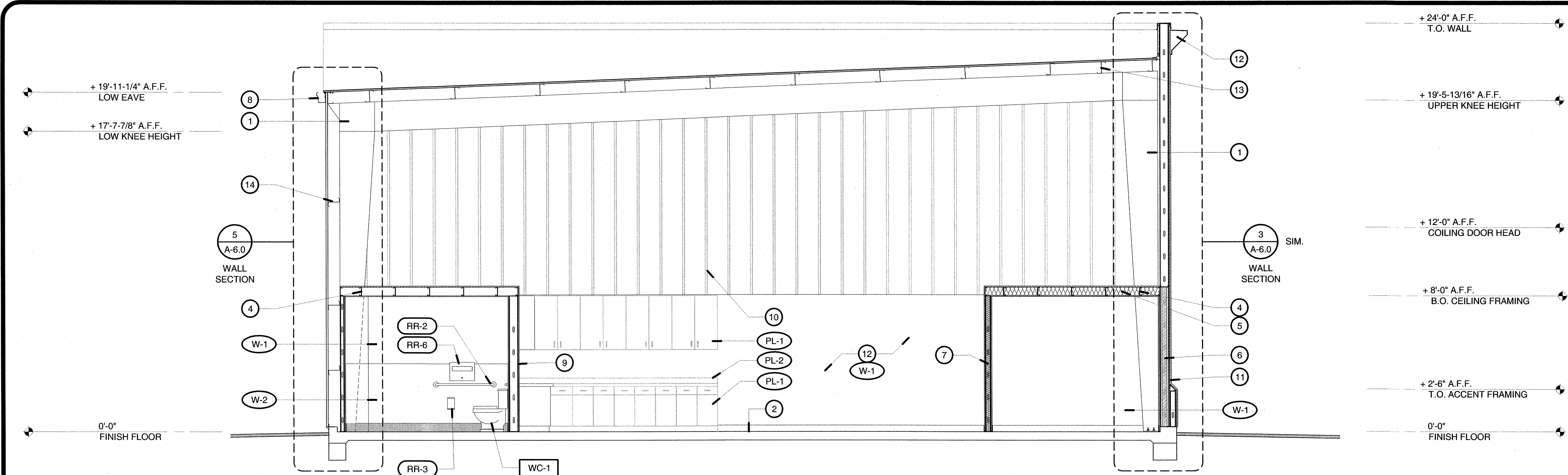
**COMMERCIAL ARCHITECTURE INC.**  
THEODORE J. BRANDVOLD, ARCHITECT  
616 14TH STREET, MODESTO, CA 95354  
PH (209) 571-8158 FAX (209) 571-8160



PROJECT : WAREHOUSE & MAINTENANCE  
STORAGE BUILDING  
CLIENT : KEYSTONE CORPORATION  
LOCATION : KEYSTONE PACIFIC PARKWAY  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

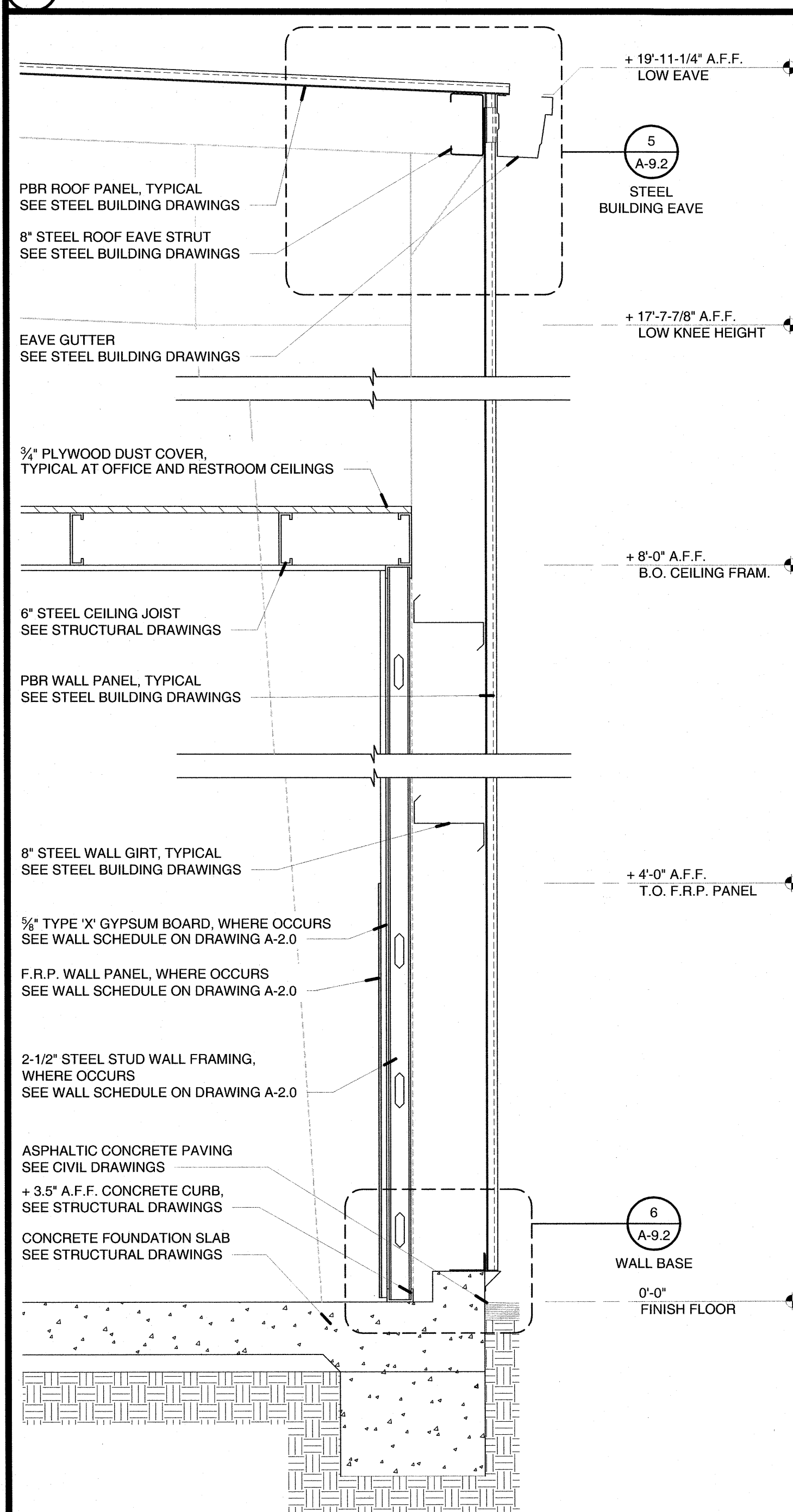
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AS SHOWN  
JOB NO.  
15-101  
SHEET  
**A-5.0**  
OF SHEETS





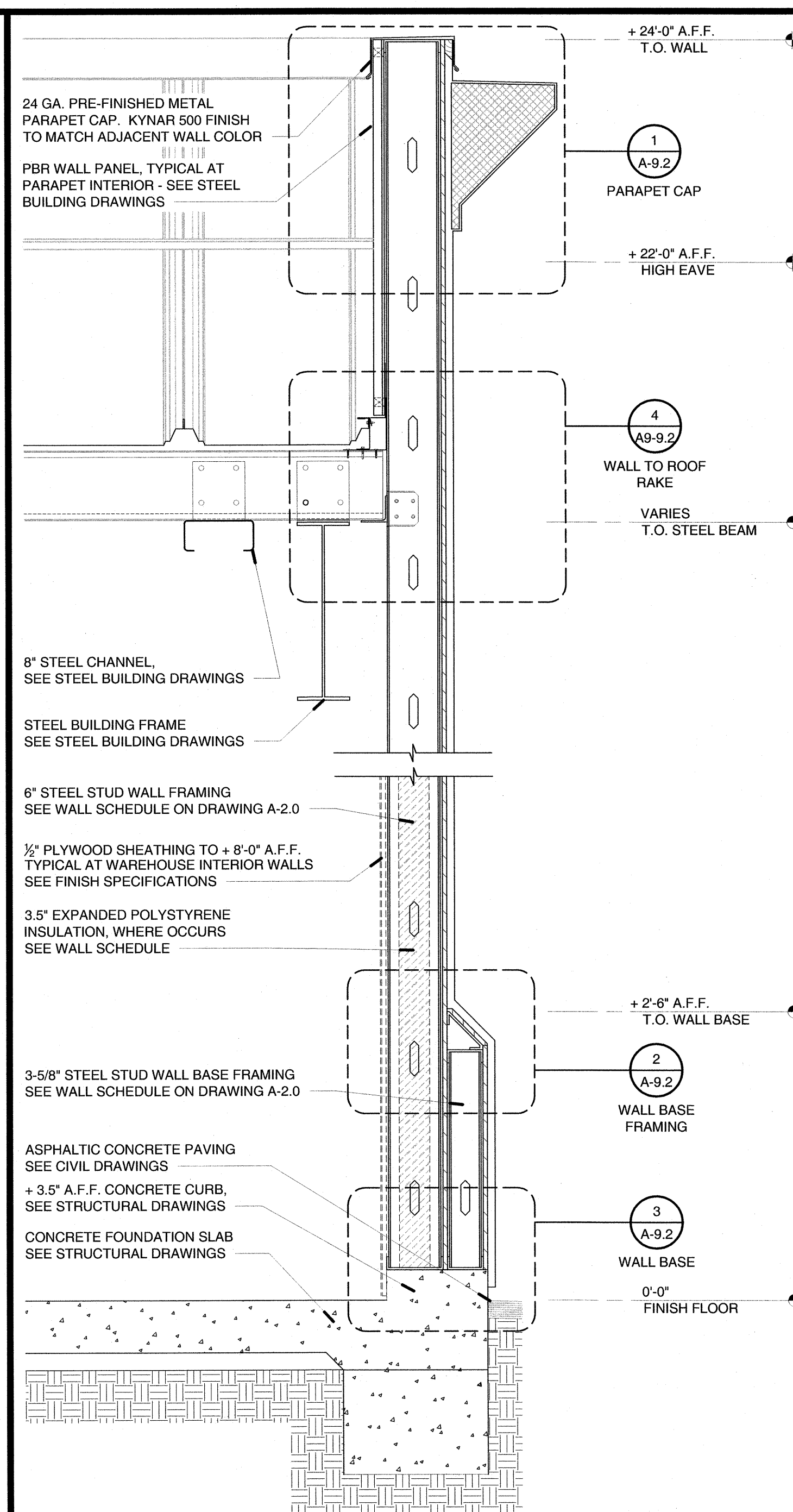
1 BUILDING SECTION

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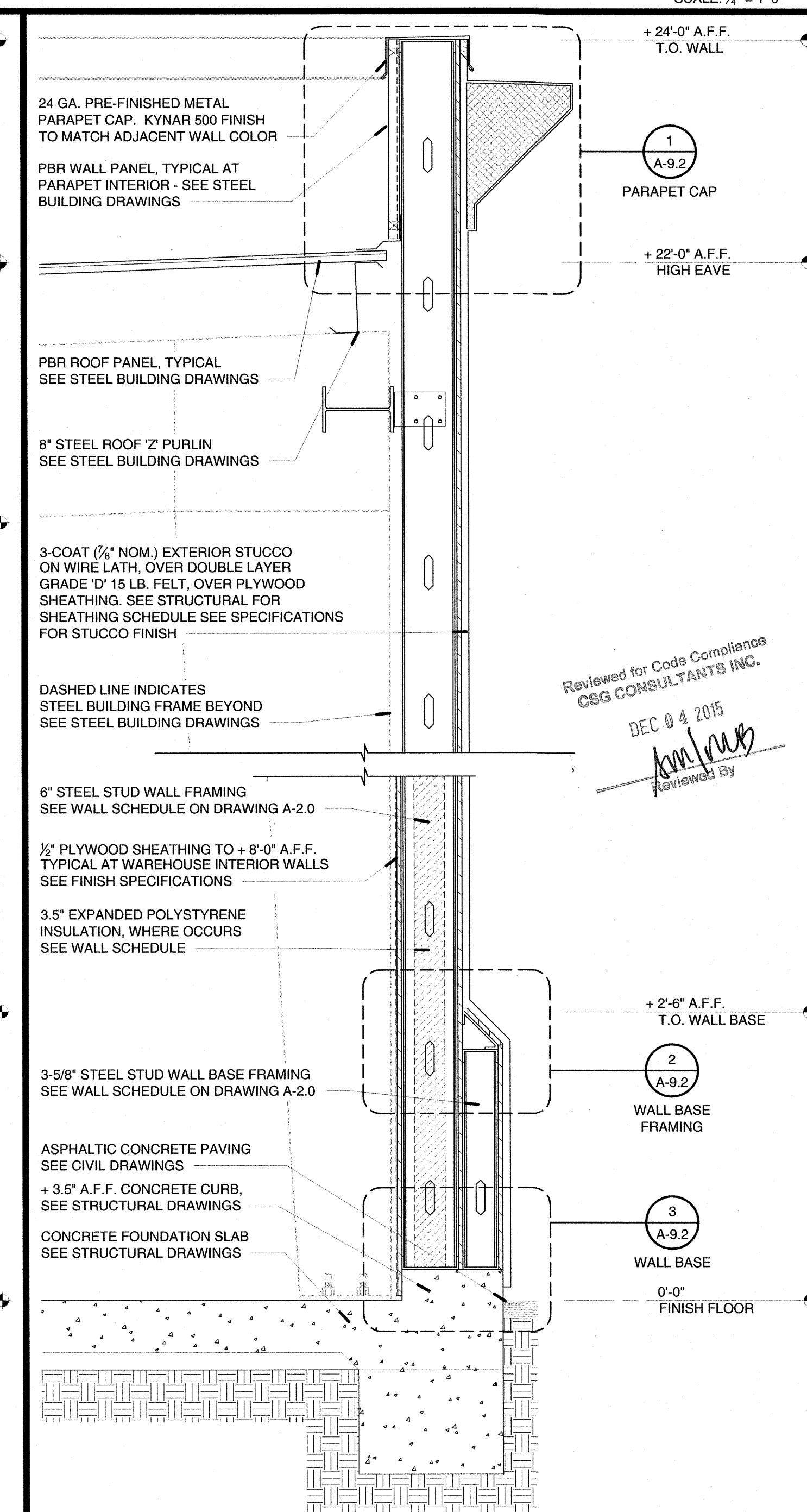
5 WALL SECTION

SCALE: 1" = 1'-0"



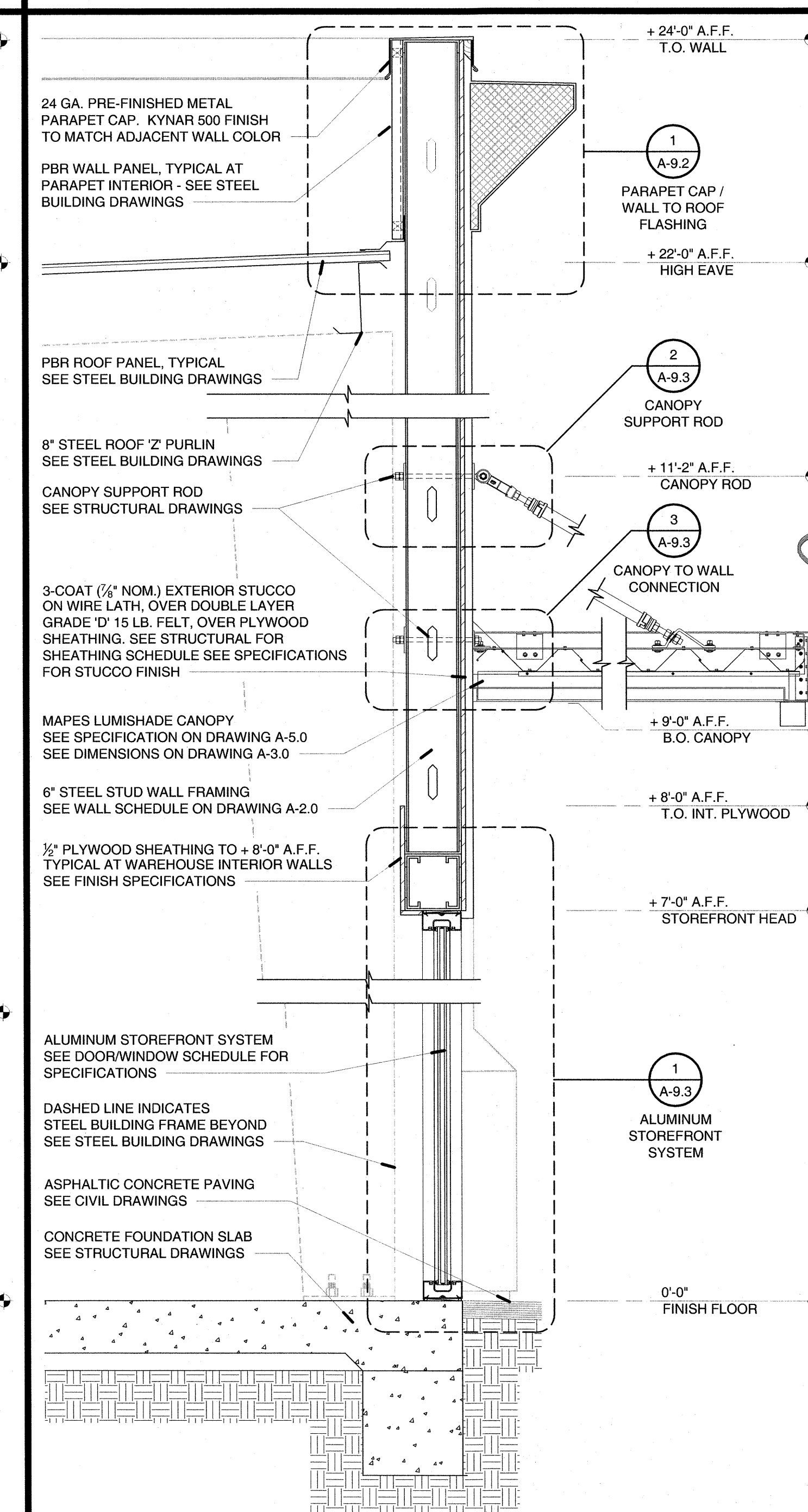
4 WALL SECTION

SCALE: 1" = 1'-0"



3 WALL SECTION

SCALE: 1" = 1'-0"



2 WALL SECTION

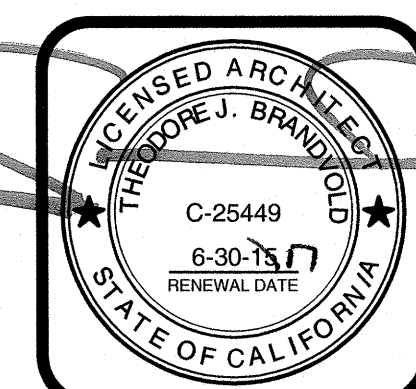
SCALE: 1" = 1'-0"

## KEYNOTES

- 1 STEEL BUILDING FRAME, TYPICAL - SEE STEEL BUILDING DRAWINGS
- 2 CONCRETE FOUNDATION - SEE STRUCTURAL DRAWINGS
- 3 WALL MOUNTED HVAC UNIT - SEE MECHANICAL DRAWINGS
- 4 5/8" TYPE 'X' GYPSUM BOARD CEILING ON 6" CEILING JOINTS, TYPICAL PROVIDE 3/4" PLYWOOD DUST COVER ON TOP OF JOIST FRAMING, TYPICAL SEE REFLECTED CEILING PLAN AND DETAIL
- 5 R-19 BATT INSULATION AT OFFICE CEILING - SEE TITLE 24 DOCUMENTS
- 6 STEEL STUD EXTERIOR WALL WITH 3.5" EXTRUDED POLYSTYRENE INSULATION WITHIN STUD BAYS AT OFFICE EXTERIOR WALLS - SEE WALL SCHEDULE ON DRAWING A-2.0 AND SEE TITLE 24 DOCUMENTS
- 7 STEEL STUD INTERIOR PARTITION WITH R-13 BATT INSULATION WITHIN STUD BAYS OF OFFICE INTERIOR WALLS - SEE WALL SCHEDULE ON DRAWING A-2.0 AND SEE TITLE 24 DOCUMENTS
- 8 PRE-FINISHED METAL GUTTER BY STEEL BUILDING MANUFACTURER - SEE STEEL BUILDING DRAWINGS
- 9 STEEL STUD INTERIOR PARTITION - SEE WALL SCHEDULE ON DRAWING A-2.0
- 10 STEEL STUD EXTERIOR WALL FRAMING BEYOND - SEE WALL SCHEDULE ON DRAWING A-2.0
- 11 3-COAT (3/4" NOMINAL) EXTERIOR STUCCO ON WIRE LATH, OVER DOUBLE LAYER GRADE 'D' 15 LB. FELT, OVER PLYWOOD SHEATHING. SEE STRUCTURAL FOR SHEATHING SCHEDULE. SEE EXTERIOR ELEVATIONS FOR STUCCO FINISH
- 12 5/8" TYPE 'X' GYPSUM BOARD TO +8'-0" A.F.F. - TYPICAL ON WEST WALL
- 13 8" STEEL Z-PURLIN, TYPICAL - SEE STEEL BUILDING DRAWINGS
- 14 8" STEEL WALL GIRT, TYPICAL - SEE STEEL BUILDING DRAWINGS
- 15 2-1/2" STEEL STUD INTERIOR PARTITION - SEE WALL SCHEDULE ON DRAWING A-2.0
- 16 ARCHITECTURAL FOAM SHAPE - SEE DETAIL

REVISIONS	BY

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 PATERSON, CA 95363  
 A.P.N.: 021-085-020

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**A** OLDCASTLE BUILDING ENVELOPE  
OR APPROVED EQUAL  
THERMAL STOREFRONT  
SERIES 3000 XT CENTER SET 2" x 4-1/2"  
3'-0" x 7'-0" ALUMINUM STOREFRONT DOOR  
DARK BRONZE ANNOXIDIZED ALUMINUM FRAME  
1" INSULATED GLAZING  
TEMPERED GLAZING AS INDICATED ABOVE ('T')

**B** 3'-0" x 7'-0" DOOR EXTERIOR DOOR  
HOLLOW METAL FRAME  
PAINT PER EXTERIOR PAINT SPECIFICATION  
ON DRAWING A-5.0, COLOR TBD

**C** 3'-0" x 7'-0" DOOR INTERIOR DOOR  
SOLID CORE WOOD DOOR, PAINT GRADE  
HOLLOW METAL FRAME  
PAINT PER INTERIOR PAINT SPECIFICATION ON  
DRAWING A-8.0, COLOR TBD

**D** 12'-0" x 12'-0"  
18 GA. GALVANIZED STEEL  
CHAIN OPERATED OVERHEAD COILING DOOR

**E** OLDCASTLE BUILDING ENVELOPE  
OR APPROVED EQUAL  
THERMAL STOREFRONT  
SERIES 3000 XT CENTER SET 2" x 4-1/2"  
DARK BRONZE ANNOXIDIZED ALUMINUM FRAME  
1" INSULATED GLAZING  
TEMPERED GLAZING AS INDICATED ABOVE ('T')

**F** 4'-0" x 4'-0" INTERIOR WINDOW  
HOLLOW METAL FRAME  
1/2" CLEAR GLAZING  
PAINT FRAME PER INTERIOR PAINT SPECIFICATION  
ON DRAWING A-8.0, COLOR TBD

[illegible]

REMARKS:	
1.	PROVIDE TEMPERED GLAZING, AS INDICATED ON DOOR/WINDOW ELEVATIONS


[illegible]

**REMARKS:**

1. PROVIDE TACTILE EXIT SIGNAGE PER 2013 CBC SECTION 1011.3, 'EXIT'
2. PROVIDE 'EXIT SIGNAGE' PER 2013 CBC SECTION 1008.1.9.3, ITEM 2.2 'THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED.'
3. PROVIDE TEMPERED GLAZING, AS INDICATED ON DOOR/WINDOW ELEVATIONS
4. PROVIDE AN INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 2013 CBC . MOUNT AT +60" A.F.F.

Reviewed for Code Compliance  
CSG CONSULTANTS INC.

DEC 04 2015

  
Reviewed By

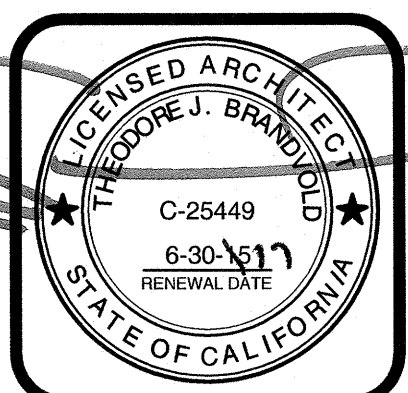
1. ACCESSIBLE RESTROOM COMPARTMENT DOORS SHALL BE EQUIPPED WITH LOOP OR "U" SHAPED HANDLES IMMEDIATELY BELOW LATCH.
2. MAXIMUM DOOR OPENING EFFORTS FOR INTERIOR DOORS IS 5 lbs.
3. ALL DOOR OPENING HARDWARE IS CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR.
4. PROVIDE (1) 1/4" THICK 12" MEN'S AND WOMEN'S GEOMETRIC SIGNS 60" ABOVE FLOOR ON RESTROOM ENTRANCE DOORS AND (2) RAISED LETTER/BRAILLE SIGNS ON LATCH -OUTSIDE OF RESTROOM ENTRANCE DOORS MOUNTED ON THE WALL, 60" ABOVE THE FLOOR, ALLOWING APPROACH TO WITHIN 3". CBC SECTION 1115B.5.
5. EXIT DOORS SHALL HAVE LATCHING HARDWARE THAT IS OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
6. PROVIDE THE FOLLOWING HARDWARE ABBREVIATIONS UTILIZED IN THE HARDWARE SCHEDULE:  
  

PE	PEMCO
SA	SARGENT
AD	ADAMS RITE
MO	McKINNEY
RO	ROCKWOOD

HARDWARE GROUP 1					
FUNCTION:	EXTERIOR STOREFRONT DOOR	DOORS:	1		
QTY.	DESCRIPTION	MODEL	FIN.	MFR.	
1	CONTINUOUS HINGE	MCK-12HD	BZ	MK	
1	MORTISE DEADLOCK	MS1890S X 1-1/8" BS	313	AD	
1	DEADBOLT LEVER & INDICATOR	4550	RC121	AD	
1	CYLINDER	11 21 41 101 X MK	US10BL	SA	
1	PUSH BAR & PULL	BF15747	313	RO	
1	CONCEALED OVERHEAD STOP	6-X36	613E	RF	
1	DOOR CLOSER	1431 P10 X 1431D X 581-2	EB	SA	
1	THRESHOLD	PER DETAIL	313	PE	
1	CYLINDER GUARD	MS404	RC121	AD	
WEATHERSTRIP BY DOOR AND FRAME MANUFACTURER					
HARDWARE GROUP 2					
FUNCTION:	EXTERIOR DOOR	DOORS:	4, 5, 8		
QTY.	DESCRIPTION	MODEL	FIN.	MFR.	
3	HINGE	T8D		PE	
1	CLASSROOM LOCK	10G37 LL	US26D	SA	
1	THRESHOLD	PER SILL DETAIL		PE	
1	RAIN GUARD	346C		PE	
1	GASKETING	2891APK		PE	
1	SWEEP	1806CNCB		PE	
HARDWARE GROUP 3					
FUNCTION:	ROLL-UP DOOR	DOORS:	2, 3, 6, 7		
QTY.	DESCRIPTION	MODEL	FIN.	MFR.	
1	CHAIN HOIST OPERATOR			OHD	
HARDWARE GROUP 4					
FUNCTION:	OFFICE	DOORS:	9		
QTY.	DESCRIPTION	MODEL	FIN.	MFR.	
3	HINGE	TA2714 4-1/2" X 4-1/2"	US26D	MK	
1	OFFICE LOCKSET	10G05 LL	US26D	SA	
1	WALL STOP	403	US26D	RO	
1	DOOR CLOSER	351 O	EN	SA	
3	SILENCER	608		RO	
HARDWARE GROUP 5					
FUNCTION:	SINGLE OCCUPANT RESTROOM	DOORS:	10		
QTY.	DESCRIPTION	MODEL	FIN.	MFR.	
3	HINGE	TA2714 4-1/2" X 4-1/2"	US26D	MK	
1	PRIVACY SET	10U65 LL	US26D	MK	
1	WALL STOP	403	US26D	SA	
1	DOOR CLOSER	351 O	EN	SA	
3	SILENCER	608		RO	

REVISIONS	BY
PATTERSON BLDG. DEPT.	SLW

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616 14TH STREET, MODESTO, CA 95335



**CLIENT: KEYSTONE CORPORATION**

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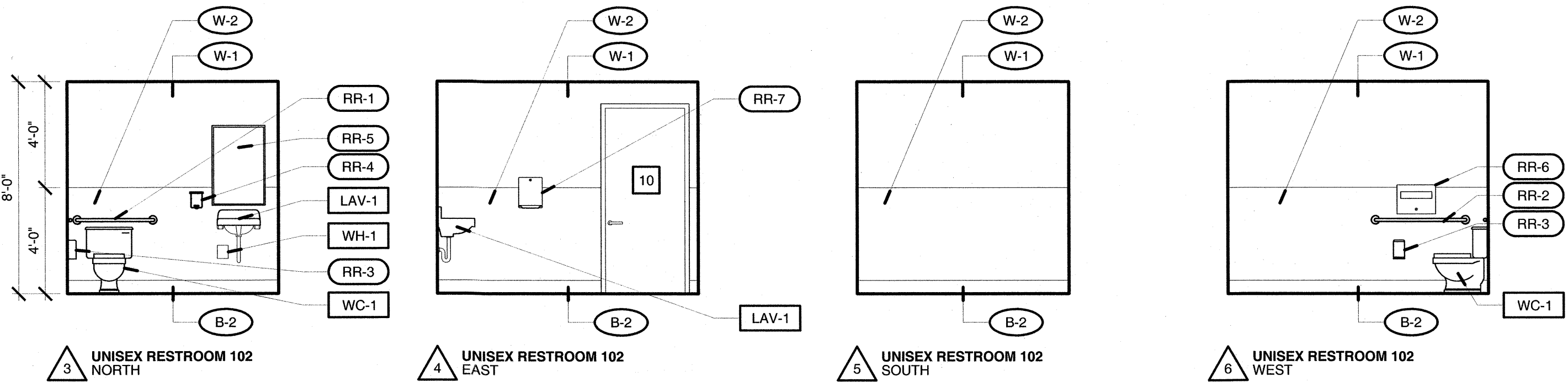
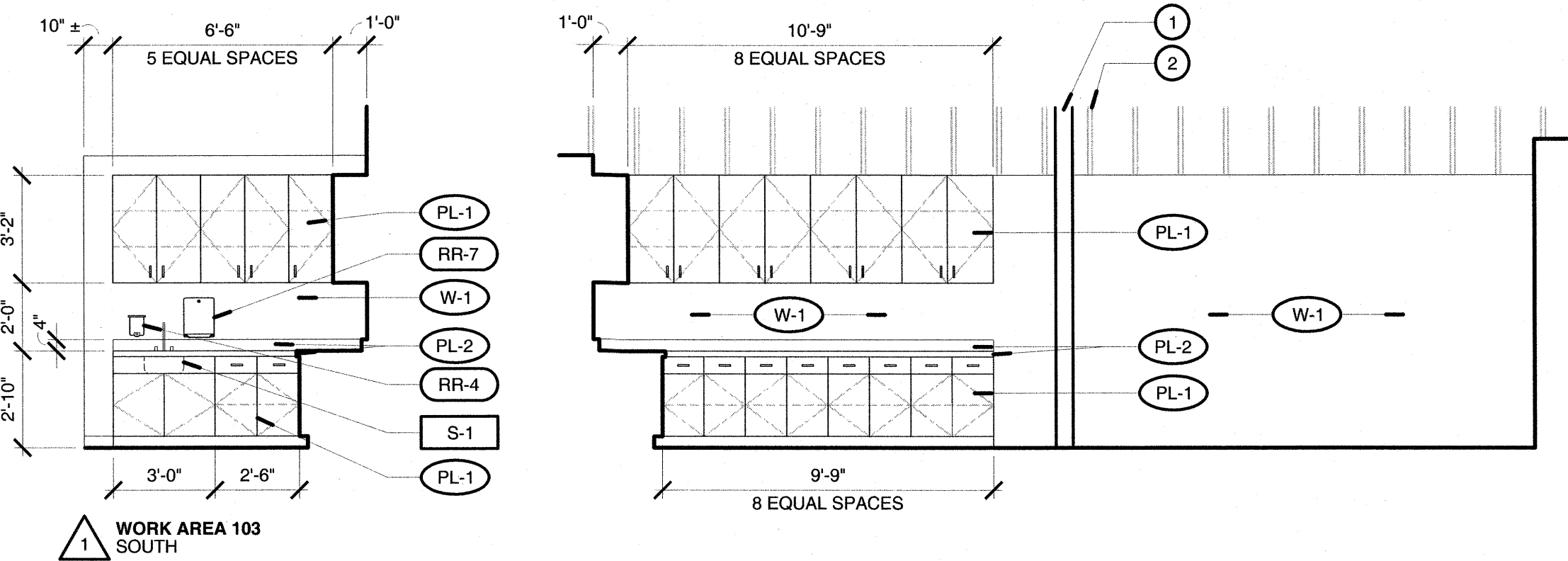


INTERIOR FINISH SCHEDULE											
#	ROOMNAME	FLOORING	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	CABINET	COUNTER	REMARKS
100	WAREHOUSE	F-1	--	W-3	W-3	W-3	--	C-2	--	--	
101	OFFICE	F-2	B-1	W-1	W-1	W-1	W-1	C-1	--	--	PROVIDE B-1 ON WAREHOUSE SIDE OF OFFICE WALLS
102	UNISEX RESTROOM	F-2	B-2	W-1	W-2	W-1	W-2	W-1	W-2	C-1	PROVIDE B-1 ON WAREHOUSE SIDE OF RESTROOM WALLS
103	WORK AREA	F-1	B-1	W-1	--	W-1	W-1	C-2	PL-1	PL-2	

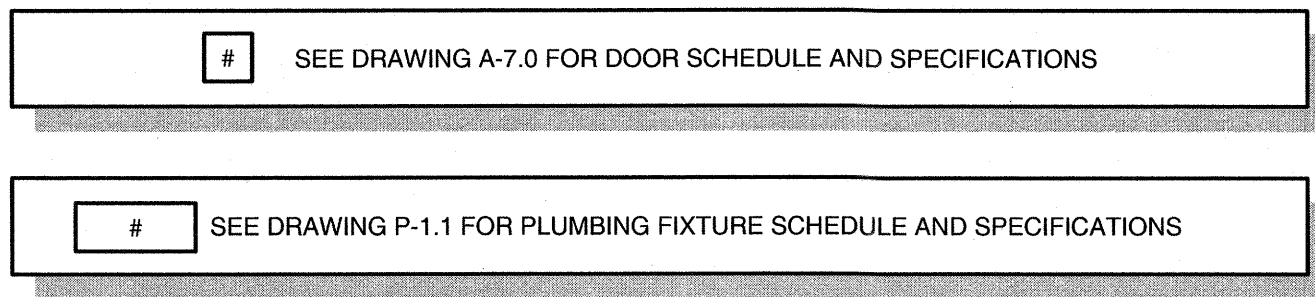
INTERIOR FINISH SPECIFICATIONS			
FLOOR FINISHES		CEILING FINISHES	
F-1	VINYL COMPOSITION TILE (VCT) MANUFACTURER: ARMSTRONG STYLE: STANDARD EXCELON IMPERIAL TEXTURE SIZE: 12" x 12" COLOR: TBD FROM STANDARD COLOR PALETTE	C-1	GYPSUM BOARD 5/8" TYPE 'X' GYPSUM BOARD MOISTURE RESISTANT AT RESTROOMS AND WET AREAS TAPE, LIGHT ORANGE PEEL TEXTURE PAINT PER SPECIFICATIONS - 1 INTERIOR COLOR
F-2	CONCRETE SLAB SEE STRUCTURAL DRAWINGS FOR SPECIFICATIONS	C-1	EXPOSED STRUCTURE SEE STEEL BUILDING DRAWINGS

WALL BASE		CASEWORK	
B-1	RUBBER BASE - 4" MANUFACTURER: BURKE FLOORING STYLE: BURKEBASE RUBBER WALL BASE PROFILE: TYPE TS, TOPSET SIZE: 4" HIGH COLOR: TBD FROM STANDARD COLOR PALETTE	PL-1	PLASTIC LAMINATE BASE / UPPER CASEWORK MANUFACTURER: WILSONART STYLE: LAMINATE COLOR: TBD FROM STANDARD COLOR PALETTE
B-2	RUBBER BASE - 6" MANUFACTURER: BURKE FLOORING STYLE: BURKEBASE RUBBER WALL BASE PROFILE: TYPE TS, TOPSET SIZE: 6" HIGH COLOR: TBD FROM STANDARD COLOR PALETTE	PL-2	PLASTIC LAMINATE COUNTERTOP MANUFACTURER: WILSONART STYLE: LAMINATE COLOR: TBD FROM STANDARD COLOR PALETTE

WALL FINISHES		INTERIOR PAINT	
W-1	GYPSUM BOARD 5/8" TYPE 'X' GYPSUM BOARD MOISTURE RESISTANT AT RESTROOMS AND WET AREAS TAPE, LIGHT ORANGE PEEL TEXTURE PAINT PER INTERIOR PAINT SPECIFICATIONS - 1 INTERIOR COLOR	DUNN EDWARDS PAINTS: (OR APPROVED ALTERNATE)  <b>GYP. BOARD RESTROOMS:</b> 1st Coat VINYLASTIC W 101 2nd Coat DECO GLO W 450 3rd Coat DECO GLO W 450  <b>GYP. BOARD ALL OTHER AREAS:</b> 1st Coat VINYLASTIC W101 2nd Coat SUPREMA SPMA30 3rd Coat SUPREMA SPMA30  <b>INTERIOR METAL:</b> 1st Coat GALV-ALUM METAL PRIMER 43-7 (IF SHOP PRIMED, ONLY TOUCH-UP IS REQUIRED) 2nd Coat EVERSHIELD EVSH50 3rd Coat EVERSHIELD EVSH50  <b>INTERIOR WOOD (PAINTED):</b> 1st Coat SUPER U365 E22-1 2nd Coat PRACTICAL SYNTHETIC E22-1 3rd Coat PRACTICAL SYNTHETIC E11  <b>INTERIOR WOOD (STAINED):</b> Stain Seal II V-109 1st Coat SUPER SANDING SEALER 80-2025 2nd Coat HEIRLOOM VARNISH 80-6702 3rd Coat HEIRLOOM VARNISH 80-6702	
W-2	48" FRP WAINSCOT MANUFACTURER: MARLITE STYLE: STANDARD FRP SIZE: 48" COLOR: WHITE		
W-3	PLYWOOD 1/2" PLYWOOD TO + 8'-0" A.F.F. PAINT PER INTERIOR PAINT SPECIFICATIONS - 1 INTERIOR COLOR		
		SEE DRAWING A-5.0 FOR EXTERIOR FINISH SCHEDULE AND SPECIFICATIONS	
		NOTE: ALL FINISHES SHALL MEET 2013 CBC SECTION 803	



## 1 INTERIOR ELEVATIONS



## KEYNOTES

- STEEL BUILDING COLUMN - SEE FLOOR PLAN AND STEEL BUILDING DRAWINGS
- STUD WALL BEYOND - SEE WALL SCHEDULE AND STRUCTURAL DRAWINGS

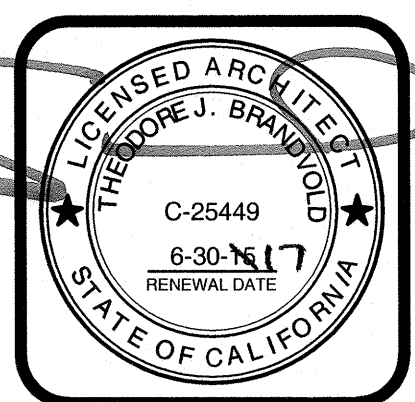
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CSG CONSULTANTS INC.  
DEC 04 2015  
Reviewed By

## ACCESSORY SCHEDULE

EQUIPMENT				ELECTRICAL REQUIREMENTS								PLUMBING REQUIREMENTS						REMARKS
#	DESCRIPTION	MANUFACTURER	MODEL NUMBER	AMPS	WATTS	HP	VOLTS	POLE	DIRECT	PLUG	WATER			DRAIN			GAS	
											HOT	COLD	FILTER	DRL	IND.	BTU		
RESTROOM ACCESSORIES																		
RR-1	36" GRAB BAR	BOBRICK	B-6806 36"															MOUNT 33" TO C.L. OF BAR
RR-2	42" GRAB BAR	BOBRICK	B-6806 42"															MOUNT 32" TO C.L. OF BAR
RR-3	SURFACE MOUNTED TLT. PAPER DISPENSER	BOBRICK	B-2740															MOUNT 20" TO C.L.
RR-4	SURFACE MOUNTED LIQUID SOAP DISPENSER	BOBRICK	B-2111															MOUNT 40" TO C.L. OF VALVE
RR-5	WELDED CHANNEL MIRROR 24"x36"	BOBRICK	B-165 2436															MOUNT 12" TO BOTTOM OF MIRROR
RR-6	SURFACE MOUNTED TOILET SEAT COVER DISPENSER	BOBRICK	B-221															MOUNT 49" TO TOP OF FIXTURE
RR-7	SURFACE MOUNTED PAPER TOWEL DISPENSER	BOBRICK	B-2620															MOUNT 40" TO C.L. OF DISPENSER

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 A.P.N.: 021-085-020

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ACCESSIBLE PARKING SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH 2013 CBC SECTION 11B-502.8:

PARKING SPACE IDENTIFICATION SIGNS SHALL INCLUDE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY COMPLYING WITH SECTION 11B-703.7.2.1. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE 60 INCHES MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

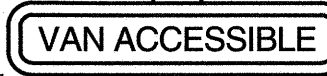
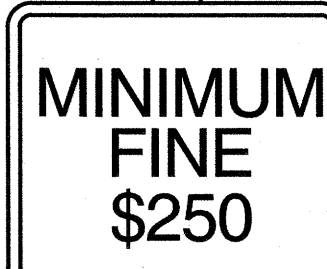
EACH PARKING SPACE RESERVED FOR PERSONS WITH PHYSICAL DISABILITIES SHALL BE IDENTIFIED BY A REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEEL CHAIR WITH OCCUPANT IN WHITE ON A DARK BLUE BACKGROUND. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES IN AREA AND, WHEN IN A PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80 INCHES FROM THE BOTTOM OF THE SIGN TO THE PARKING SPACE FINISH GRADE. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE AT A MINIMUM HEIGHT OF 36 INCHES FROM THE PARKING SPACE FINISH GRADE, GROUND, OR SIDEWALK. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN ADDITIONAL LANGUAGE OR AN ADDITIONAL SIGN WITH THE DESIGNATION "VAN ACCESSIBLE". SIGNS SHALL BE 60 INCHES MINIMUM ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

AN ADDITIONAL SIGN SHALL ALSO BE PROVIDED IN ACCORDANCE WITH 2013 CBC SECTION 11B-502.8:

AN ADDITIONAL SIGN SHALL ALSO BE POSTED EITHER: 1) IN A CONSPICUOUS PLACE AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR 2) IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH PARKING SPACE. THE SIGN SHALL NOT BE LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNERS' EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT \_\_\_\_\_ OR BY TELEPHONING \_\_\_\_\_."

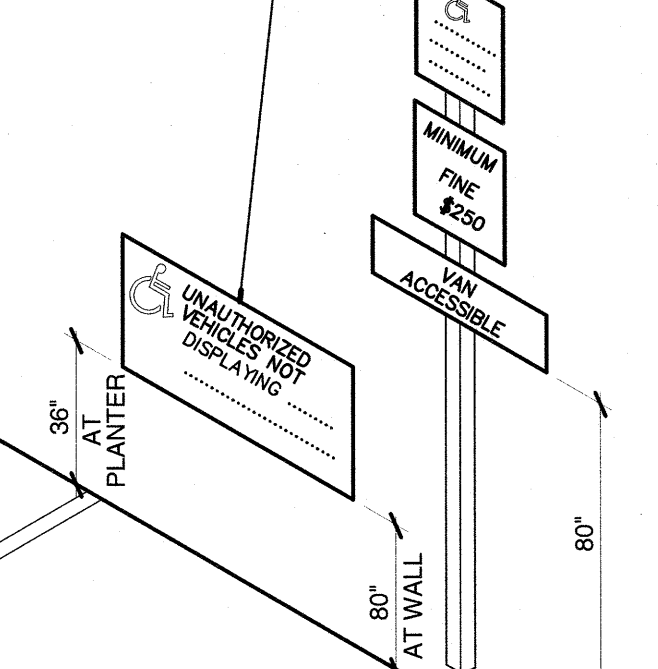
BLANK SPACES ARE TO BE FILLED WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN.



80" MIN. TO FREE STANDING  
36" MIN. FOR WALL MOUNTED

FREE STANDING SIGNS  
70 SQ. INCH AREA,  
SEE ACTUAL LANGUAGE ABOVE

ADDITIONAL SIGN

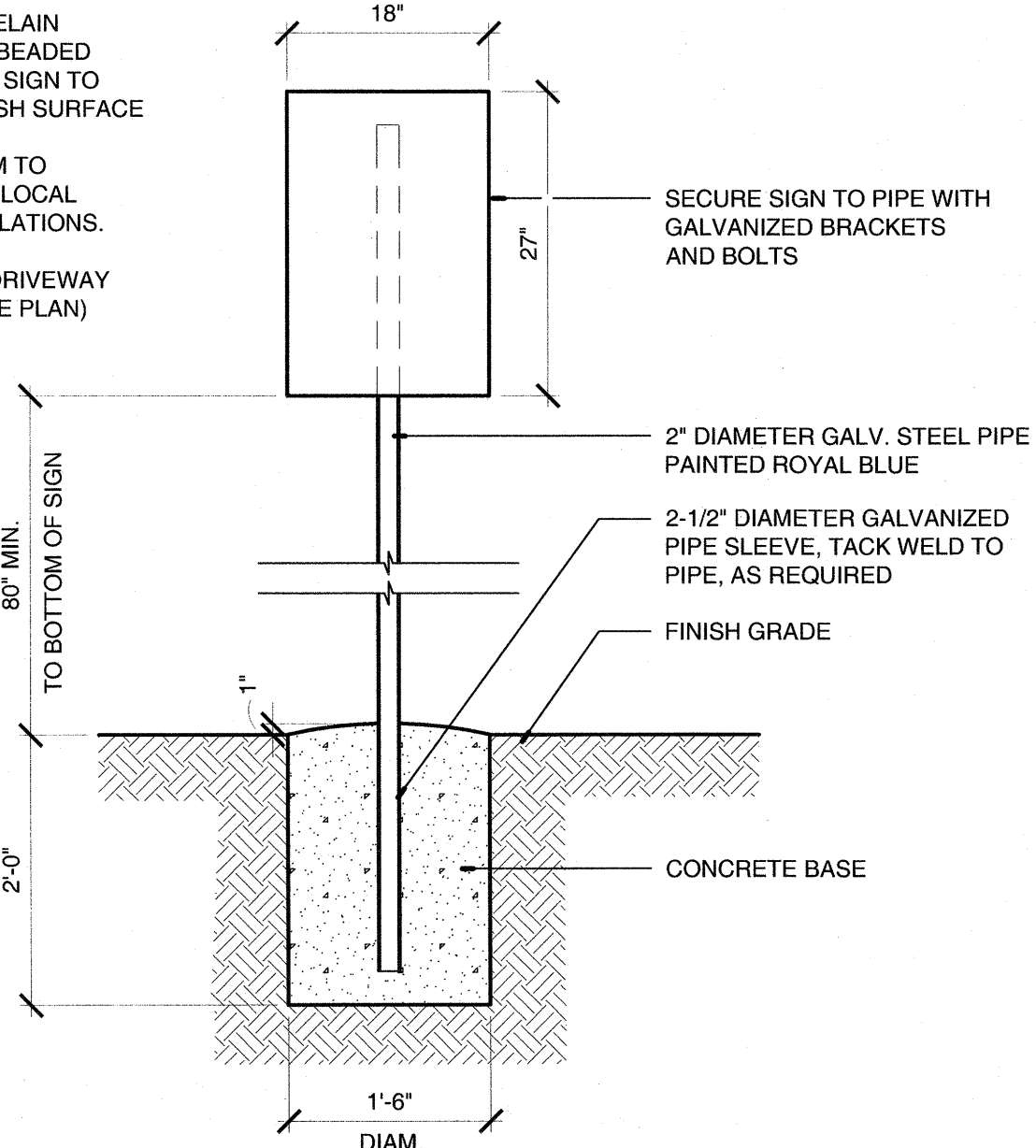


## 11 ACCESSIBLE PARKING SIGNAGE

NO SCALE

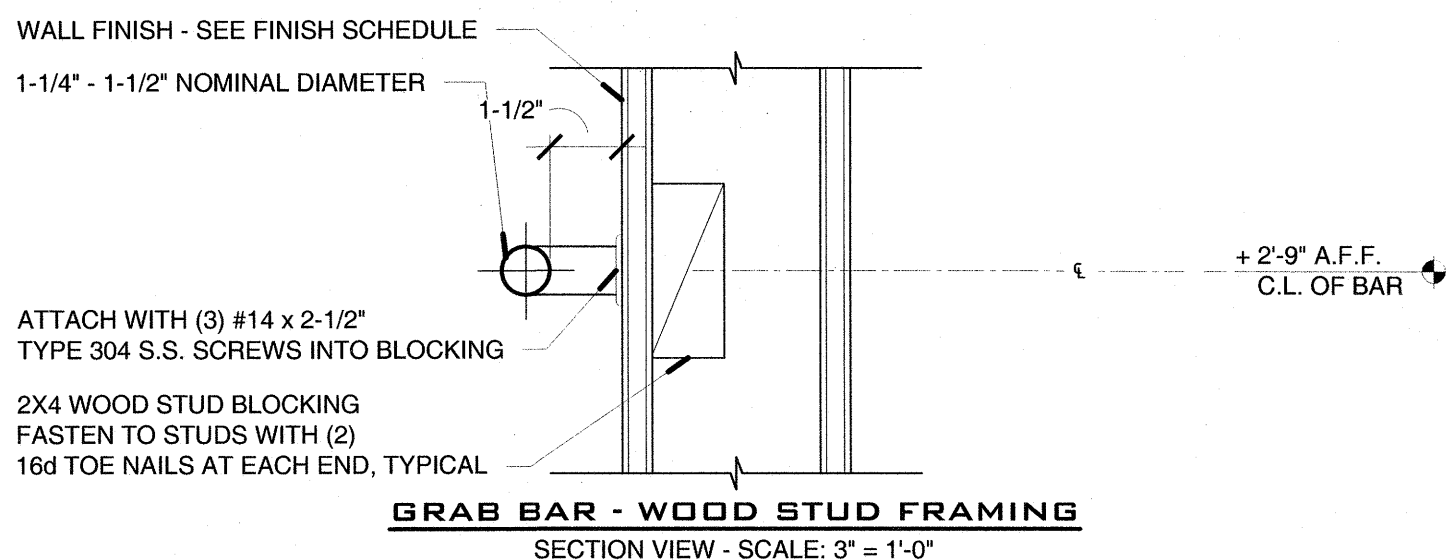
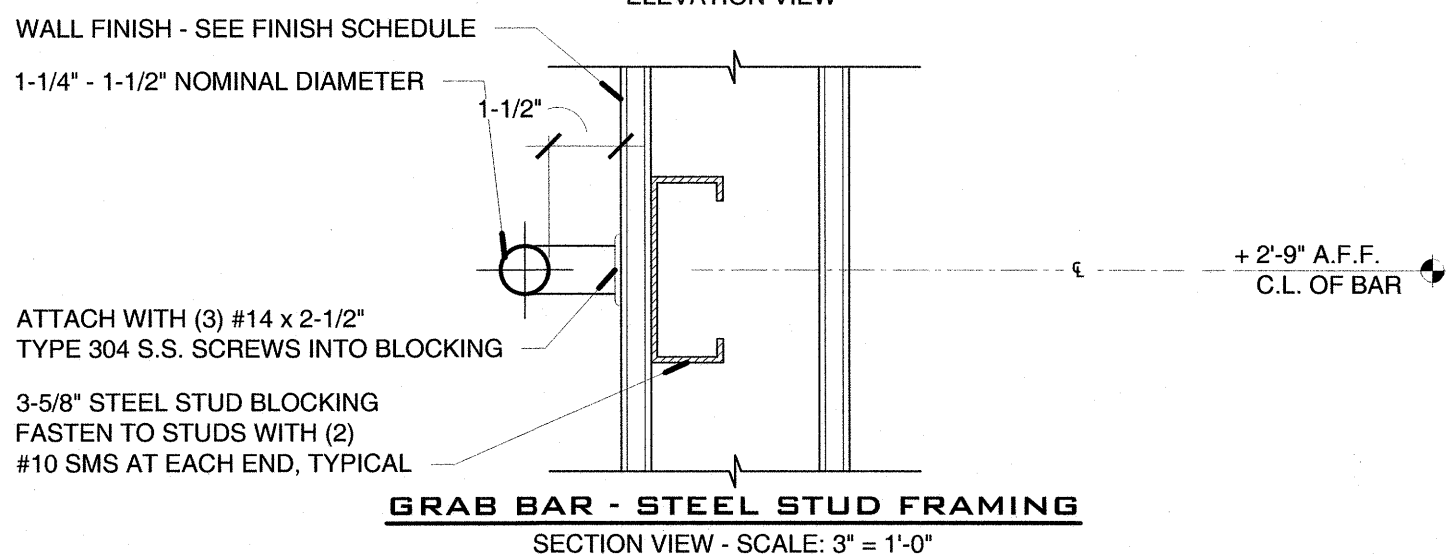
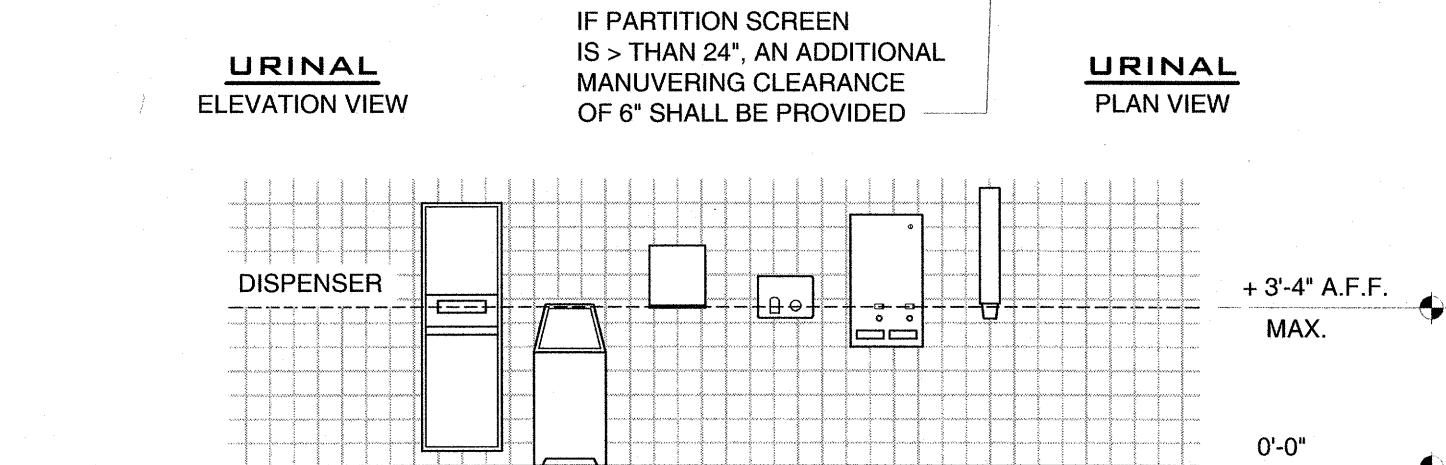
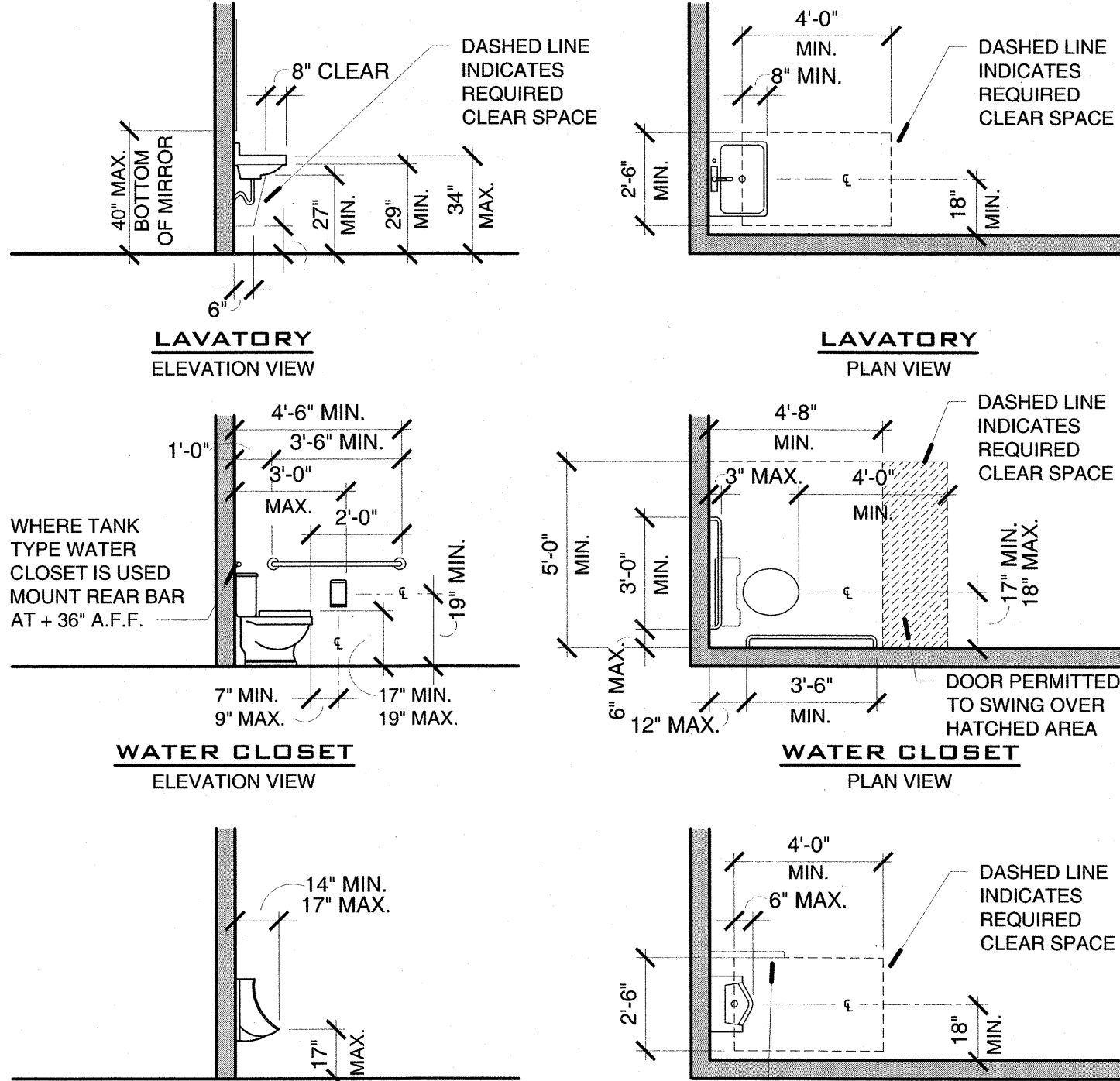
### NOTES:

- SIGN TO BE PORCELAIN ON STEEL WITH A BEADED TEXT. BOTTOM OF SIGN TO BE 80" ABOVE FINISH SURFACE
- SIGN TO CONFORM TO CURRENT, STATE, LOCAL CODES AND REGULATIONS.
- LOCATE AT MAIN DRIVEWAY ENTRIES, (PER SITE PLAN)



## 12 POLE MOUNTED SIGN

SCALE: 3/4" = 1'-0"



### SINGLE-ACCOMMODATION TOILET FACILITIES:

THERE SHALL BE SUFFICIENT SPACE IN THE TOILET ROOM FOR A WHEELCHAIR MEASURING 30 INCHES WIDE BY 48 INCHES LONG TO ENTER THE ROOM AND PERMIT THE DOOR TO CLOSE. THERE SHALL BE IN THE ROOM A CLEAR FLOOR SPACE OF AT LEAST 60 INCHES IN DIAMETER, OR A T-SHAPED SPACE, NO DOOR SHALL ENCRUSH INTO THIS SPACE. THE WATER CLOSET SHALL BE LOCATED IN A SPACE WHICH PROVIDES A MINIMUM 28-INCH-WIDE CLEAR SPACE FROM A FIXTURE OR A MINIMUM 32-INCH-WIDE CLEAR SPACE FROM A WALL AT ONE SIDE. THE OTHER SIDE SHALL PROVIDE 16 MIN-18 MAX FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALL. A MINIMUM 48 INCHES OF CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE DISPENSER. ALL WORKS, FIXTURES AND CONTROLS SHALL BE ON AN ACCESSIBLE ROUTE.

### TOILET ROOM FIXTURES AND ACCESSORIES:

LAVATORY FIXTURES SHALL HAVE A CLEAR FLOOR SPACE OF 30 INCHES BY 48 INCHES. SUCH CLEAR FLOOR SPACE SHALL ADJOIN OR OVERLAP AS ACCESSIBLE ROUTE AND SHALL EXTEND INTO THE KNEE AND TOE SPACE UNDERNEATH THE LAVATORY. THE LAVATORY SHALL HAVE A MINIMUM KNEE CLEARANCE OF 29 INCHES AT THE FRONT AND MAY REDUCE TO 27 INCHES AT A POINT 9 INCHES FROM THE FRONT EDGE OF THE LAVATORY. ALL PIPES AND DRAINS SHALL BE SUFFICIENTLY WRAPPED FOR KNEE OR LEG PROTECTION. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBF. LEVER-OPERATED, PUSH-TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE NO HIGHER THAN 40 INCHES FROM THE FLOOR. WHERE TOWEL, SANITARY NAPKINS, WASTE RECEPTACLES, AND OTHER SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE SHALL BE LOCATED WITH ALL OPERABLE PARTS INCLUDING COIN SLOTS, WITHIN 40 INCHES FROM THE FINISHED FLOOR. TOILET TISSUE DISPENSERS SHALL BE LOCATED ON THE WALL OR PARTITION 7 INCHES MINIMUM AND 9 INCHES MAXIMUM IN FRONT OF THE WATER CLOSET MEASURED TO THE CENTER LINE OF THE DISPENSER, MOUNTED BELOW THE GRAB BAR WITH THE OUTLET OF THE DISPENSER AT A MINIMUM HEIGHT OF 19 INCHES ABOVE THE FLOOR. DISPENSERS THAT CONTROL DELIVERY OR THAT DO NOT PERMIT CONTINUOUS PAPER FLOW SHALL NOT BE USED, WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES IN FRONT OF THE URINAL TO ALLOW FORWARD APPROACH.

### WATER CLOSET NOTES:

- THE CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING.
- CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44 INCHES ABOVE THE FLOOR.
- THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS-FORCE

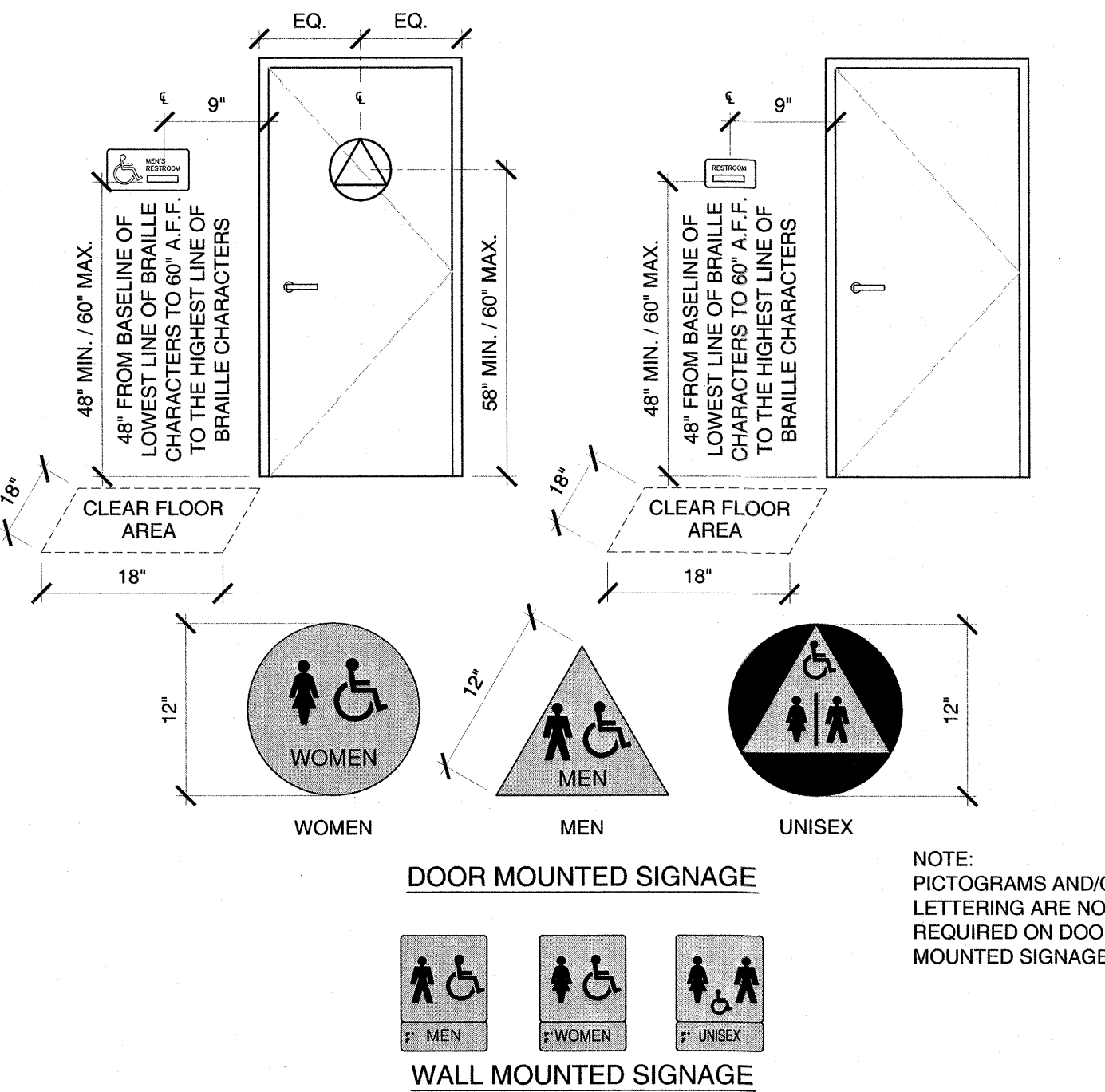
### TOILET PAPER DISPENSERS SHALL NOT BE OF A TYPE THAT CONTROLS DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW - 2013 CBC 11-B-604.7

### LAVATORY NOTES:

- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL COMPLY WITH 2013 CBC SECTION 11B-309
- WATER SUPPLY AND DRAINPIPS SHALL BE INSULATED OR OTHERWISE COVERED PER 2013 CBC SECTION 11B-29.5
- THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES - 2013 CBC SECTION 11B-606.5

## 9 RESTROOM ACCESSIBILITY DETAILS

SCALE: 1/2" = 1'-0"



### DOOR SIGNAGE NOTES

### SANITARY FACILITIES:

WHERE SEPARATE FACILITIES ARE PROVIDED FOR NON-DISABLED PERSONS OF EACH SEX, SEPARATE FACILITIES SHALL BE PROVIDED FOR PERSONS WITH DISABILITIES OF EACH SEX ALSO. WHERE UNISEX FACILITIES ARE PROVIDED FOR NON-DISABLED PERSONS, SUCH UNISEX FACILITIES SHALL BE PROVIDED FOR PERSONS WITH DISABILITIES. PASSAGEWAYS LEADING TO SANITARY FACILITIES SHALL HAVE A CLEAR ACCESS.

ALL DOORWAYS LEADING TO SUCH SANITARY FACILITIES SHALL HAVE:

- A CLEAR UNOBSTRUCTED OPENING WIDTH OF AT LEAST 32 INCHES.
- A LEVEL AND CLEAR AREA FOR A MINIMUM DEPTH OF 60 INCHES IN THE DIRECTION OF THE DOOR SWING AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION, AND 44 INCHES WHERE THE DOOR SWINGS AWAY FROM THE LEVEL AND CLEAR AREA. THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24 INCHES PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18 INCHES PAST THE STRIKE EDGE FOR INTERIOR DOORS.

### IDENTIFICATION SYMBOLS FOR SANITARY FACILITIES:

SANITARY FACILITIES ARE REQUIRED TO PROVIDE TWO SEPARATE TYPES OF SIGNAGE: ONE TYPE LOCATED ON THE DOORWAY TO THE FACILITY AND ANOTHER TYPE MOUNTED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR.

### DOOR MOUNTED SIGNAGE:

MEN'S - EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VERTEX POINTING UPWARD. WOMEN'S - 12" DIAMETER CIRCLE 1/4" THICK WITH 1/4" THICK TRIANGLE SUPERIMPOSED WITHIN CIRCLE. UNISEX - 12" DIAMETER CIRCLE 1/4" THICK WITH 1/4" THICK TRIANGLE SUPERIMPOSED WITHIN CIRCLE.

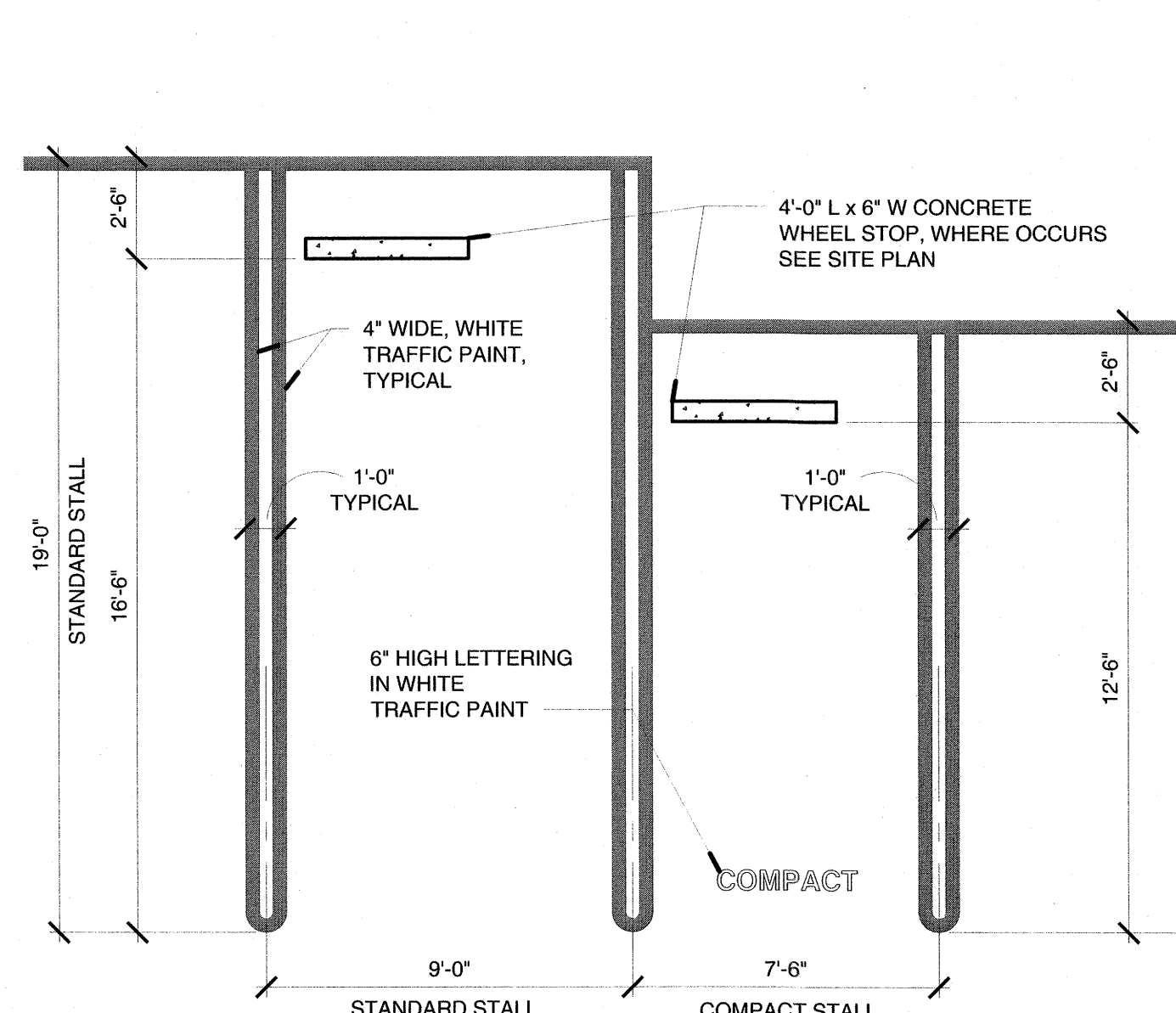
THESE GEOMETRIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 58"-60" A.F.F. AND THEIR COLOR SHALL BE DISTINCTLY DIFFERENT FROM THE COLOR AND CONTRAST OF THE DOOR. THE EDGES OF THE SIGNS ARE TO BE ROUNDED, CHAMFERED OR EASED, AND ANY CORNERS MUST HAVE A MINIMUM RADIUS OF 10".

### WALL MOUNTED SIGNAGE:

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IS TO BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. THE BORDER DIMENSION OF THIS PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT. A VERBAL DESCRIPTION AS TO THE RESTROOM USAGE (i.e. MEN'S, etc.) SHALL BE PLACED DIRECTLY BELOW THE SYMBOL OF ACCESSIBILITY. THE CHARACTERS AND BACKGROUND OF THE SIGN IS TO BE EGGSHELL MATT OR OTHER NON-GLARE FINISH AND THE COLOR AND CONTRAST OF THE SIGN SHALL DISTINCTLY CONTRAST WITH THE COLOR AND CONTRAST OF THE WALL. THE LETTERS AND NUMERALS ARE TO BE RAISED 1/32" WITH MIN. 3/8" AND MAX. 2" HEIGHT BASED ON UPPERCASE "I". UPPERCASE LETTER "O" IS TO BE 60% MIN AND 110% MAX THE SIZE OF THE UPPERCASE "I". STROKE THICKNESS OF UPPERCASE LETTER "I" SHALL BE 15% MAX OF THE HEIGHT OF THE CHARACTER. ALL FONT TO BE SANS-SERIF, UPPERCASE CHARACTERS AND ACCOMPANIED BY GRADE 2 BRAILLE. THESE WALL SIGNS SHALL BE CENTERED AT A HEIGHT SHOWN ABOVE AND LOCATED TO ALLOW A PERSON TO APPROACH WITHIN 3' OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN SWINGS OF A DOOR. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18" MIN. X 18" MIN. CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED AND 45° OPEN POSITION. (CBC 11-B703.4.2)

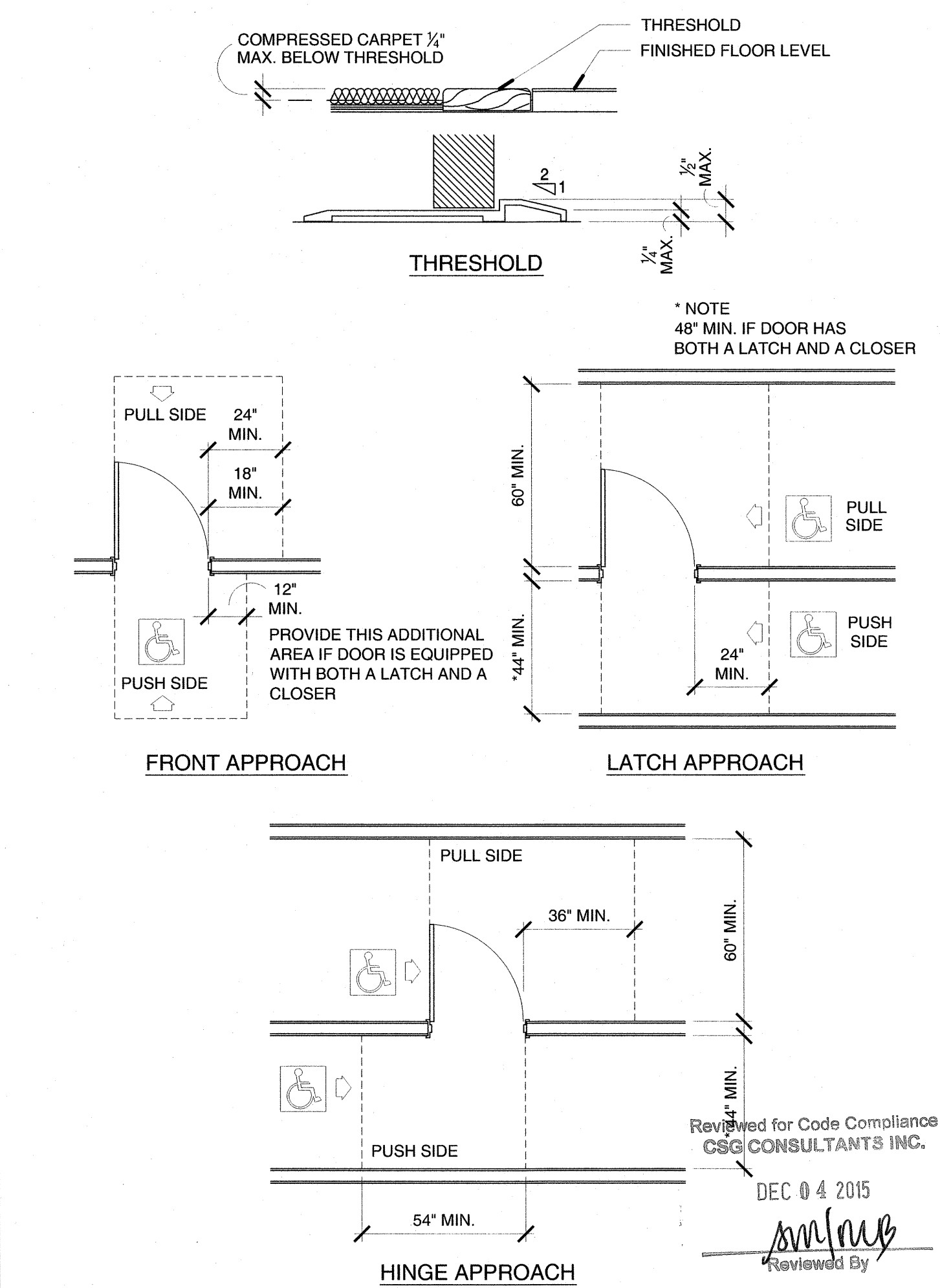
## 5 ACCESSIBLE DOOR SIGNAGE

NO SCALE



## 6 CITY STANDARD PARKING STRIPING

SCALE: 1/4" = 1'-0"

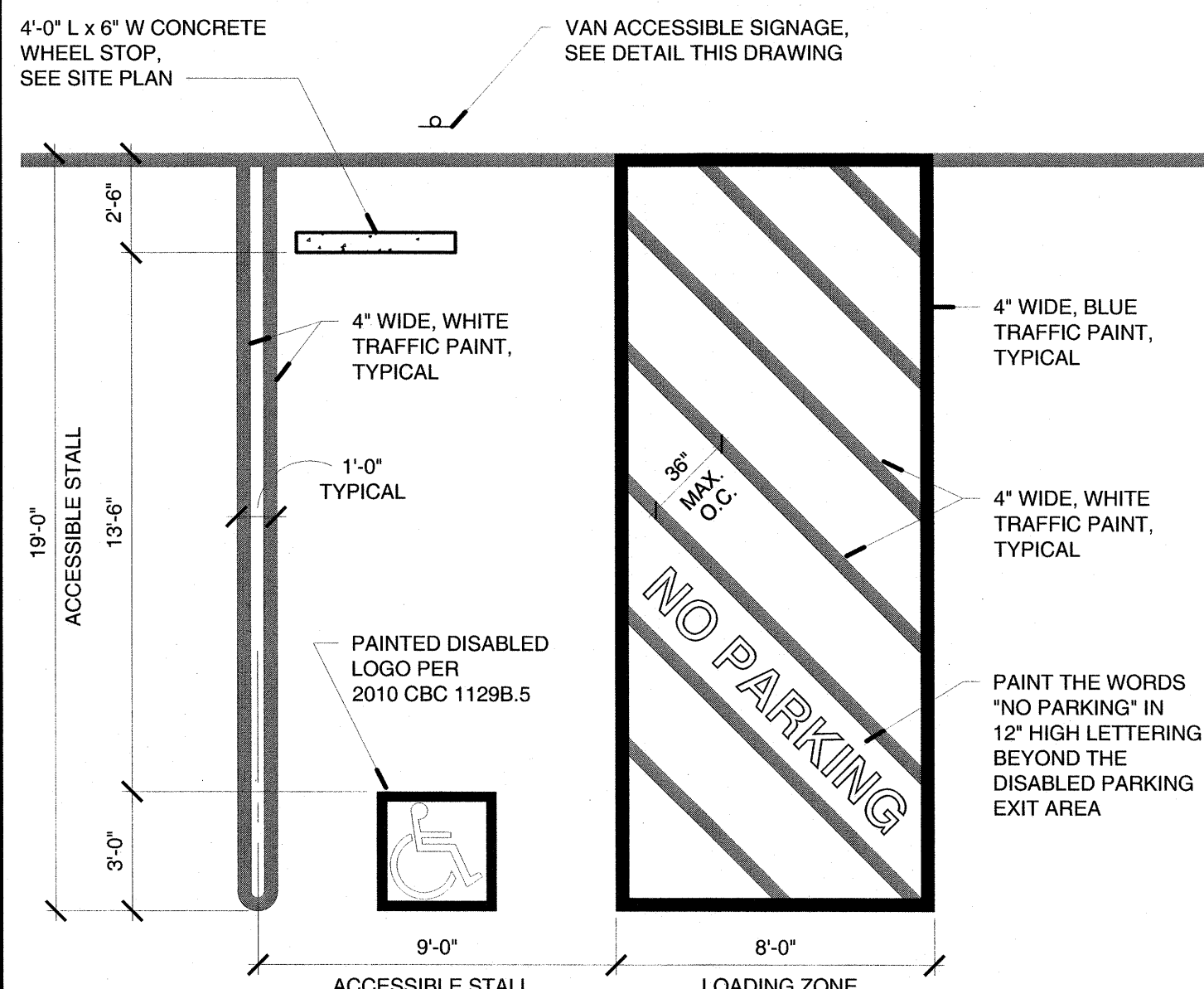


### DOOR CLEARANCE NOTES

EVERY REQUIRED PASSAGE DOOR SHALL HAVE A MINIMUM 32" CLEAR WIDTH DOOR HARDWARE SHALL BE OF THE LEVER OR PUSH TYPE AND MOUNTED 30" TO 44" ABOVE THE FLOOR. REGARDLESS OF THE OCCUPANT LOAD, THERE SHALL BE A LEVEL FLOOR OR LANDING ON EACH SIDE OF THE DOOR. THE FLOOR OR LANDING SHALL NOT BE LOWER THAN 12" LOWER THAN THE THRESHOLD OF THE DOOR. EXTERIOR LANDINGS MAY SLOPE UP TO 1/4" PER FOOT (2%) IN ANY DIRECTION FOR SURFACE DRAINAGE. ALL HAND-ACTIVATED DOOR OPENING HARDWARE SHALL MEET THE FOLLOWING REQUIREMENTS: SHALL BE CENTERED 30" AND 44" ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE IN A PATH OF TRAVEL SHALL BE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE. PANIC BARS, PUSH-PULL OR OTHER HARDWARE THAT REQUIRE TWO SEPARATE ACTIONS TO OPERATE SHALL NOT BE USED. LOCKED DOORS SHALL EXIT IN THE DIRECTION OF TRAVEL THE LOWER 10" OF ALL DOORS SHALL BE SMOOTH AND UNINTERRUPTED TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. NARROW FRAME DOORS MAY USE A 10" HIGH SMOOTH PANEL ON THE PUSH SIDE OF THE DOOR. THE WIDTH OF THE LEVEL AREA, ON THE SIDE WHICH A DOOR SWINGS, SHALL BE 18" PAST THE STRIKE EDGE OF THE DOOR. THE DOOR FOR EXTERIOR APPLICATIONS EXTEND 18" PAST THE STRIKE EDGE OF THE DOOR FOR INTERIOR CONDITIONS THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE SERVING OTHER THAN A REQUIRED EXIT STAIRWAY SHALL PROVIDE A MINIMUM OF 48" OF CLEAR SPACE FROM ANY DOOR OPENING INTO THE VESTIBULE WHEN DOOR IS OPEN 90 DEGREES. DOORS IN SERIES SHALL SWING EITHER IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN DOORS. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND INTERIOR DOORS. SUCH PUSH OR PULL EFFORT SHALL BE APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE FOR SLIDING DOORS. WHERE FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO 15 POUNDS THE LEVEL AREA AT FLOORS OR LANDINGS SHALL HAVE A LENGTH AT LEAST 60" IN THE DIRECTION OF DOOR SWING AND AT LEAST 48" IN THE DIRECTION OPPOSITE THE DOOR SWING.

## 2 ACCESSIBLE DOOR CLEARANCES

NO SCALE



## 3 ACCESSIBLE PARKING STRIPING

SCALE: 1/4" = 1'-0"

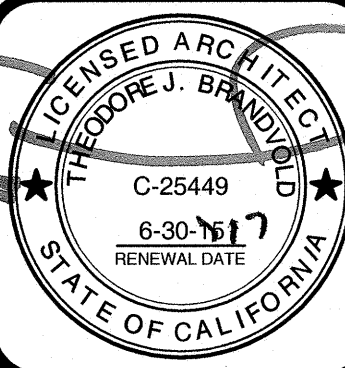
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# COMMERCIAL ARCHITECTURE INC.

THEODORE J. BRANDVOLD, ARCHITECT

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PH (209) 571-8158 FAX (209) 571-8160



PROJECT : WAREHOUSE & MAINTENANCE STORAGE BUILDING

CLIENT : KEYSTONE CORPORATION

LOCATION : KEYSTONE PACIFIC PARKWAY PATERSON, CA 95363

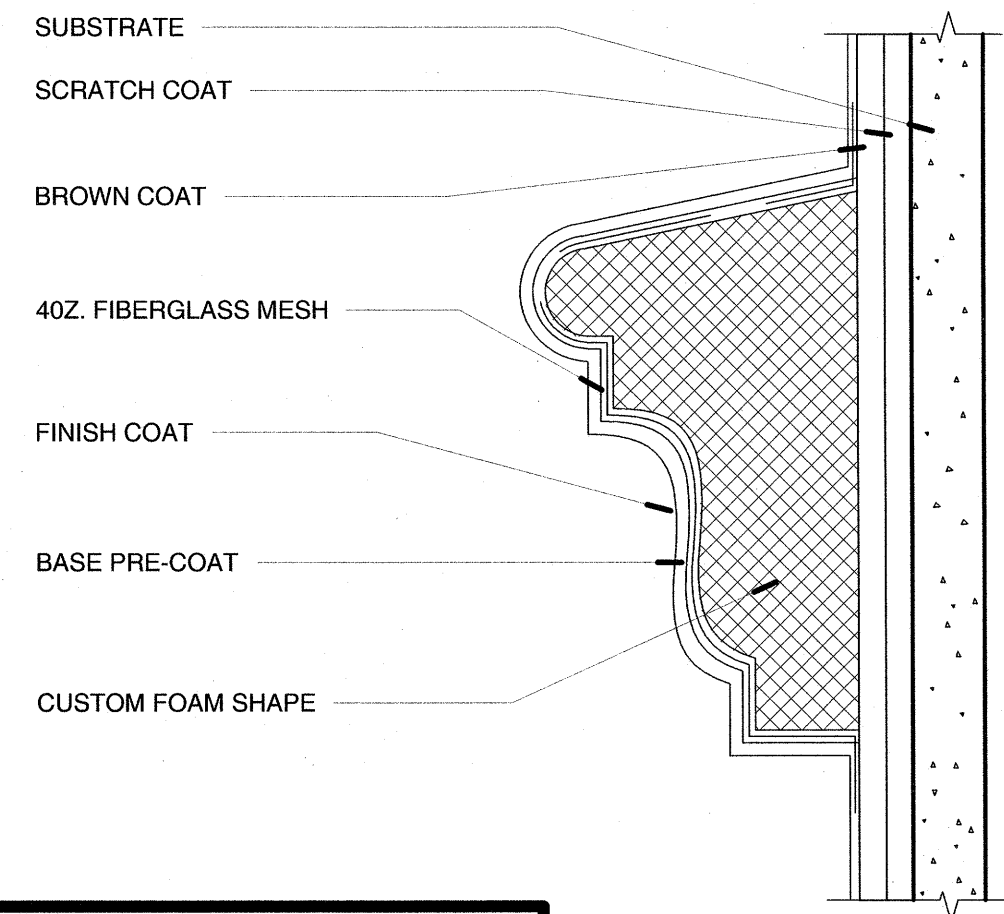
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DATE 8/25/15
SCALE AS SHOWN
JOB NO. 15-101
SHEET

# A-9.0

OF SHEETS





NOTE:  
DETAIL FOR APPLICATION ONLY  
SEE DETAILS FOR SPECIFIC SHAPE PROFILES

# 10 ARCHITECTURAL FOAM SHAPE

NO SCALE

# 7 TRUNCATED DOMES

SCALE: 1/2" = 1'-0"

2 - 6" x 6" STEEL, EXTRA HEAVY  
DUTY NO HOLE, WELDED HINGES  
W/NON-REMOVABLE PIN, TYPICAL.

8x8x16 CMU SPLIT FACE  
GROUT ALL CELLS SOLID,  
W/ #5 BARS @ 16" VERT  
& #4 BARS @ 24" HORIZ.

+ 6'-0"  
T.O. WALL

6" STEEL GALVANIZED PIPE  
PAINT YELLOW, TYPICAL

+ 0'-0"  
FIN. GRADE

## FRONT ELEVATION

TYPICAL 5'-6" HIGH, 18 GA.  
STEEL PANDECK  
METAL GATES, PAINT.

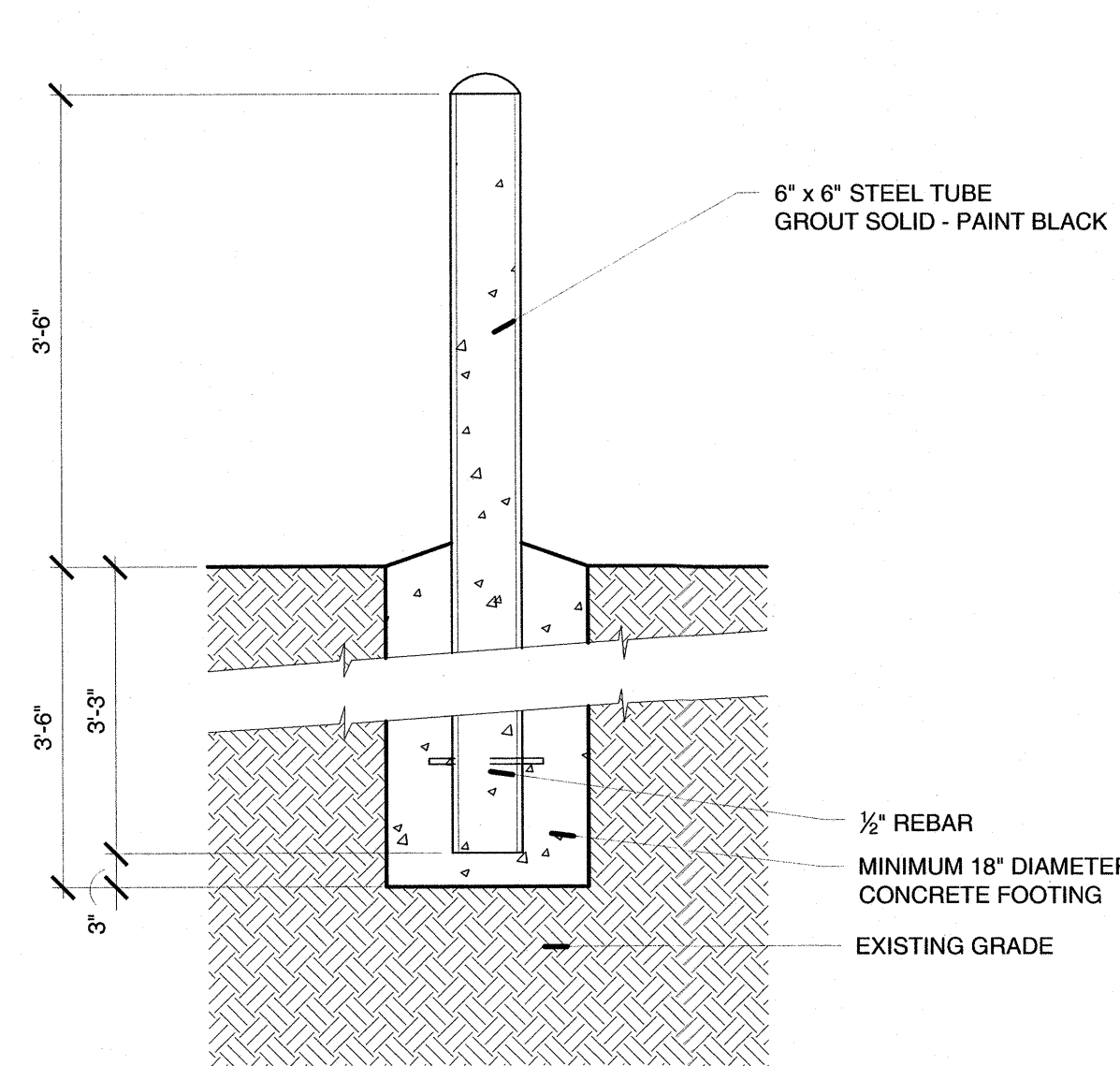
+ 6'-0"  
T.O. WALL

8x8x16 CMU SPLIT FACE  
GROUT ALL CELLS SOLID,  
W/ #5 BARS @ 16" VERT  
& #4 BARS @ 24" HORIZ.

+ 0'-0"  
FIN. GRADE

6" STEEL GALVANIZED PIPE  
PAINT YELLOW, TYPICAL

## SIDE ELEVATION

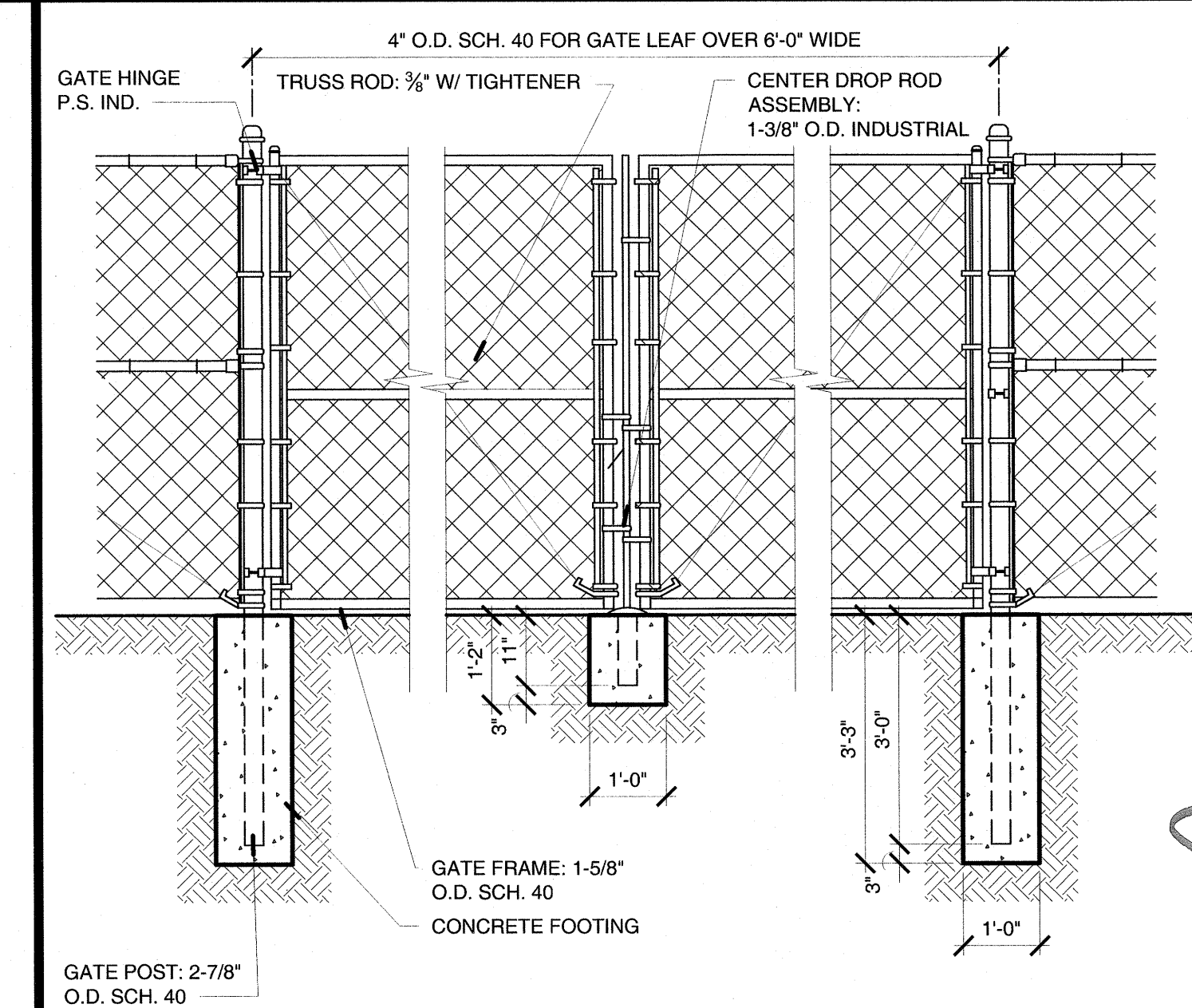


# 4 STEEL PIPE BOLLARD

SCALE: 3/4" = 1'-0"

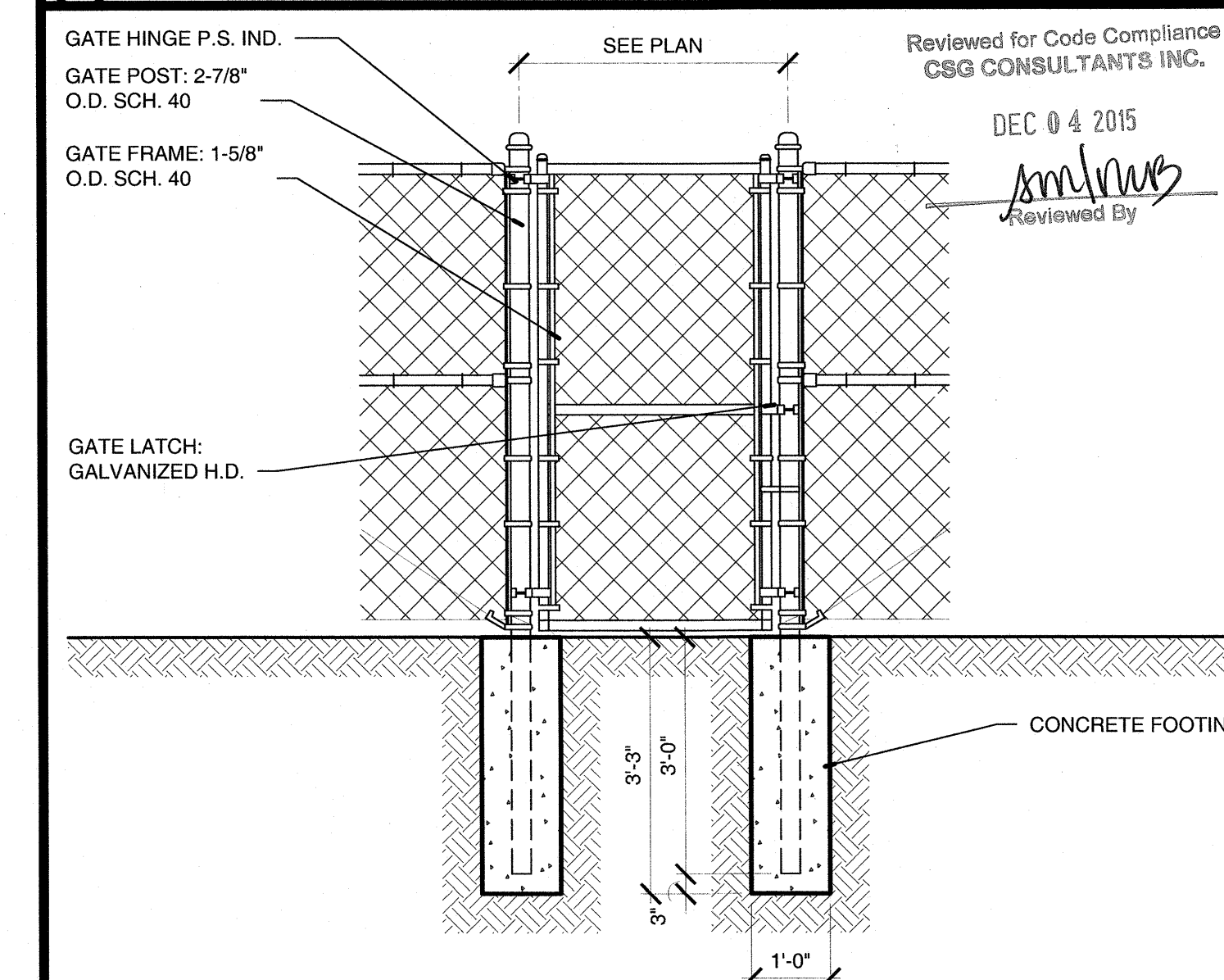
# 1 CHAIN LINK FENCE

SCALE: 1/2" = 1'-0"



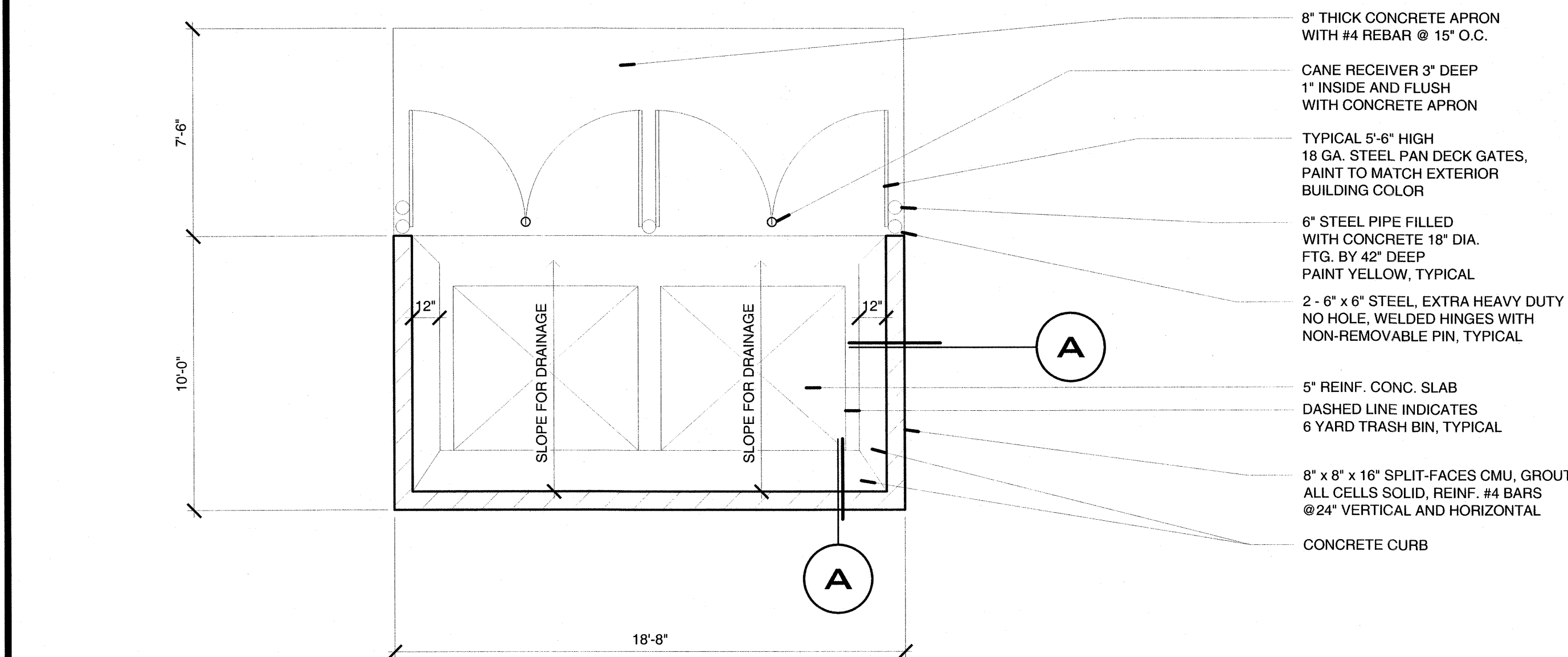
# 2 CHAIN LINK VEHICLE GATE

SCALE: 1/2" = 1'-0"



# 3 CHAIN LINK MAN GATE

SCALE: 1/2" = 1'-0"

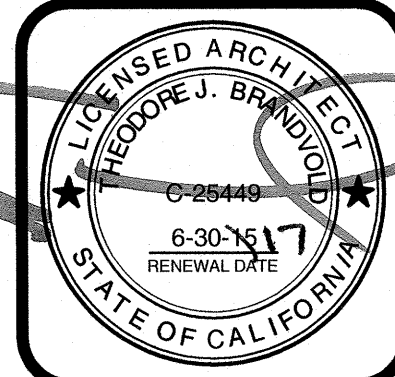


# 9 CMU TRASH ENCLOSURE

SCALE: 1/2" = 1'-0"

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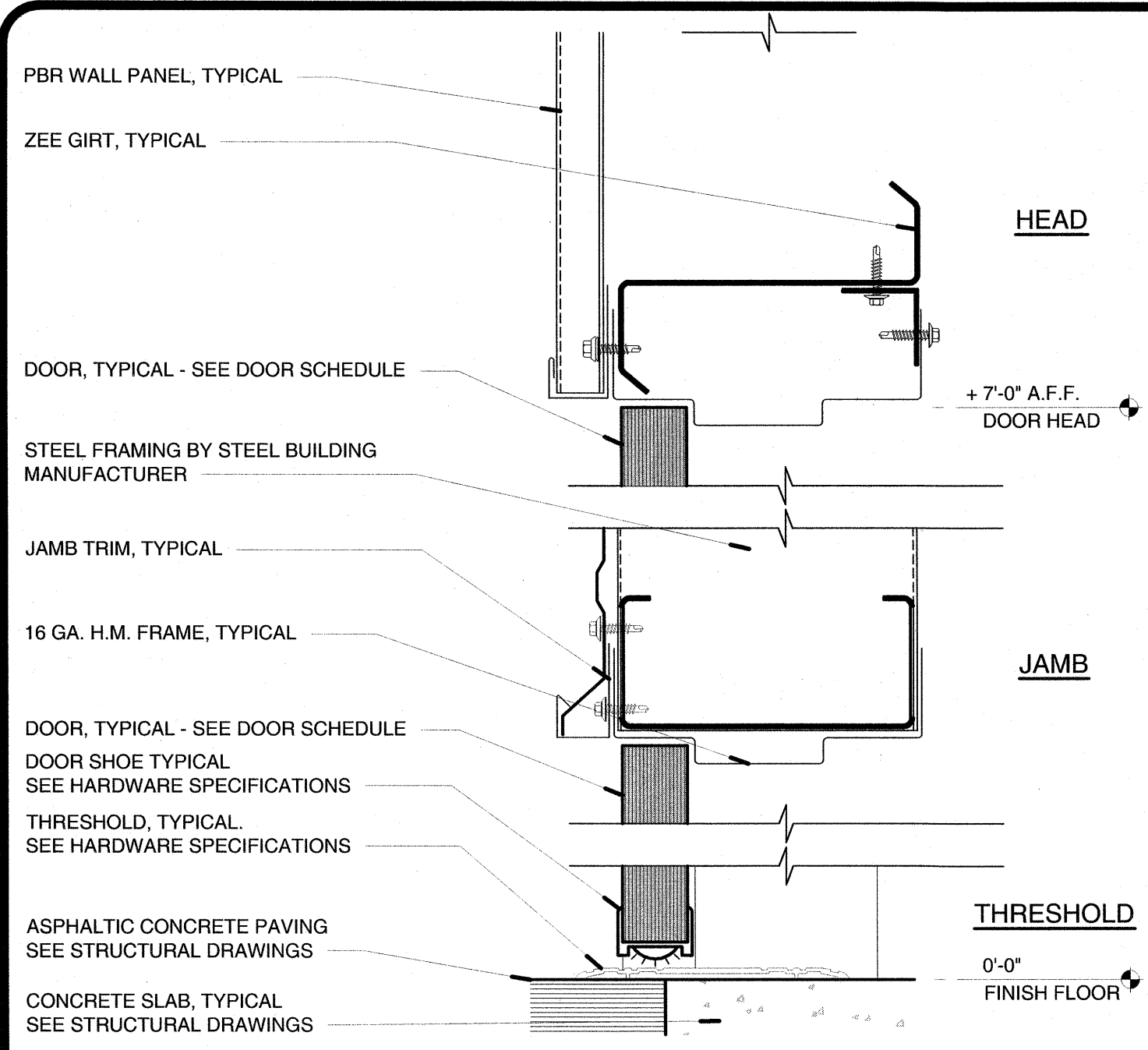
**COMMERCIAL ARCHITECTURE INC.**  
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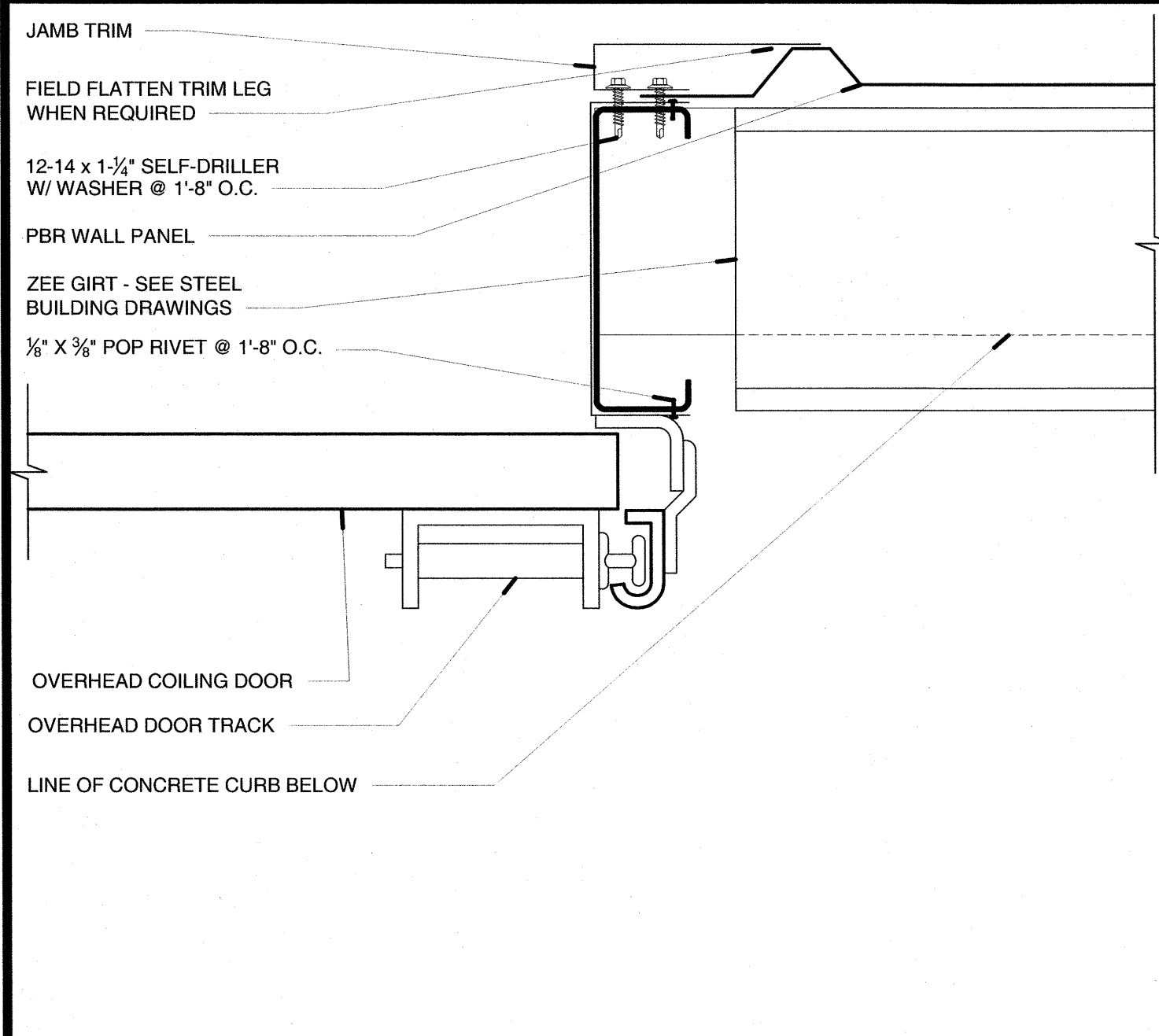
PROJECT: WAREHOUSE & MAINTENANCE  
STORAGE BUILDING  
CLIENT: KEYSTONE CORPORATION  
LOCATION: KEYSTONE PACIFIC PARKWAY  
PATTERSON, CA 95363  
A.P.N.: 021-085-020

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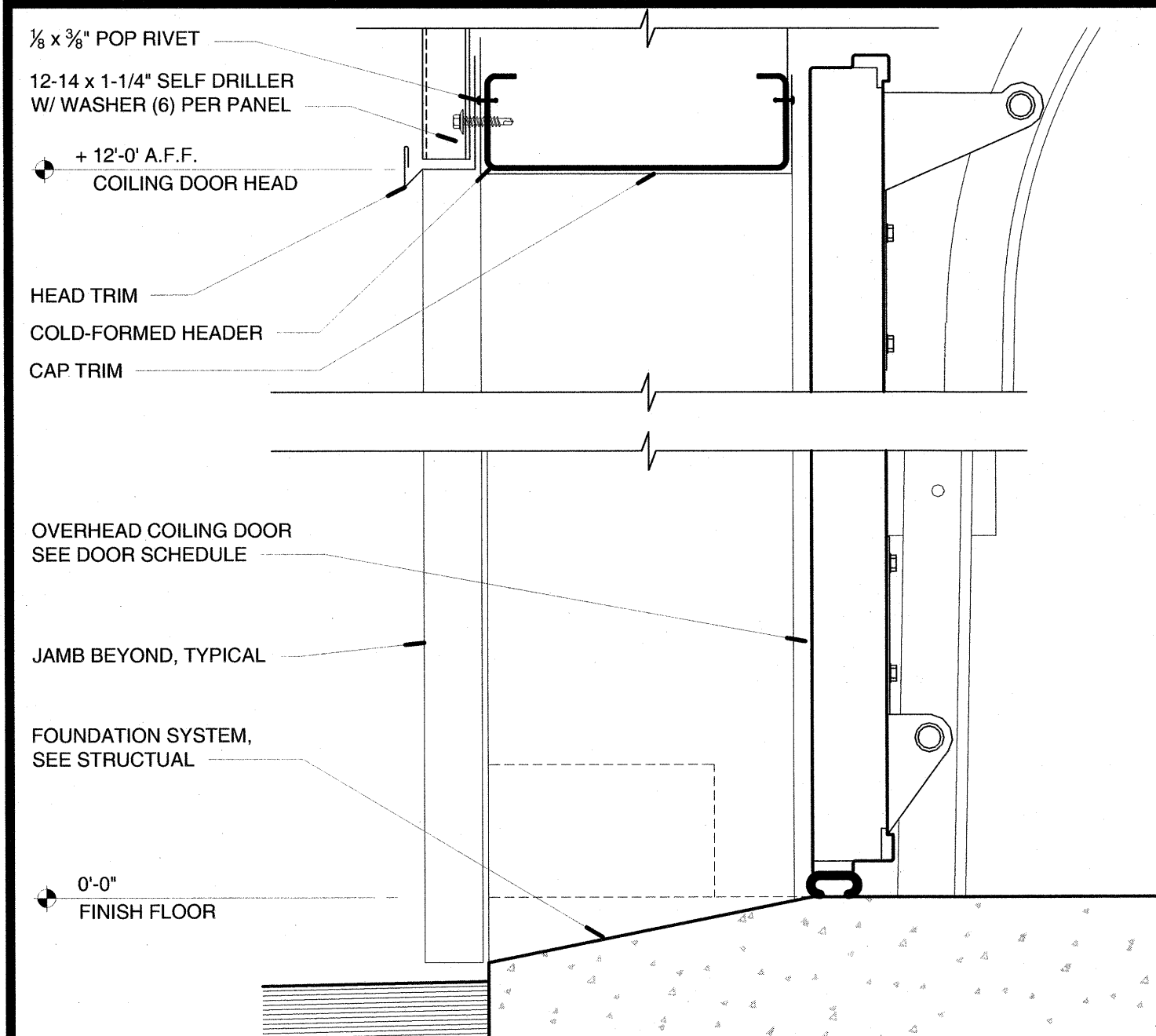




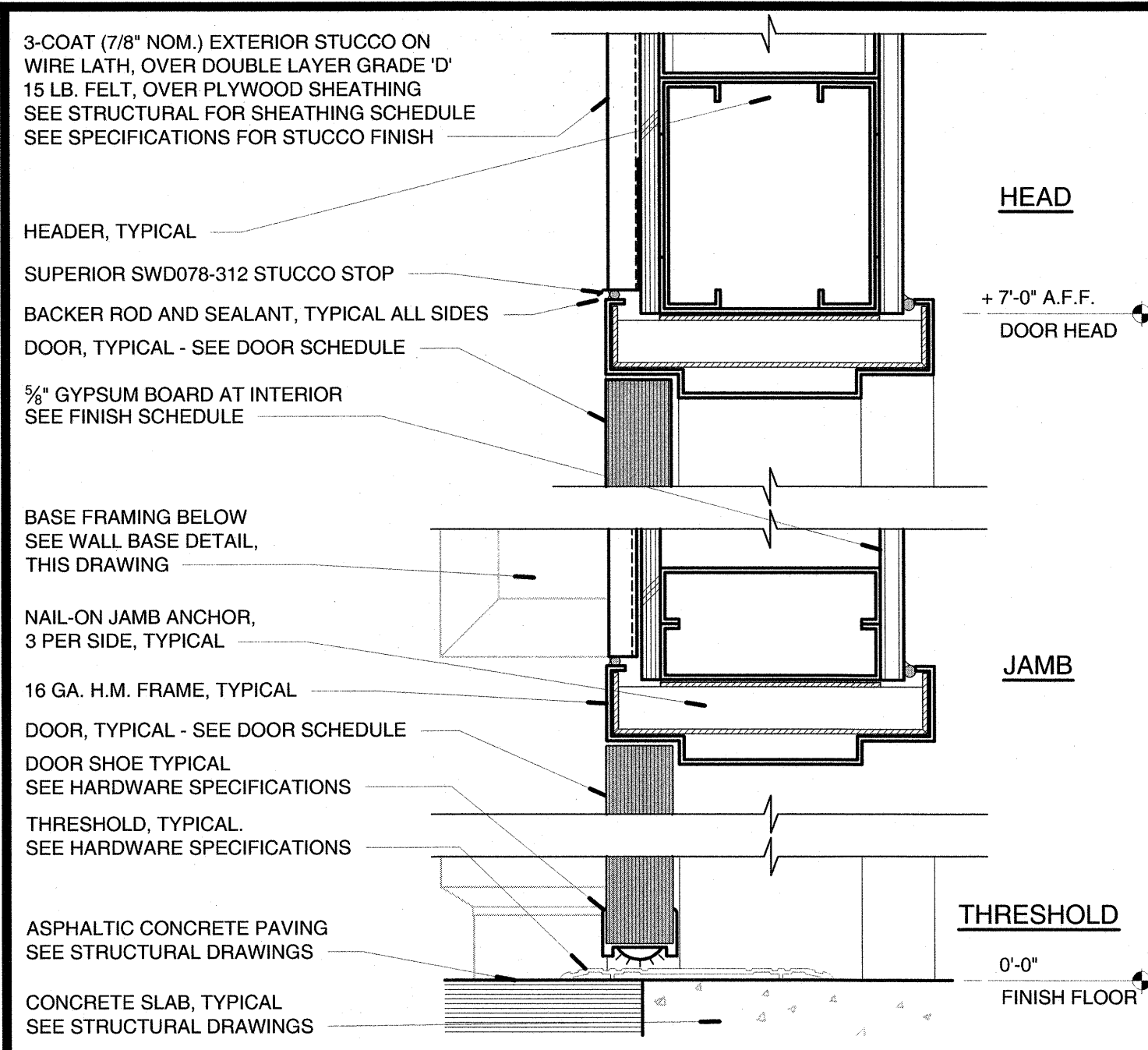
10 EXTERIOR DOOR @ STEEL PANEL SCALE: 3" = 1'-0"



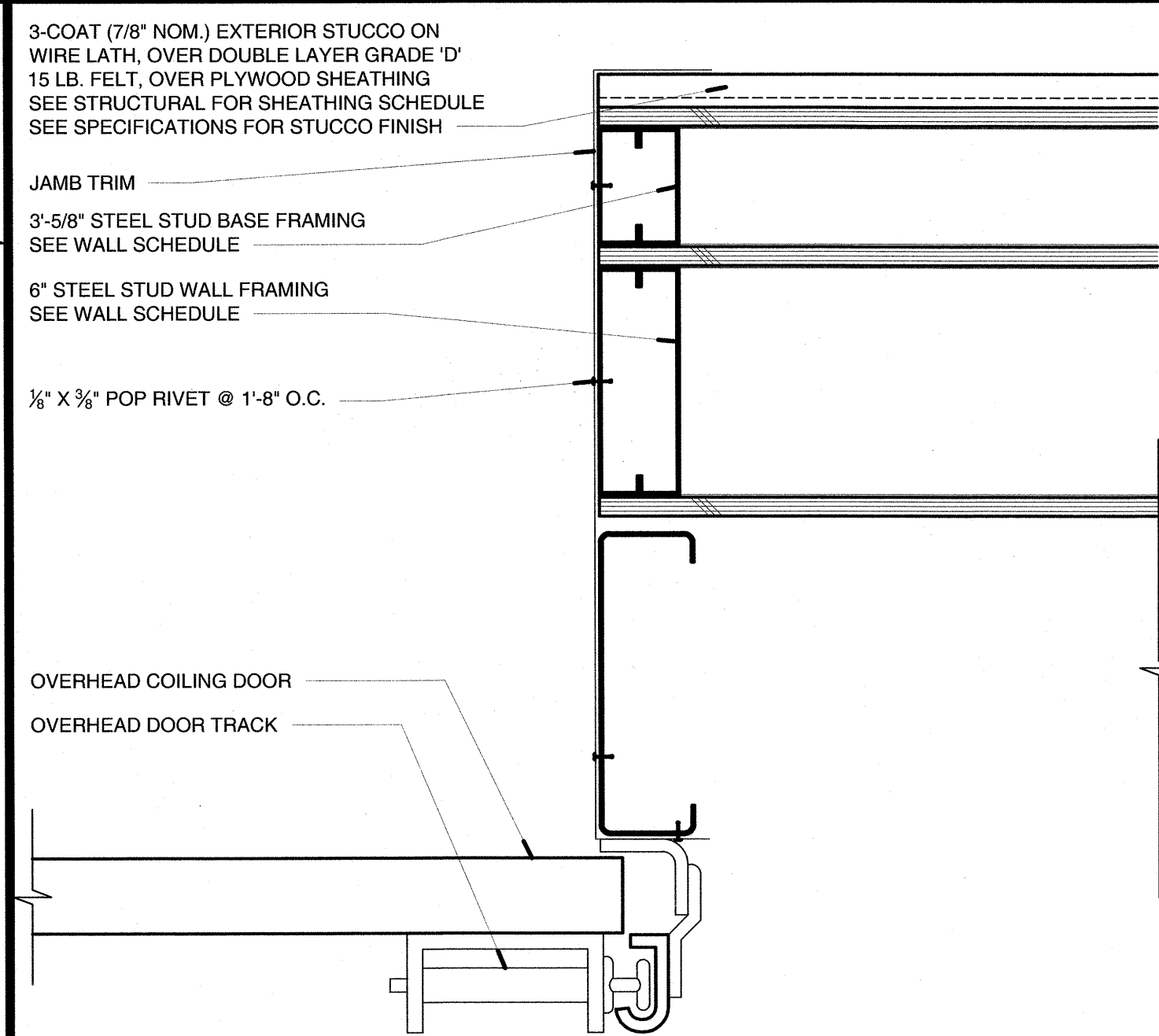
11 ROLL-UP DOOR JAMB @ STEEL SCALE: 3" = 1'-0"



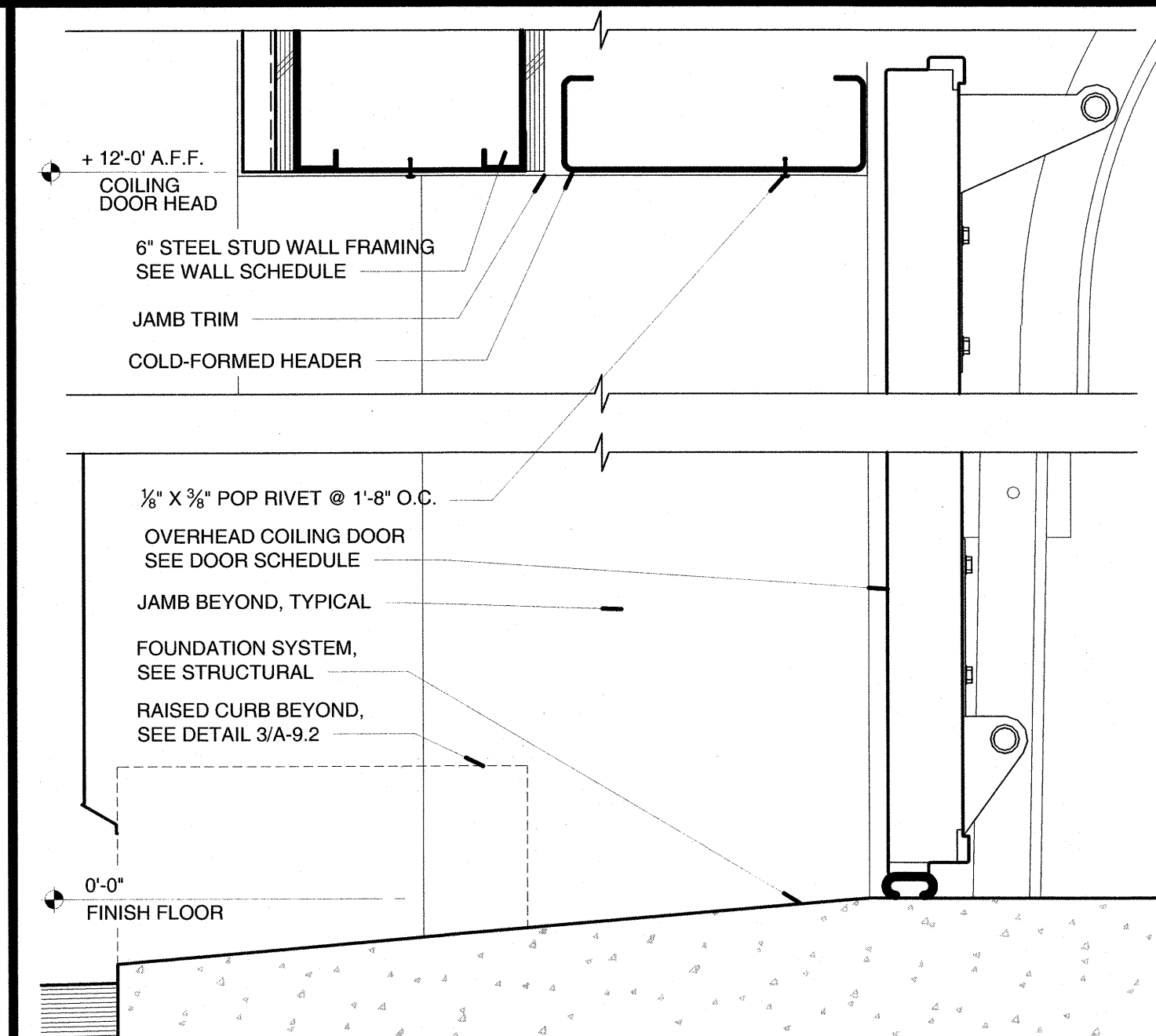
12 ROLL-UP DOOR HEAD/THRESH. SCALE: 3" = 1'-0"



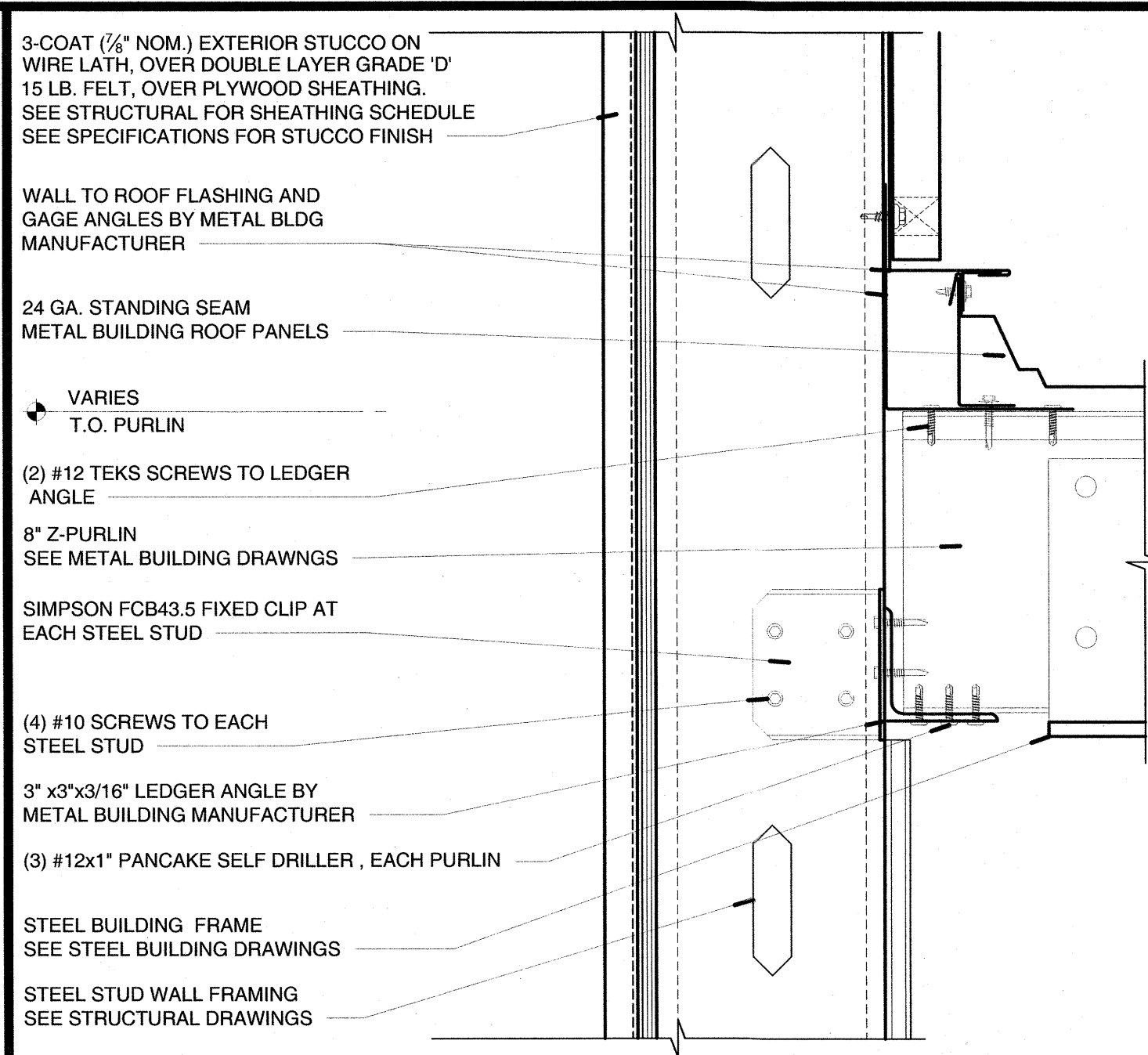
7 EXTERIOR DOOR @ STUCCO SCALE: 3" = 1'-0"



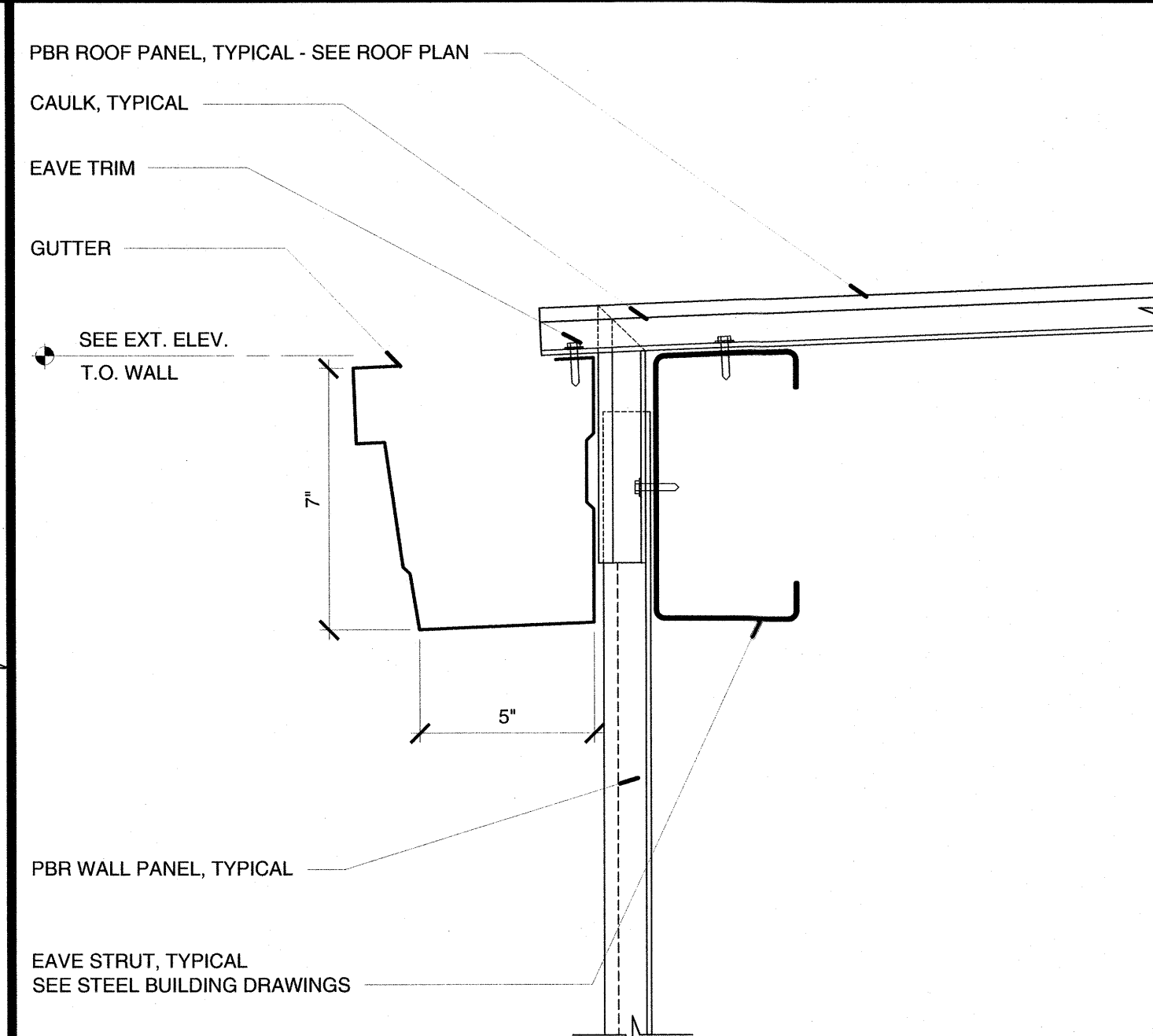
8 ROLL-UP DOOR JAMB @ STUCCO SCALE: 3" = 1'-0"



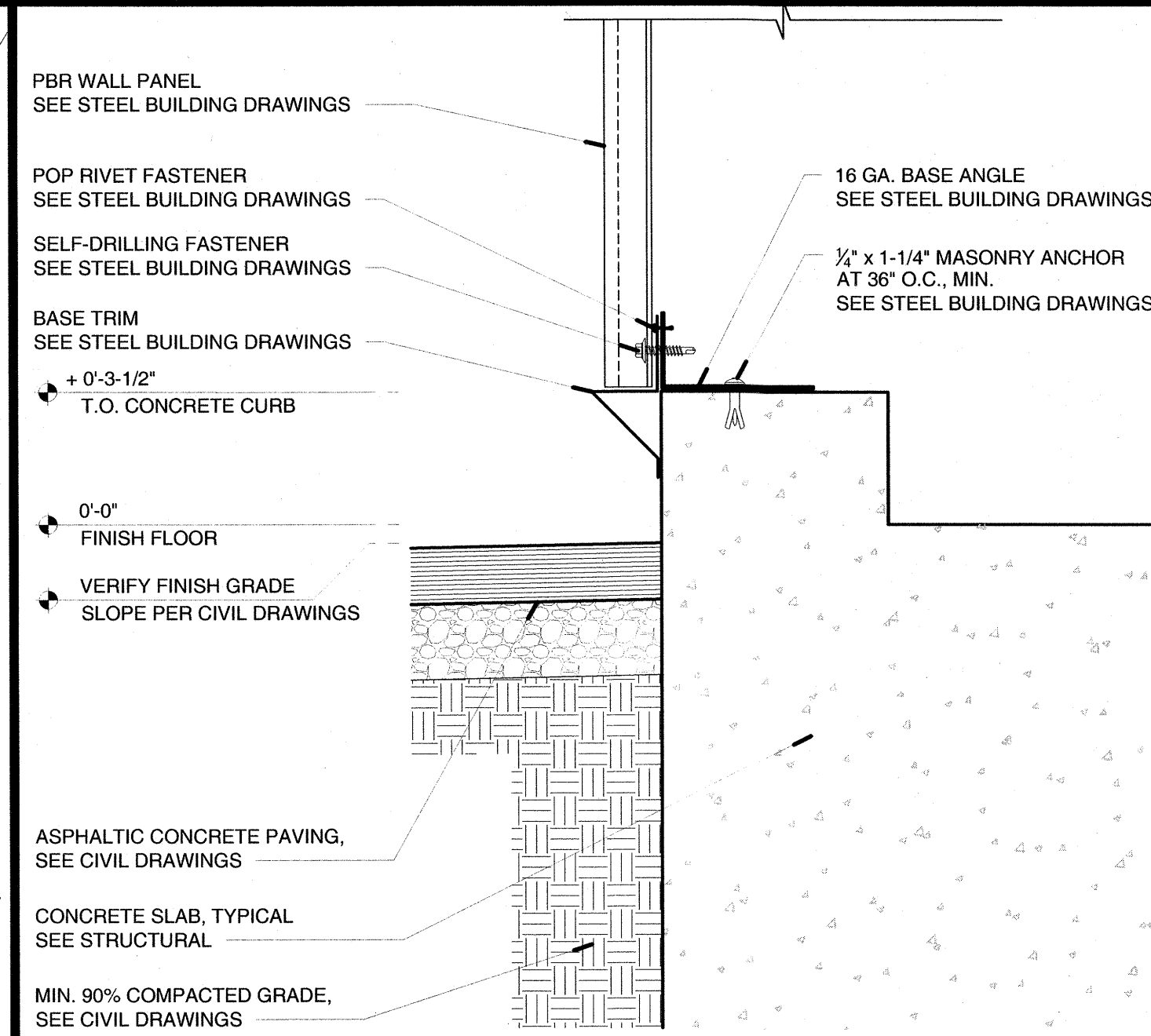
9 ROLL UP DOOR HEAD/THRESH. SCALE: 3" = 1'-0"



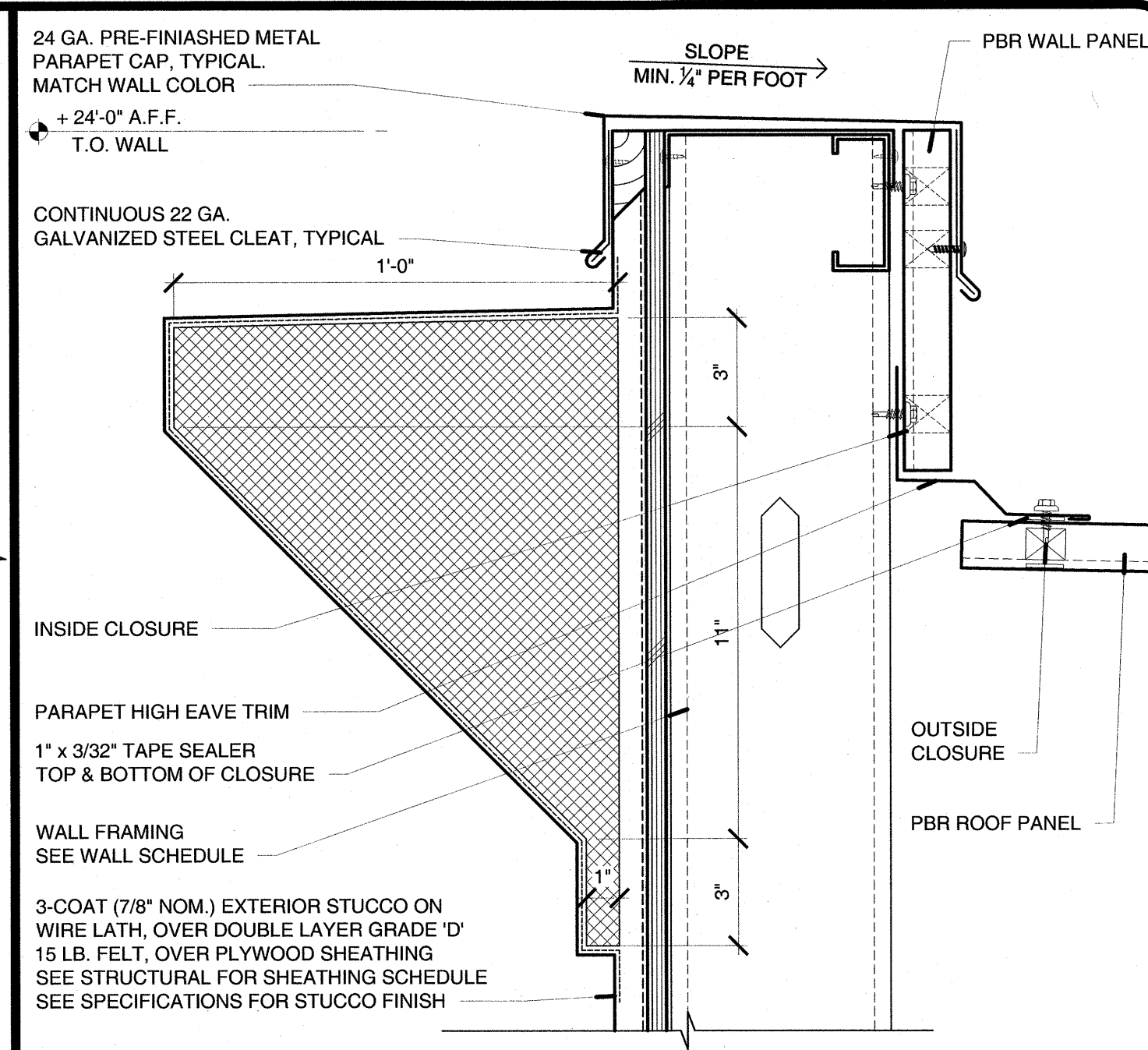
4 ROOF TO WALL RAKE SCALE: 3" = 1'-0"



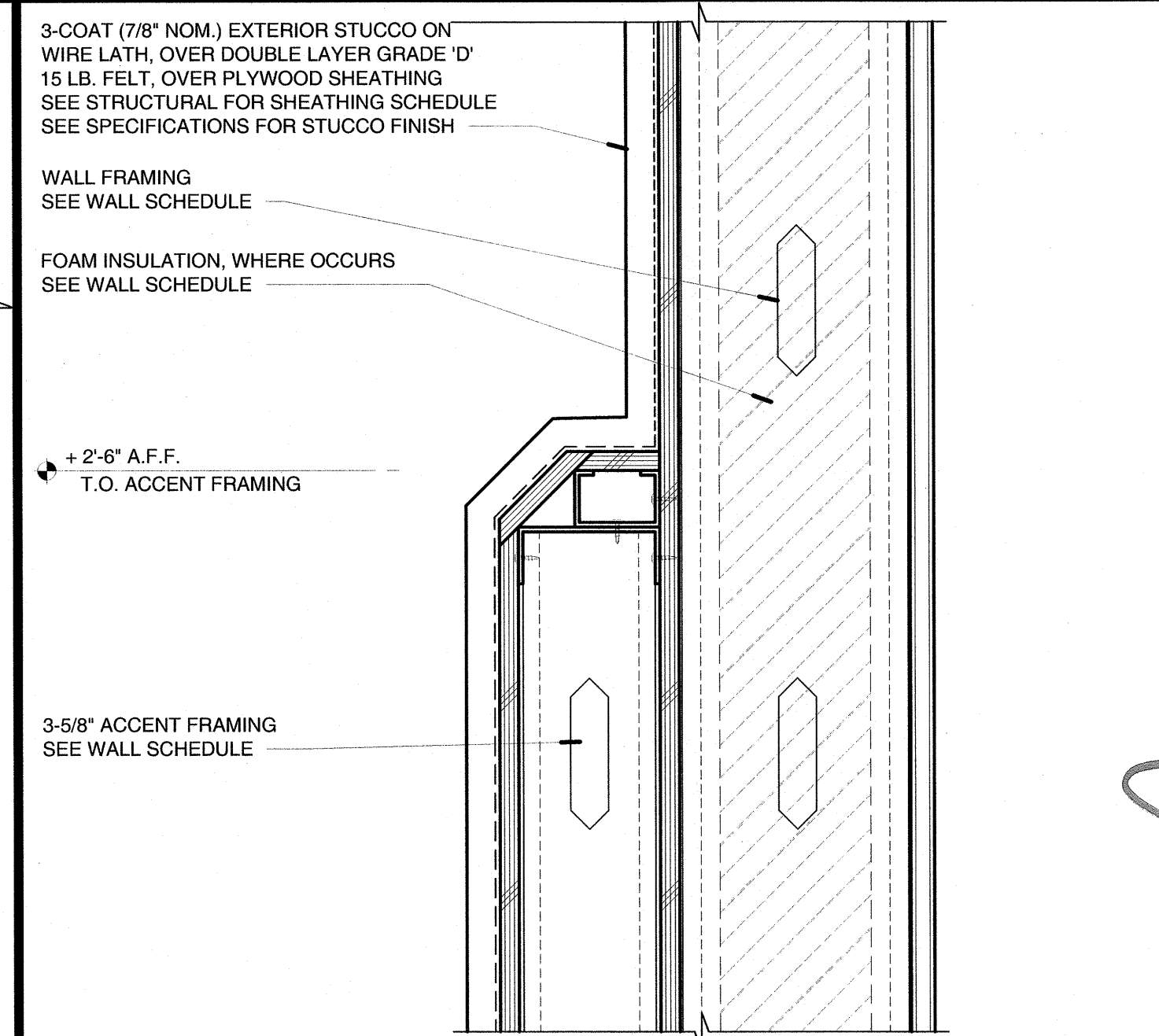
5 EAVE AND GUTTER SCALE: 3" = 1'-0"



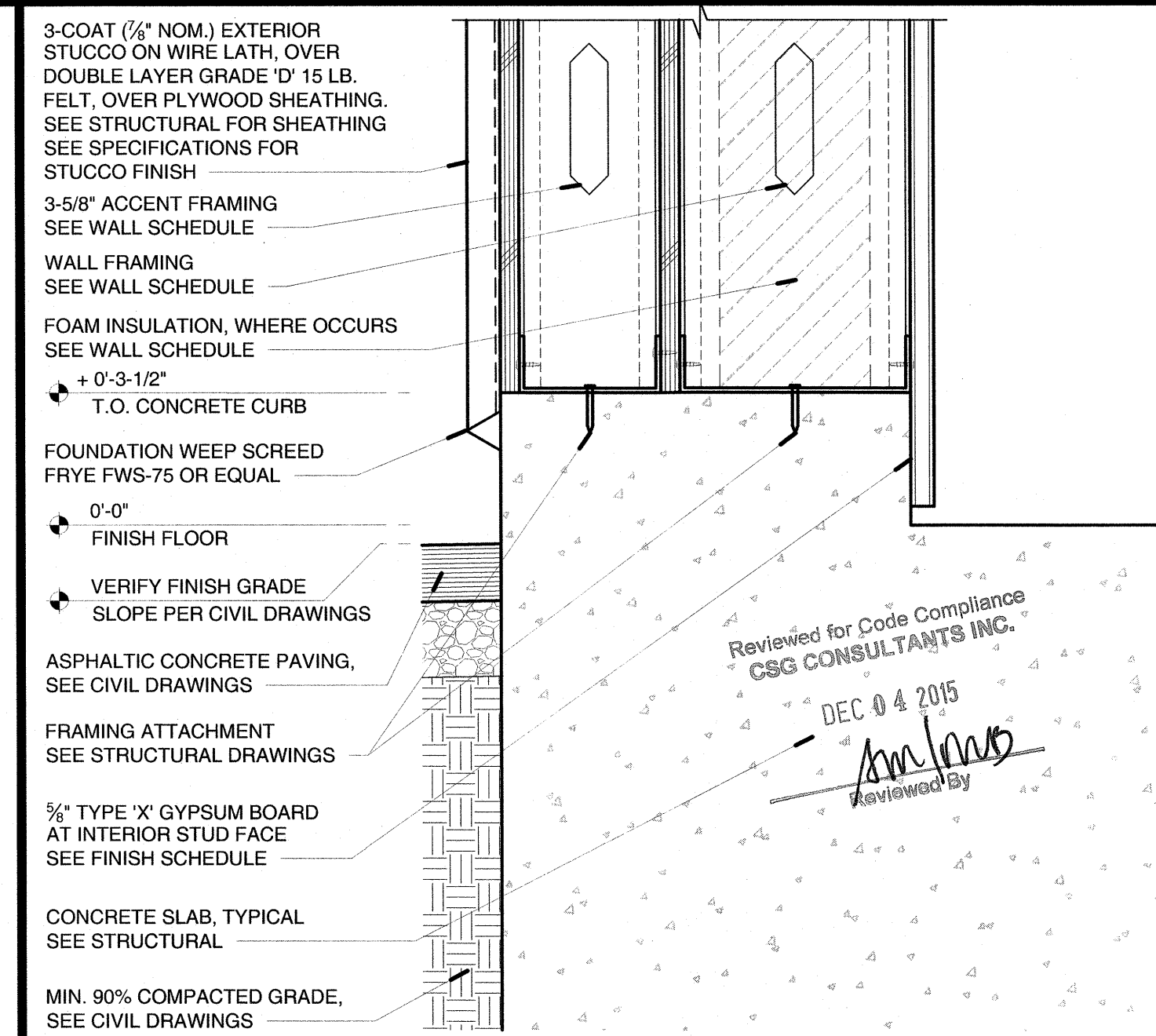
6 WALL BASE @ GIRT WALL SCALE: 3" = 1'-0"



1 PARAPET CAP SCALE: 3" = 1'-0"



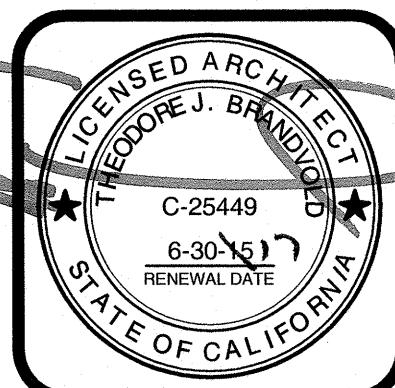
2 WALL BASE FRAMING SCALE: 3" = 1'-0"



3 WALL BASE @ FRAMED WALL SCALE: 3" = 1'-0"

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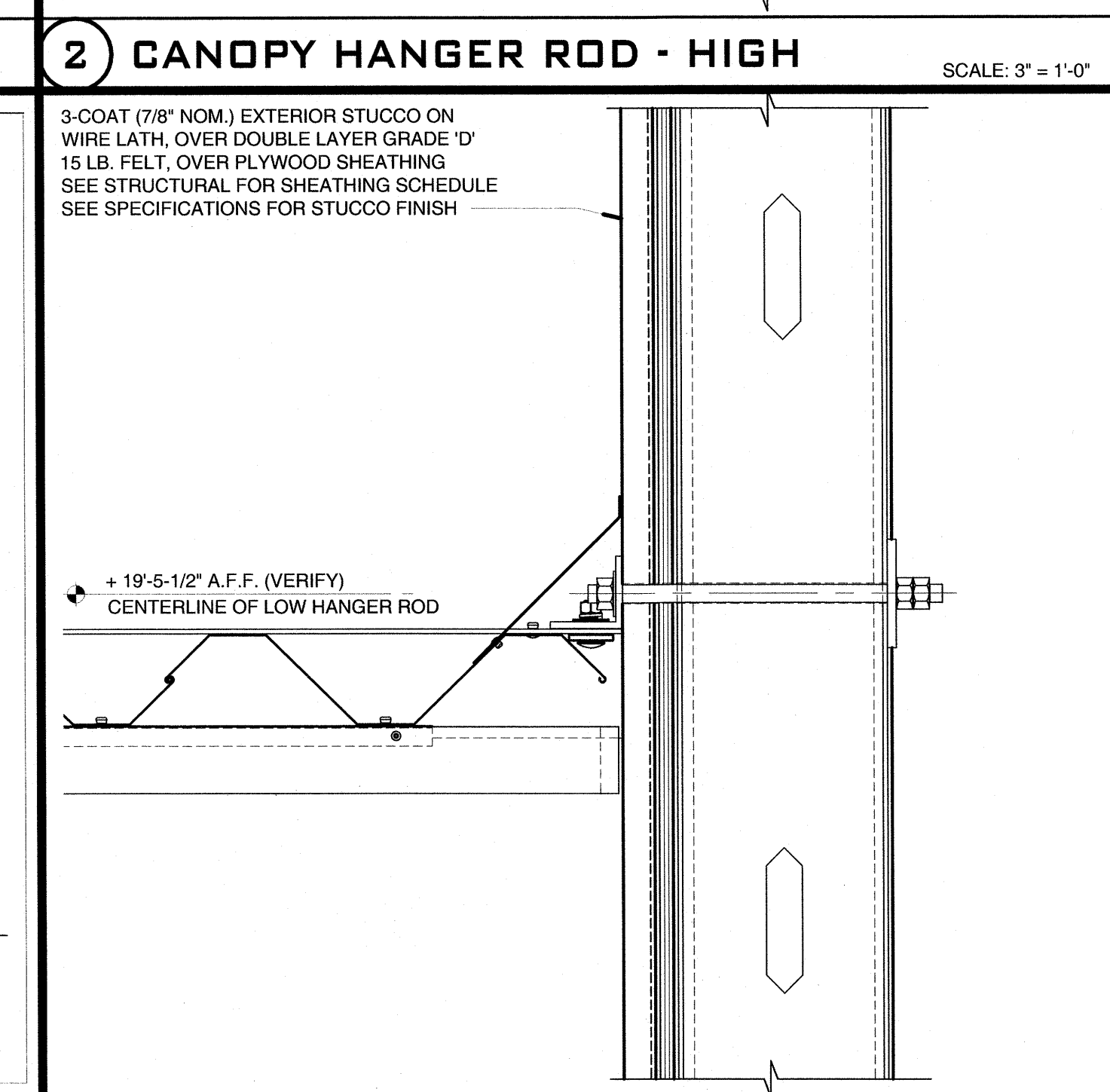
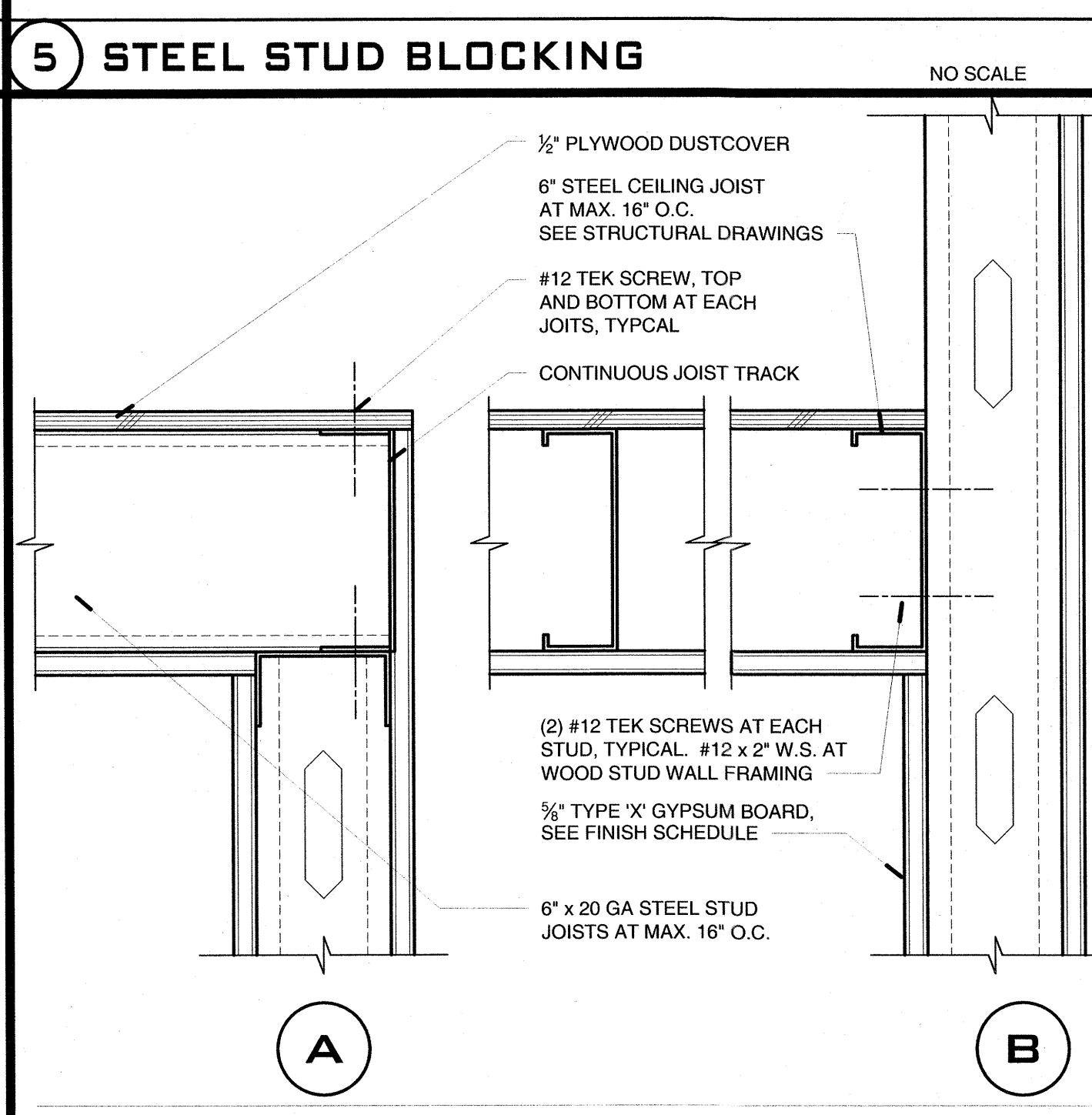
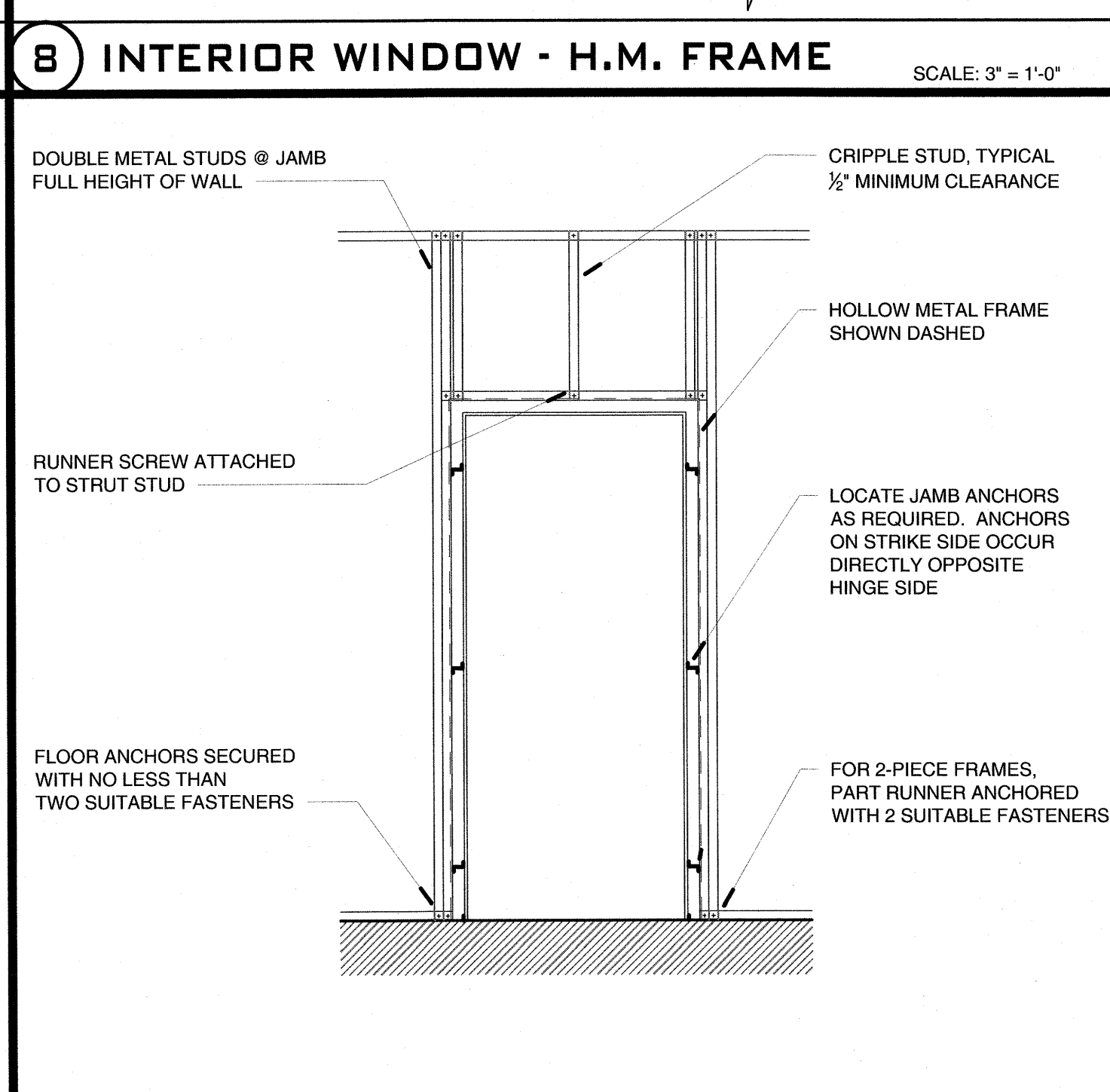
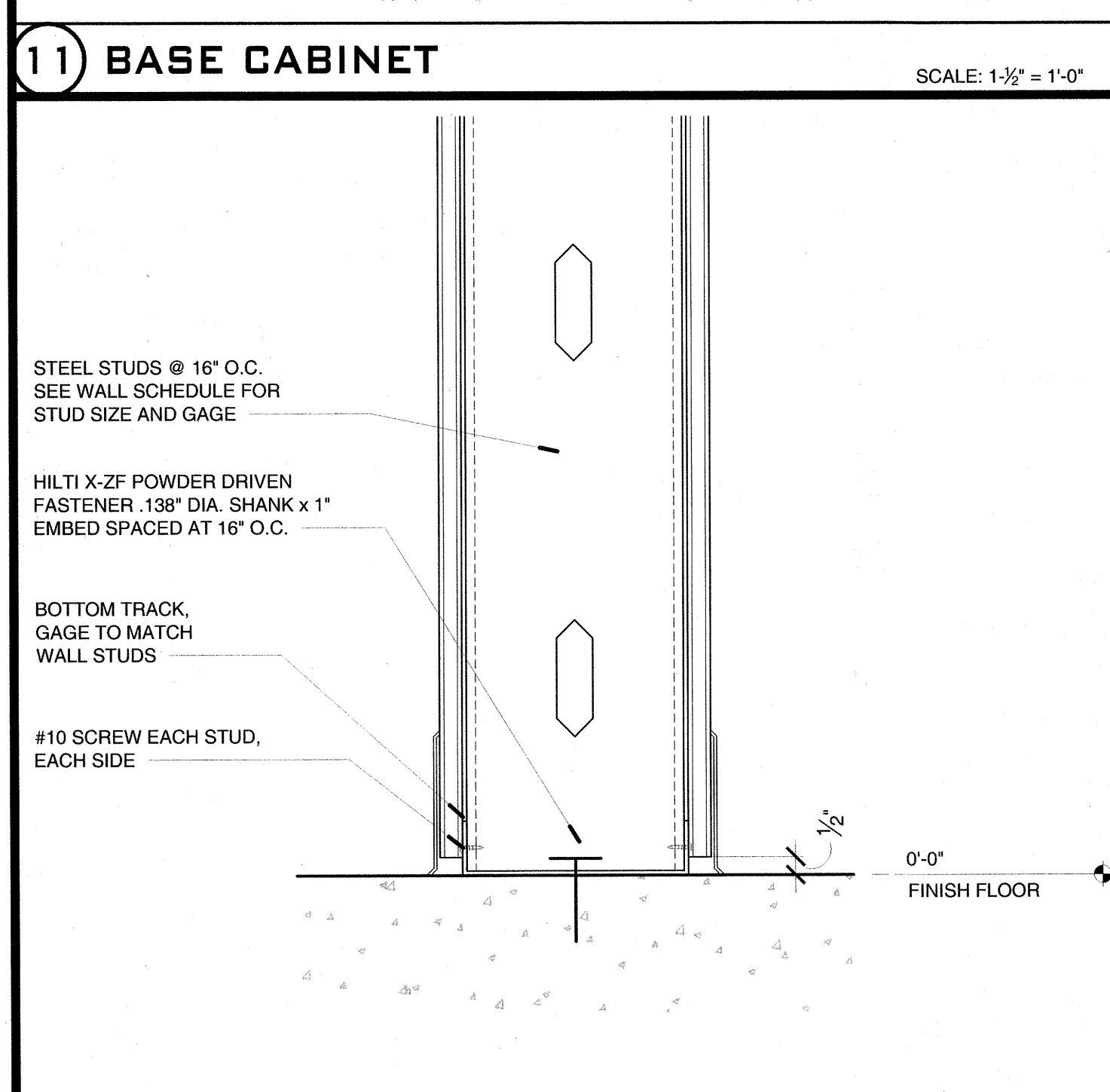
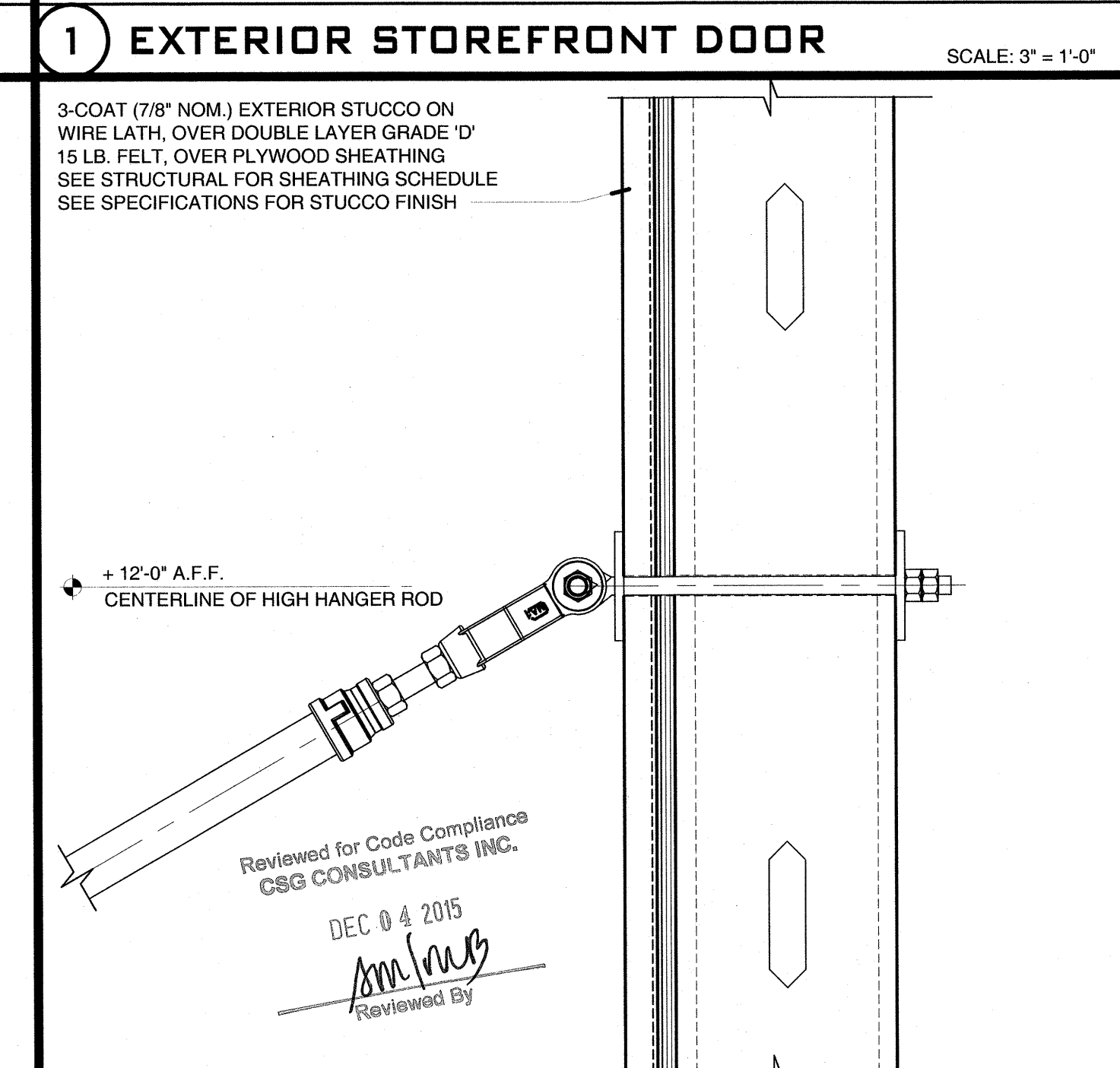
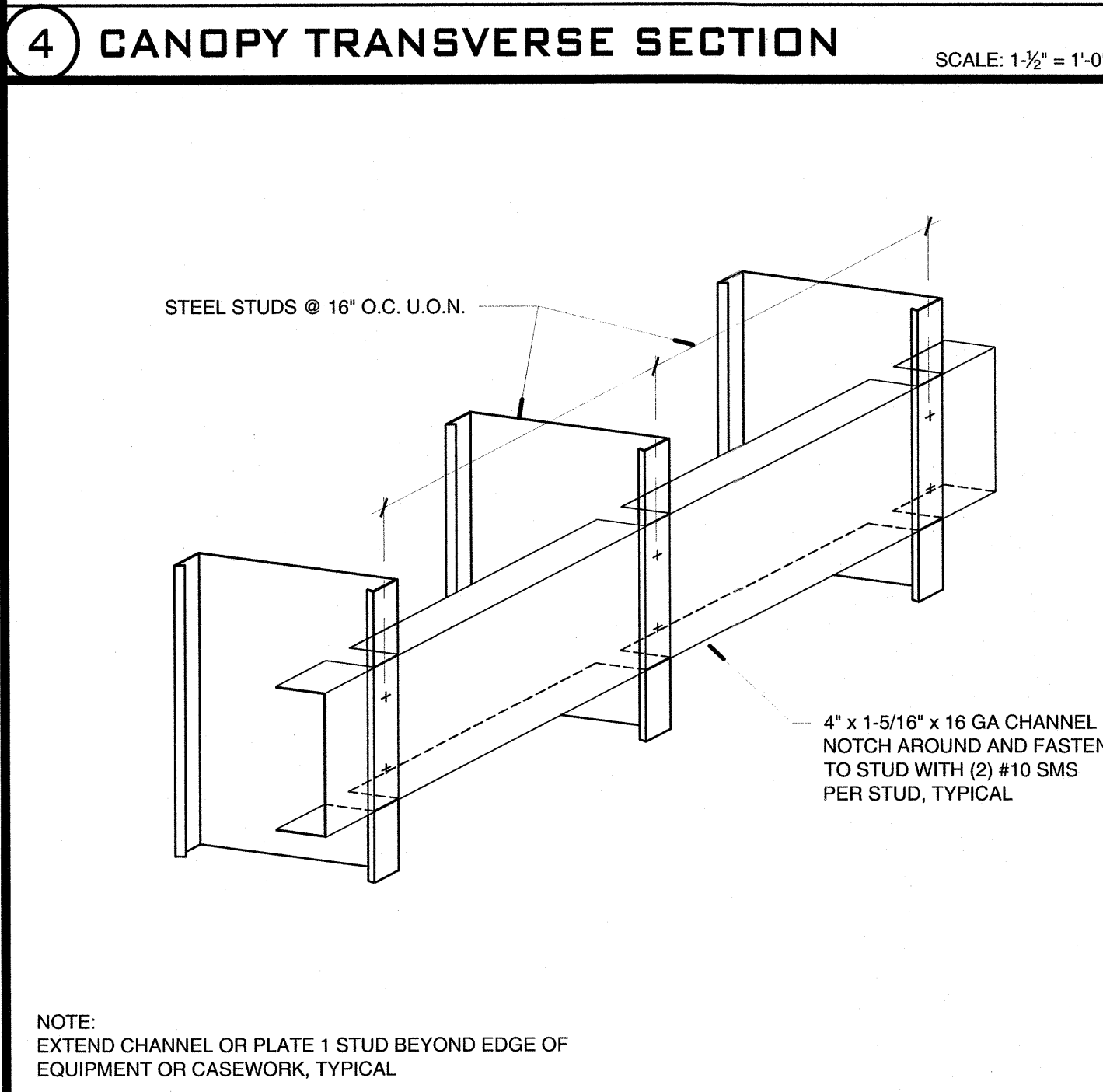
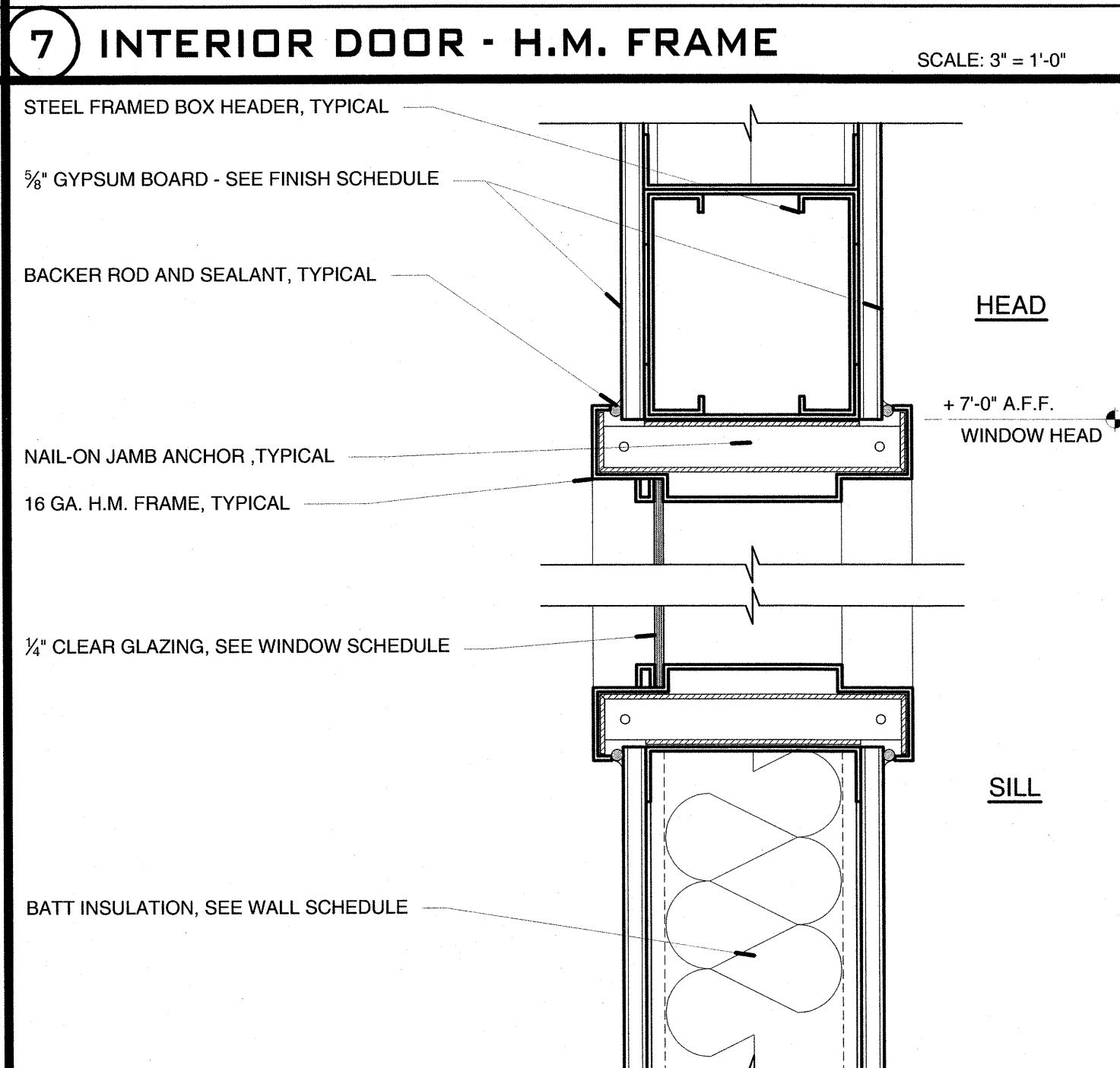
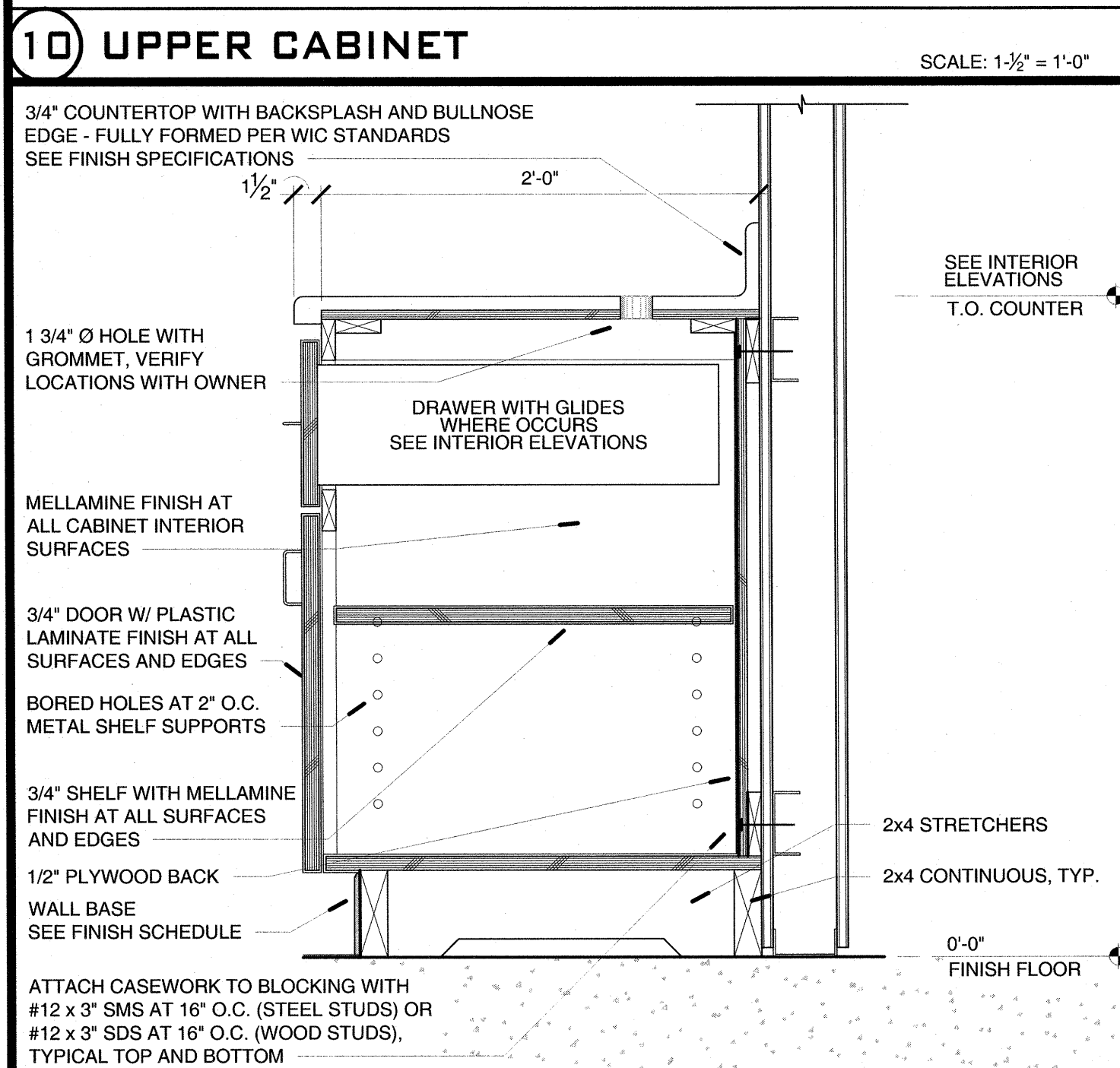
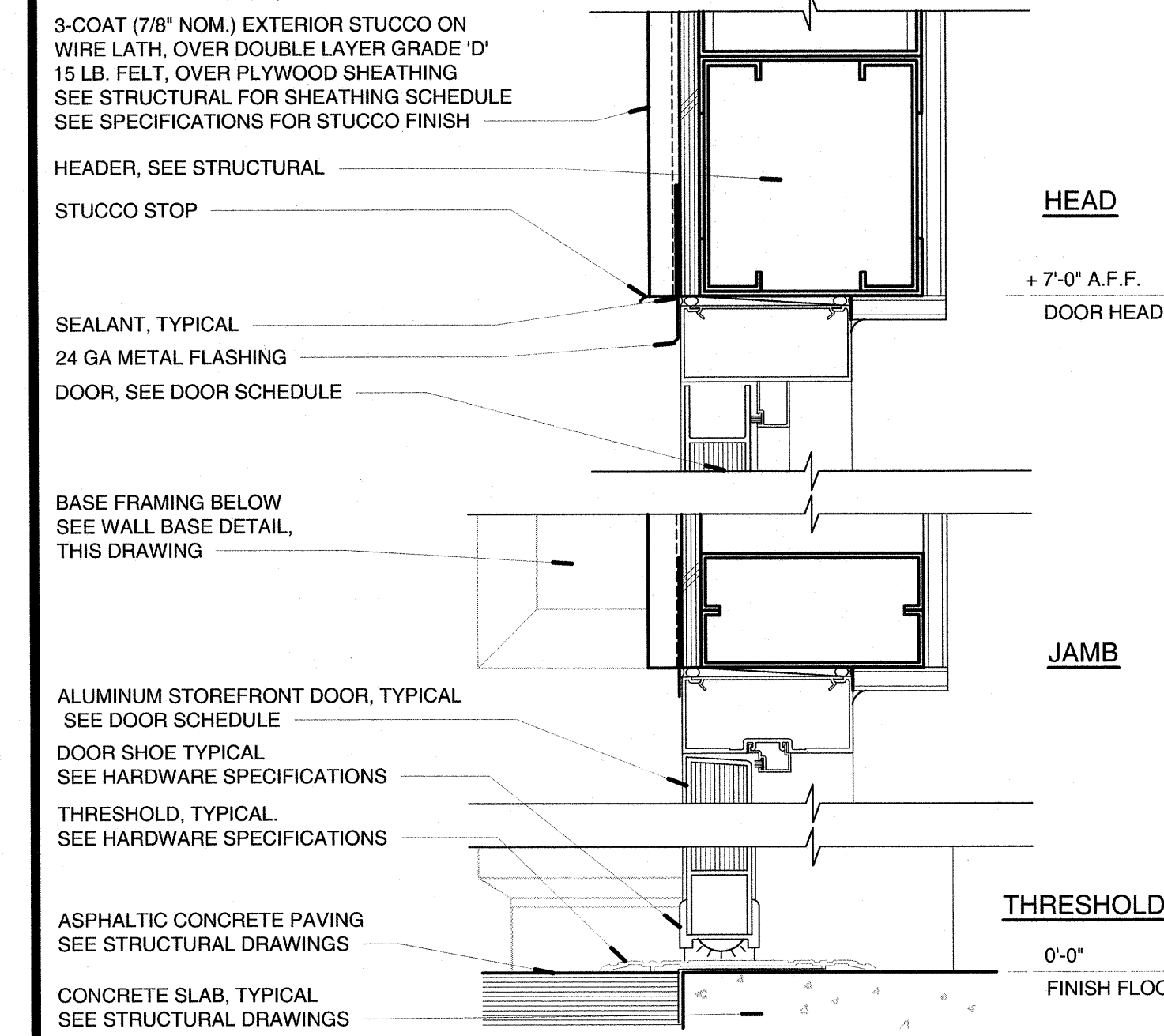
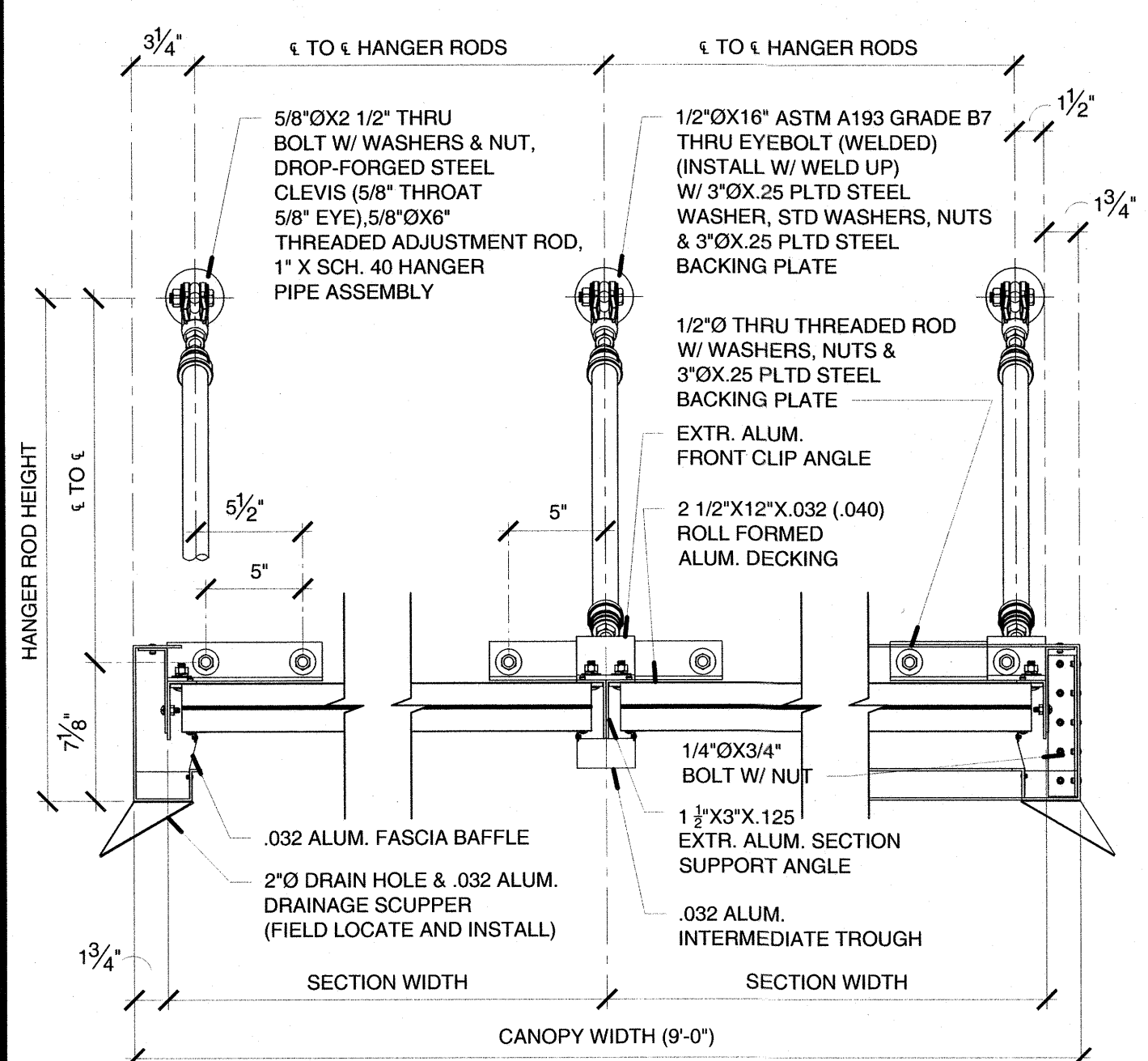
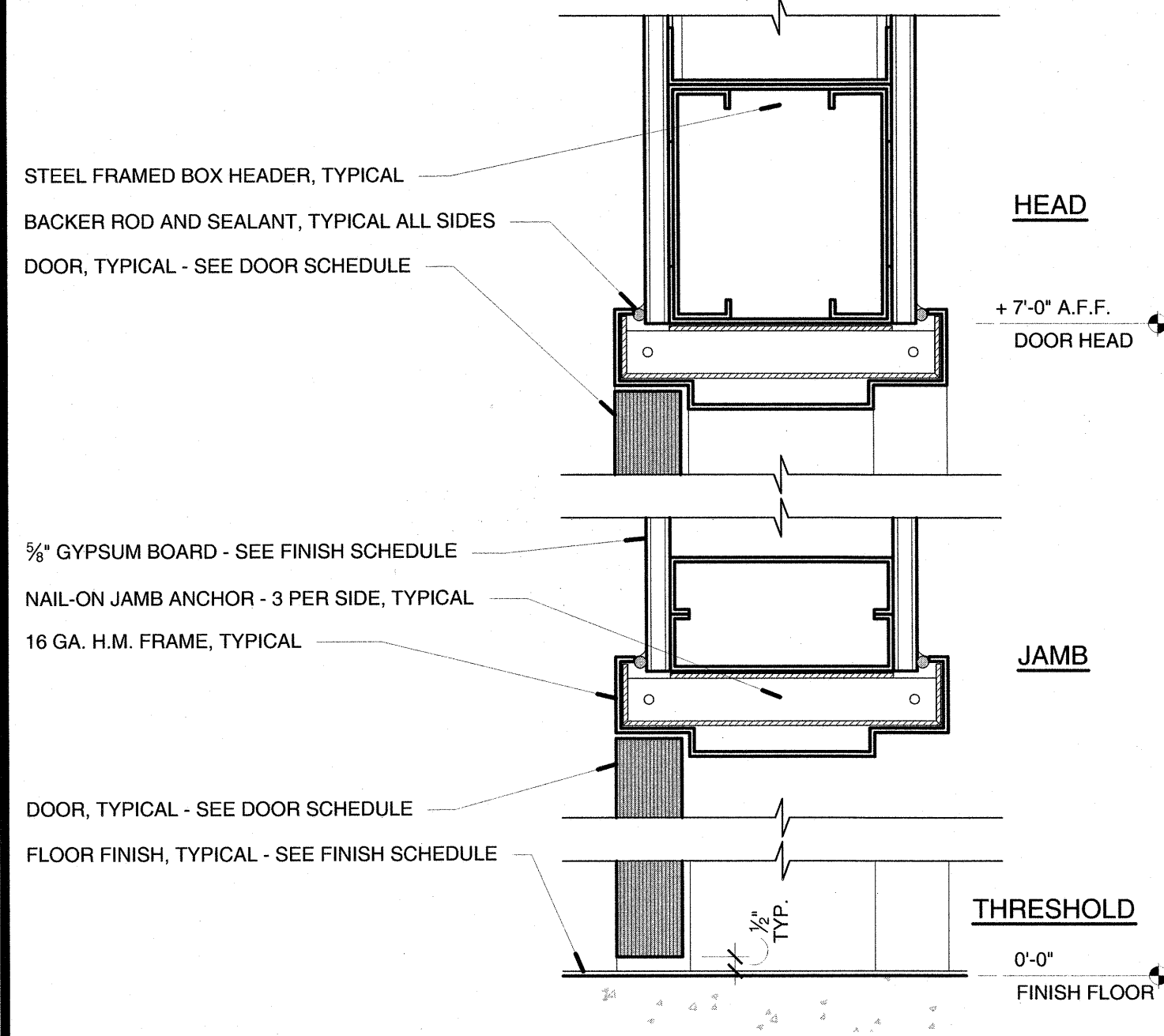
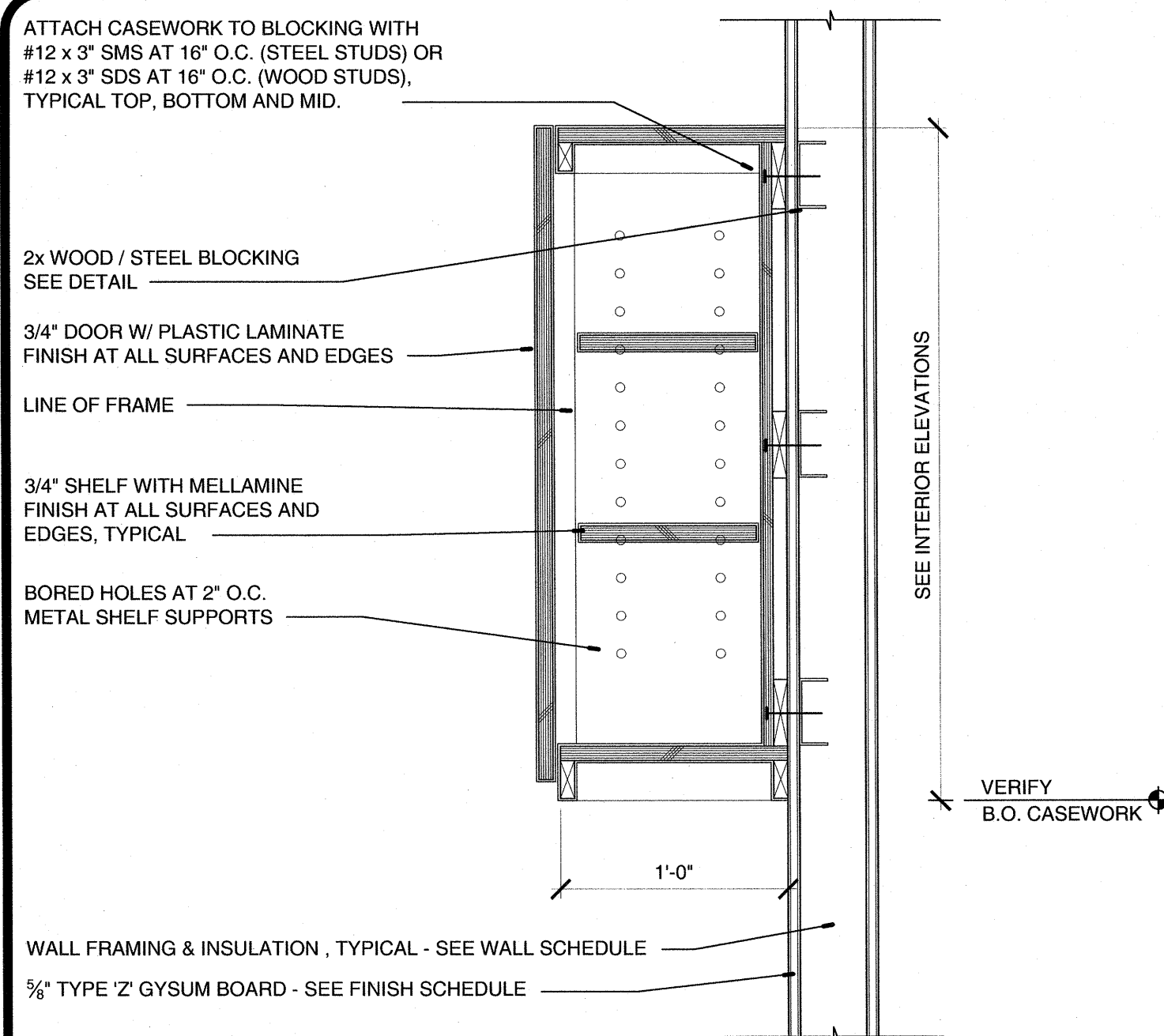
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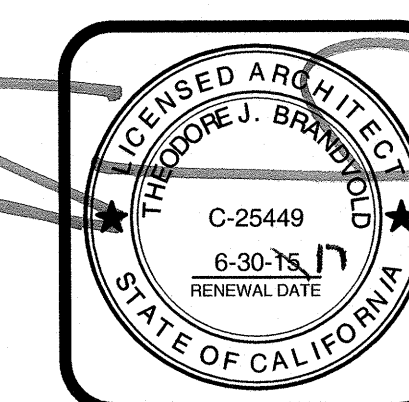




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