



# AGENDA

Village of Los Ranchos  
Board of Trustees Regular Meeting  
6718 Rio Grande Blvd NW  
February 10, 2016 - 7:00 P.M.

MAYOR  
Larry P. Abraham

ADMINISTRATOR  
Kelly S. Ward

TRUSTEES  
Donald Lopez-Mayor Pro Tem/Trustee  
Mary Homan, Trustee  
Pablo Rael, Trustee  
Allen Lewis, Trustee

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1. **CALL TO ORDER**

A. APPROVAL OF AGENDA

2. **PUBLIC COMMENT PERIOD [3 MINUTE TIME LIMIT] - (PLEASE SIGN IN WITH THE CLERK IF YOU WISH TO SPEAK UNDER PUBLIC COMMENT ON AN ITEM THAT IS NOT ALREADY ON THIS AGENDA)**

3. **PRESENTATIONS**

A. NORTH VALLEY ACADEMY CHARTER SCHOOL LOCATED AT 7939 FOURTH STREET - PRESENTED BY RAY BARTON, CHIEF OPERATING OFFICER.

4. **CONSENT AGENDA**

There will be no separate discussion of these items. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

A. MINUTES – JANUARY 13, 2016 – REGULAR MEETING.

5. **REPORTS**

- A. MAYOR'S REPORT
- B. ADMINISTRATOR'S REPORT
- C. PLANNER'S REPORT
- D. LEGAL REPORT
- E. PUBLIC SAFETY REPORT

**6. FINANCIAL BUSINESS**

A. CASH REPORT – JANUARY 2016.

**7. PUBLIC HEARINGS AND APPLICATIONS**

A. A REQUEST FOR A FINAL SITE DEVELOPMENT PLAN APPROVAL FOR NEW COMMERCIAL DEVELOPMENT IN THE C-1 ZONE OF THE FOURTH STREET CORRIDOR AND COMMERCIAL CHARACTER AREA. THE PROPERTY IS LOCATED AT 7108 4TH STREET NW AND IS LEGALLY KNOWN AS PARCEL A-1 LANDS OF ANITA DIMAS BEING COMPRISED OF PARCELS A & B, LANDS OF ANITA DIMAS, VILLAGE OF LOS RANCHOS DE ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JUNE 23, 2015. THE PROPERTY CONTAINS 0.9070 ACRES MORE OR LESS.

**8. OLD BUSINESS**

A. DISCUSSION AND APPROVAL OF AN ORDINANCE AMENDING CHAPTER 9, ARTICLE 4, SECTION 2 DEFINITIONS §9.4.2., SECTION 3 ZONE REVIEW AND BUILDING PERMITS FOR MRGCD TRACTS §9.4.3., MIDDLE RIO GRANDE CONSERVATION DISTRICT TRACTS, TO THE 2013 CODIFIED ORDINANCES OF THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.

**9. NEW BUSINESS**

A. DISCUSSION AND APPROVAL OF THE 2016 FARM PLAN FOR THE PASEO DEL NORTE OPEN SPACE BY ALAMEDA FARMS (DAVID MONTOYA).

B. DISCUSSION AND APPROVAL OF THE PURCHASE OF PROPERTY LOCATED AT 6518 FOURTH STREET NW, LOS RANCHOS DE ALBUQUERQUE, NM 87107, AUTHORIZING THE MAYOR TO NEGOTIATE AND EXECUTE THE PURCHASE OF THE PROPERTY.

**10. TRUSTEES INFORMAL DISCUSSION**

**11. ADJOURNMENT**

A COPY OF THE AGENDA MAY BE OBTAINED AT THE VILLAGE OFFICE, 6718 RIO GRANDE BLVD NW, DURING REGULAR BUSINESS HOURS OF 8:00 A.M. TO 5:00 P.M. OR ON THE WEBSITE: [www.losranchosnm.gov](http://www.losranchosnm.gov)

If you are an individual with a disability who is in need of a reader, amplifier, qualified sign language interpreter, or any other form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the Village Clerk at 344-6582 at least one week prior to the meeting or as soon as possible.

**THE NEXT BOARD MEETING WILL BE HELD ON MARCH 9, 2016**

I certify that notice of the Public Meeting has been given in compliance with the Open Meetings Act, Section 10-15-1 through 10-15-4 NMSA 1978 and the Open Meetings Resolution 2015-1-3.

I certify that this agenda was posted on: 2/5/2016



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Stephanie Dominguez, Village Clerk

### **3. PRESENTATIONS**

A. NORTH VALLEY ACADEMY CHARTER SCHOOL  
LOCATED AT 7939 FOURTH STREET - PRESENTED  
BY RAY BARTON, CHIEF OPERATING OFFICER.

## **4. CONSENT AGENDA**

- A. MINUTES – JANUARY 13, 2016 – REGULAR MEETING.

**MINUTES**  
**VILLAGE OF LOS RANCHOS DE ALBUQUERQUE**  
**6718 RIO GRANDE BOULEVARD N.W.**  
**BOARD OF TRUSTEES REGULAR MEETING**  
**January 13, 2016 - 7:00 p.m.**

**Present:**

Larry P. Abraham, Mayor  
 Don Lopez, Trustee / Mayor Pro-Tem  
 Pablo Rael, Trustee  
 Mary Homan, Trustee  
 Allen Lewis, Trustee

Kelly S. Ward, Administrator  
 Stephanie Dominguez, Clerk  
 Nancy Haines, Treasurer  
 Tim McDonough, P & Z Director  
 Bill Chappell, Attorney  
 Deputy Robin Hopkins, Public Safety Director

**1. CALL TO ORDER**

**Mayor Abraham** called the meeting to order at 7:00 P.M.

**MOTION:** Trustee Lopez moved approval of the agenda. Trustee Rael seconded the motion.

**VOTE:** The motion carried, 4-0.

**2. PUBLIC COMMENT PERIOD**

**Helen Whitesides**, 4059 Dietz Farm Circle, stated she was here before the Board of Trustees in November to re-register a complaint initially submitted in August 2015 with the Village Administration.

**Elizabeth Gordon**, 4059 Dietz Farm Circle, said we have not received any communication from the Village regarding the complaint initially submitted in August 2015.

**Manuel Quintana** introduced himself as the new community as the PNM Albuquerque Metro Area Manager of Local Government and Community Affairs.

**John Edward**, 16 Applewood Lane, as a community we need to provide for ourselves versus reliance on others of which we have no control. I challenge this notion by encouraging the Village of Los Ranchos to establish its own school district.

**3. PRESENTATIONS**

A. ALBUQUERQUE PUBLIC SCHOOLS / CENTRAL NEW MEXICO COMMUNITY COLLEGE SPECIAL ELECTION ON FEBRUARY 2, 2016: CENTRAL NEW MEXICO COMMUNITY COLLEGE BOND INITIATIVE.

*Alexis Kerchner Tappan discussed the Central New Mexico Community College Bond Initiative in the upcoming February 2, 2016 Special Election.*

#### **4. CONSENT AGENDA**

A. MINUTES – DECEMBER 9, 2015 – REGULAR MEETING.

**MOTION:** **Trustee Rael** moved approval of the consent agenda. **Trustee Lopez** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

*\*Meeting recessed from 7:35p.m. to 7:45p.m.*

#### **5. REPORTS**

##### **A. MAYOR'S REPORT**

**Mayor Abraham** reported on the following:

- The Los Poblanos Industrial Revenue Bond was approved by Bernalillo County.
- Influx of sightings and encounters with coyotes; Village staff is currently working with wildlife consultants to develop mitigation tactics.

##### **B. ADMINISTRATOR'S REPORT**

**Administrator Ward** reported on the following:

- Dominic Tomba, Animal Control Officer, is completing training to become nationally certified.
- Working with Attorney Chappell on the transference of the Unser Museum property.

##### **C. PLANNER'S REPORT**

**Planner McDonough** reported on the following:

- Working on the storm water permit and awaiting final approval from the EPA.
- Continuation of business registration renewals.

##### **D. LEGAL REPORT**

**Attorney Chappell** reported on the following:

- Working on the extension of the lease for the Unser Museum
- Reviewing amendments to Village Ordinances.

##### **E. Public Safety Report**

**Deputy Hopkins** reported on the following:

- After reviewing records, crime in in the Village is the lowest it has been in the past five years.

#### **6. FINANCIAL BUSINESS**

A. CASH REPORT – DECEMBER 2015

**Treasurer Haines** reported the ending cash balance as of December 31, 2015, was \$9,482,091.41 which is an increase of \$4,007.76 from the prior month. The year-to-date excess of revenue over expenditures is \$146,651.37. The unusual or significant items for the month is purchase of property located at 6611 Edgewood Drive, Los Ranchos NM, 87107 in the amount of \$189,774.40

**MOTION: Trustee Homan** moved approval of the December 2015 cash report. **Trustee Rael** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

B. DISCUSSION AND APPROVAL OF RESOLUTION NO. 2016-1-1  
MID-YEAR BUDGET ADJUSTMENTS FOR FY 2015-2016.

**Administrator Ward** said we are not statutorily obligated to approve a mid-year adjustment; however, the mid-year budget provides an overview of spending in the previous half of the year as well as allotting funds to move forward with future property purchases as those opportunities become available. The mid-year budget includes an adjustment in actual revenue collected in the first half of the year, and an adjustment to anticipate a slight increase in gross receipts upwards to \$75,000.

**MOTION: Trustee Lewis** moved approval Resolution No. 2015-1-1 Mid-Year Budget Adjustments for FY 2015-2016 with the following corrections: \$10,000 will be moved from *Fund 47080 Print, Public, and Advertising* to *Fund 45909 Community Event-Lavender Festival*; *Fund 45909 Community Event- Lavender Festival* will be renamed *Fund 45909 Community Events*. **Trustee Rael** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

**ROLL CALL VOTE: Trustee Rael-aye; Trustee Lopez-aye; Homan Trustee-aye; Trustee Lewis- aye.**

7. PUBLIC HEARINGS AND APPLICATIONS

THERE ARE NO PUBLIC HEARINGS.

8. OLD BUSINESS

NONE.

9. NEW BUSINESS

A. DISCUSSION AND APPROVAL TO AWARD REQUEST FOR PROPOSAL RFP# 2015-03 FOURTH STREET FINAL DESIGN AND CONSTRUCTION MANAGEMENT, AUTHORIZING THE MAYOR TO NEGOTIATE AND EXECUTE THE CONTRACT.

**Administrator Ward** said RFP# 2015-03 Fourth Street Final Design and Construction Management was issued in late November. Three proposals were submitted on January 4, 2016 from the following companies: MRWM, Sites Southwest, and WH Pacific. The review committee scored and ranked each company: (1) Sites Southwest, (2) WH Pacific, and (3) MRWM. The review committee recommends proceeding with Sites Southwest to develop a scope of work, negotiate a fee schedule, and finalize a contract.

**MOTION:** **Trustee Lopez** moved to approve the award for Request for Proposal RFP#2015-03 Fourth Street Final Design and Construction Management, authorizing the Mayor to negotiation and execute the contract with Sites Southwest with the following conditions: The Board of Trustees will be provided a copy of the signed contract upon seven (7) days of execution; The contract shall include a detailed scope of work to include the consultant/engineer fee estimate, project schedule, and a subsurface investigation and utility location; the Board of Trustees shall be provided 65/95/100 design (bid docs) which shall include design drawings and specs approved by a New Mexico Professional Engineer; the specs shall include traffic control measures. **Trustee Homan** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

B. DISCUSSION AND APPROVAL OF THE PURCHASE OF PROPERTY LOCATED AT 6931 FOURTH STREET NW, LOS RANCHOS DE ALBUQUERQUE, NM 87107, AUTHORIZING THE MAYOR TO NEGOTIATE AND EXECUTE THE PURCHASE OF THE PROPERTY.

**Administrator Ward** said the property at 6931 Fourth Street NW is a rental house owned by Tony Gallegos.

**MOTION:** **Trustee Rael** moved approval of the purchase of the property located at 6931 Fourth Street NW, Los Ranchos, NM 87107. **Trustee Lopez** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

C. DISCUSSION AND APPROVAL OF PRECINCT AND ABSENTEE BOARD MEMBERS AND COMPENSATION FOR THE MARCH 1, 2016 REGULAR MUNICIPAL ELECTION.

**MOTION:** **Trustee Lopez** moved approval of the precinct and absentee board members and compensation for the March 1, 2016 Regular Municipal Election. **Trustee Rael** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

D. DISCUSSION AND APPROVAL TO ADVERTISE AN ORDINANCE AMENDING CHAPTER 9, ARTICLE 4, SECTION 2 DEFINITIONS §9.4.2., SECTION 3 ZONE REVIEW AND BUILDING PERMITS FOR MRGCD TRACTS §9.4.3., MIDDLE RIO GRANDE CONSERVATION DISTRICT TRACTS, TO THE 2013 CODIFIED ORDINANCES OF THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.

**Planner McDonough** said we currently have an ordinance addressing MRGCD tracts as a result of issues with small MRGCD tracts being considered buildable lots. The Village currently has an ordinance that defines the tracts as non-buildable lots and in order to get a building permit, certain criteria must be met. The ordinance provides some consideration for MRGCD tracts that had existing residential properties on the tracts. Building permits for the residential properties can be obtained through the variance process, but generally tracts do not have to go through the re-plat process. This same consideration was not given to commercial properties that have existing commercial buildings on the MRGCD tracts, and in order to change existing commercial buildings companies must go through the re-plat process. A few years ago state law changed and in order to re-plat the applicant must pay the current tax bill and the estimate of the next year's tax bill, which can be very expensive. The change to this ordinance gives commercial properties the same consideration given to residential properties, but if the business is to expand over twenty percent (20%) a new site development plan must be approved. There are some concerns because lot sizes for residential properties are clearly defined, whereas commercial property lot sizes are not.

**Attorney Chappell** said the problem is that the size requirements for residential properties are clearly defined, however, for commercial properties using the size of the tract as the criteria is an issue since size requirements are different for each commercial zone. We need to continue to work on creating criteria that would be applicable to the various commercial zones.

**Trustee Homan** asked how this ordinance is affecting applicants and can we act expeditiously through an administrative decision.

**Attorney Chappell** said since this stipulation is in the ordinance, a decision cannot be made administratively. The advertisement of the ordinance can proceed subject to corrections to the technical issues.

**MOTION:** **Trustee Homan** moved approval of the advertisement of the ordinance in summary subject to corrections to technical issues. **Trustee Lopez** seconded the motion.

**VOTE:** The motion carried unanimously, 4-0.

**10. TRUSTEES INFORMAL DISCUSSION**

Members of the Board discussed various informal topics. No action was taken.

**11. ADJOURNMENT**

The meeting was adjourned at 9: 47 P.M.

**APPROVED** by the Board of Trustees of the Village of Los Ranchos de Albuquerque this 10<sup>th</sup> day of February, 2016.

ATTEST:

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Stephanie Dominguez, Clerk

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DRAFT

## 5. REPORTS

### C. PLANNER'S REPORT

## CHALLENGER LEARNING CENTER



**550 S. MAIN ST., LAS CRUCES**

**The Challenger Program is fully integrated into the 6<sup>th</sup> grade Science curriculum, all Las Cruces 6<sup>th</sup> Graders will have a minimum of 2 Missions at the Center. Its estimated that nearly 2,000 individuals will participate in the Challenger Learning Center this year with more coming in future years (the Catholic Schools have requested to participate).**





## 6. **FINANCIAL BUSINESS**

### A. CASH REPORT – JANUARY 2016.

**Village of Los Ranchos de Albuquerque**  
**Cash Report Summary**

Cash Report for the month of January 31, 2016.

Ending cash balance at January 31, 2016 is \$9,594,835.79, which is an increase of \$112,744.38 from the prior month.

YTD excess of revenues over expenditures is \$259,395.75.

Unusual or significant items:

General Obligation Bonds – Property Taxes – page 29 of 33.

Received \$82,371.68 property tax distribution from Bernalillo County Treasurer.

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD	Cash Basis	Current PTD	2015/2016	2015/2016	Cash Basis	YTD Budget		
	Budget	PTD Actual	Variance	Original Budget	Revised Budget	YTD Actual	Variance		
<b>101 - General Fund</b>									
<b>0099 - General Fund Revenue</b>									
Revenues									
Franchise taxes	31100	38,263.78	39,655.99	1,392	316,881.75	313,092.39	201,613.63	(111,479)	64.39%
Munic gross receipts taxes	31250	72,948.60	77,155.12	4,207	1,032,338.77	1,064,523.68	625,974.91	(438,549)	58.80%
Cigarette Tax-1 cent	32200	0.00	0.00	0	150.00	150.00	0.00	(150)	0.00%
Cigarette Tax-2 cents	32220	0.00	0.00	0	150.00	150.00	0.00	(150)	0.00%
State share gross receipts taxes	32410	92,401.57	96,516.13	4,115	1,304,296.67	1,345,583.45	788,846.74	(556,737)	58.62%
Animal permit fees	33100	75.00	180.00	105	900.00	1,085.00	815.00	(270)	75.12%
Building permit fees	33300	3,100.00	2,957.43	(143)	39,600.00	39,873.16	24,230.59	(15,643)	60.77%
Excavation/barricade permits	33350	325.00	168.05	(157)	6,600.00	3,824.05	2,042.10	(1,782)	53.40%
Business registration fees	33400	2,310.00	2,310.00	0	12,320.00	12,320.00	11,410.00	(910)	92.61%
Parcel permit fees	33450	455.00	175.00	(280)	5,880.00	5,320.00	2,765.00	(2,555)	51.97%
Liquor license fees	33500	0.00	0.00	0	3,250.00	3,250.00	250.00	(3,000)	7.69%
Home occupation fees	33910	1,800.00	850.00	(950)	7,800.00	7,800.00	6,400.00	(1,400)	82.05%
Application fees	34010	0.00	255.50	256	900.00	404.75	440.25	36	108.77%
Los Ranchos merchandise	34880	0.00	0.00	0	140.00	100.00	50.00	(50)	50.00%
LR Newsletter advertising revenue	34990	2,350.00	2,397.88	48	30,750.00	23,004.50	13,852.38	(9,152)	60.22%
Miscellaneous revenue	34991	25.00	0.00	(25)	300.00	8,731.88	8,581.88	(150)	98.28%
Judicial education fee	35008	3.00	0.00	(3)	12.00	21.00	3.00	(18)	14.29%
Court automation fee	35015	6.00	0.00	(6)	24.00	42.00	6.00	(36)	14.29%
Municipal court fines	35020	50.00	0.00	(50)	200.00	1,525.00	1,225.00	(300)	80.33%
Insurance recoveries	36020	0.00	0.00	0	0.00	3,271.00	3,271.00	0	100.00%
Investment income	36030	1,000.00	2,321.98	1,322	7,200.00	13,164.03	9,486.01	(3,678)	72.06%
Land rent	36075	11,638.92	8,427.84	(3,211)	101,413.14	99,724.87	54,819.19	(44,906)	54.97%
Sale of recycling materials	36090	0.00	0.00	0	0.00	32.10	32.10	0	100.00%
Small cities assistance grant	37180	0.00	0.00	0	200,000.00	200,000.00	0.00	(200,000)	0.00%
		<b>226,751.87</b>	<b>233,370.92</b>	<b>6,619</b>	<b>3,071,106.33</b>	<b>3,146,992.86</b>	<b>1,756,114.78</b>	<b>(1,390,878)</b>	<b>55.80%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**

From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>0100 - Executive Legislative</b>									
Department Expenditures									
Wages-Elected Official	41010	923.08	923.08	0	14,600.04	14,550.04	8,273.10	6,277	56.86%
Wages-Full Time	41020	8,000.00	8,000.00	0	104,000.00	104,000.00	60,000.00	44,000	57.69%
FICA Regular	42010	510.71	510.72	(0)	6,800.56	6,797.43	3,914.08	2,883	57.58%
FICA Medicare	42020	119.44	119.44	0	1,590.42	1,589.70	915.38	674	57.58%
Retirement Contributions	42030	1,554.50	1,554.50	0	20,208.50	20,208.50	11,658.75	8,550	57.69%
Health Care	42050	1,569.28	1,569.28	0	18,831.59	18,831.36	12,554.24	6,277	66.67%
Mileage Reimbursement	43010	0.00	0.00	0	1,287.50	1,276.86	276.86	1,000	21.68%
Employee Training	47040	475.00	0.00	475	2,165.00	2,840.00	2,125.00	715	74.82%
Subscriptions & Memberships	47140	0.00	0.00	0	9,719.00	9,864.00	9,864.00	0	100.00%
<b>Total Department Expenditures</b>		<b>13,152.01</b>	<b>12,677.02</b>	<b>475</b>	<b>179,202.61</b>	<b>179,957.89</b>	<b>109,581.41</b>	<b>70,376</b>	<b>60.89%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>0200 - Judicial</b>									
Department Expenditures									
Wages-Elected Official	41010	0.00	0.00	0	350.00	750.00	450.00	300	60.00%
Wages-Part Time	41030	600.00	0.00	600	7,800.00	7,200.00	0.00	7,200	0.00%
FICA Regular	42010	37.20	0.00	37	505.30	492.90	27.90	465	5.66%
FICA Medicare	42020	8.70	0.00	9	118.19	115.29	6.53	109	5.66%
Mileage Reimbursement	43010	0.00	0.00	0	115.00	57.50	0.00	58	0.00%
Judicial Education Fee	45895	3.00	3.00	0	12.00	21.00	6.00	15	28.57%
Court Automation Fee	45900	6.00	6.00	0	24.00	42.00	12.00	30	28.57%
Employee Training	47040	95.00	0.00	95	685.00	345.00	0.00	345	0.00%
Subscriptions & Memberships	47140	0.00	0.00	0	150.00	150.00	150.00	0	100.00%
<b>Total Department Expenditures</b>		<b>749.90</b>	<b>9.00</b>	<b>741</b>	<b>9,759.49</b>	<b>9,173.69</b>	<b>652.43</b>	<b>8,521</b>	<b>7.11%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>1011 - Elections</b>									
Department Expenditures									
Professional Services - Election Judges	45120	0.00	0.00	0	800.00	800.00	0.00	800	0.00%
Supplies	46010	0.00	0.00	0	2,700.00	2,700.00	0.00	2,700	0.00%
<b>Total Department Expenditures</b>		<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>3,500.00</b>	<b>3,500.00</b>	<b>0.00</b>	<b>3,500</b>	<b>0.00%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date					
	Current PTD	Cash Basis	Current PTD	2015/2016	2015/2016	Cash Basis	YTD Budget	% of	
	Budget	PTD Actual	Variance	Original Budget	Revised Budget	YTD Actual	Variance	Total Budget	
<b>101 - General Fund</b>									
<b>1200 - Financial Administration</b>									
Department Expenditures									
Wages-Full Time	41020	4,880.00	4,880.00	0	61,360.00	63,360.08	36,520.08	26,840	57.64%
Wages-Part Time	41030	369.24	369.24	0	4,800.12	4,800.12	2,769.30	2,031	57.69%
FICA Regular	42010	301.71	301.70	0	3,793.26	3,917.20	2,257.83	1,659	57.64%
FICA Medicare	42020	70.56	70.56	0	887.12	916.13	528.05	388	57.64%
Retirement Contributions	42030	855.84	855.84	0	10,761.02	11,111.84	6,404.77	4,707	57.64%
Health Care	42050	641.75	641.75	0	7,701.23	7,701.00	5,134.00	2,567	66.67%
Audit Fees	45010	3,997.91	0.00	3,998	12,947.00	12,947.00	8,949.09	3,998	69.12%
Prof. Service - Computer Support	45150	1,132.56	1,089.00	44	1,132.56	1,132.56	1,089.00	44	96.15%
Contract Svc-Bank Charges	45901	650.00	691.55	(42)	7,800.00	7,601.88	4,393.43	3,208	57.79%
Supplies	46010	696.47	0.00	696	696.47	780.46	83.99	696	10.76%
Subscriptions & Memberships	47140	0.00	0.00	0	50.00	50.00	50.00	0	100.00%
<b>Total Department Expenditures</b>		<b>13,596.04</b>	<b>8,899.64</b>	<b>4,696</b>	<b>111,928.78</b>	<b>114,318.27</b>	<b>68,179.54</b>	<b>46,139</b>	<b>59.64%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>1700 - Planning and Zoning</b>									
Department Expenditures									
Wages-Full Time	41020	12,480.00	12,480.00	0	153,869.04	161,978.04	93,338.04	68,640	57.62%
Overtime Wages	41050	0.00	0.00	0	0.00	72.00	72.00	0	100.00%
FICA Regular	42010	733.58	733.59	(0)	9,017.58	9,524.78	5,490.09	4,035	57.64%
FICA Medicare	42020	171.56	171.56	0	2,108.98	2,227.52	1,283.93	944	57.64%
Retirement Contributions	42030	2,188.68	2,188.68	0	26,984.76	28,406.89	16,369.15	12,038	57.62%
Health Care	42050	1,473.49	1,473.49	0	17,682.36	17,681.88	11,787.92	5,894	66.67%
Prof. Service - Engineers	45030	0.00	0.00	0	1,500.00	1,281.25	531.25	750	41.46%
Storm Water Team Participation	45040	0.00	0.00	0	5,000.00	5,000.00	5,000.00	0	100.00%
Const Regulation Services	45045	0.00	0.00	0	17,500.00	17,500.00	17,500.00	0	100.00%
Fire Inspection Services	45050	60.00	0.00	60	720.00	570.00	210.00	360	36.84%
Printing, Publishing, & Advert.	47080	50.00	48.49	2	720.00	548.92	297.41	252	54.18%
Subscriptions & Memberships	47140	0.00	35.00	(35)	85.00	85.00	85.00	0	100.00%
<b>Total Department Expenditures</b>		<b>17,157.31</b>	<b>17,130.81</b>	<b>27</b>	<b>235,187.72</b>	<b>244,876.28</b>	<b>151,964.79</b>	<b>92,911</b>	<b>62.06%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>1840 - General Administration</b>									
Department Expenditures									
Wages-Full Time	41020	6,320.00	6,320.00	0	74,880.00	77,088.63	42,328.63	34,760	54.91%
FICA Regular	42010	374.54	374.52	0	4,421.18	4,615.97	2,555.98	2,060	55.37%
FICA Medicare	42020	87.60	87.60	0	1,034.02	1,079.56	597.81	482	55.38%
Retirement Contributions	42030	1,108.38	1,108.32	0	13,132.08	13,519.17	7,423.07	6,096	54.91%
Health Care	42050	641.75	825.08	(183)	4,901.63	9,316.09	6,932.42	2,384	74.41%
Unemployment compensation	42070	0.00	0.00	0	0.00	736.00	736.00	0	100.00%
Worker's Comp. Assessment	42080	0.00	0.00	0	165.60	161.00	73.60	87	45.71%
Mileage Reimbursement	43010	600.00	596.91	3	1,315.00	2,041.16	1,380.57	661	67.64%
Per Diem (Meals, Lodging, etc)	43020	775.00	995.45	(220)	1,995.00	2,966.29	2,506.74	460	84.51%
Maint-Building & Structure	44010	0.00	0.00	0	1,500.00	3,924.28	2,924.28	1,000	74.52%
Maint-Vehicle/furn/fixt/equip	44040	0.00	0.00	0	700.00	350.00	0.00	350	0.00%
Attorney Fees and Settlements	45020	7,800.00	7,313.36	487	105,000.00	91,392.45	51,905.81	39,487	56.79%
Prof. Service - Computer Support	45150	1,388.71	0.00	1,389	14,590.08	17,683.04	9,350.78	8,332	52.88%
Prof. Service - Appraisals	45155	0.00	4,257.81	(4,258)	0.00	375.15	4,632.96	(4,258)	1234.96%
Community Events - Lavender	45909	0.00	0.00	0	45,000.00	45,000.00	10,000.00	35,000	22.22%
Contract Svc-Physicals	45910	0.00	0.00	0	500.00	708.86	408.86	300	57.68%
Supplies	46010	900.00	675.21	225	14,400.00	10,284.70	5,559.91	4,725	54.06%
Los Ranchos merchandise	46015	0.00	0.00	0	1,000.00	1,000.00	0.00	1,000	0.00%
Miscellaneous	46090	100.00	0.00	100	1,200.00	1,658.70	1,058.70	600	63.83%
Employee Training	47040	95.00	50.00	45	4,385.00	4,190.00	2,145.00	2,045	51.19%
Insurance-Non employee	47060	0.00	0.00	0	41,858.24	42,633.89	41,133.89	1,500	96.48%
Postage & Mail Service	47070	250.00	70.00	180	11,400.00	12,329.90	5,299.90	7,030	42.98%
Printing,Publishing,& Advert.	47080	50.00	384.16	(334)	3,000.00	4,710.81	3,644.97	1,066	77.37%
Printing, Pub/Advert-LR News	47081	5,893.83	6,373.37	(480)	41,248.90	44,727.22	27,525.27	17,202	61.54%
Rent of Equipment & Machinery	47120	706.30	644.78	62	8,382.60	8,621.36	5,028.34	3,593	58.32%
Subscriptions & Memberships	47140	0.00	192.00	(192)	1,179.00	1,256.32	1,308.32	(52)	104.14%
Telephone	47150	1,139.91	1,076.86	63	15,302.52	13,950.58	8,187.98	5,763	58.69%
Utilities	47160	1,561.56	1,478.10	83	28,575.45	28,585.19	17,030.32	11,555	59.58%
Workers' Compensation Insurance	47210	0.00	0.00	0	9,225.00	11,653.00	11,653.00	0	100.00%
<b>Total Department Expenditures</b>		<b>29,792.58</b>	<b>32,823.53</b>	<b>(3,031)</b>	<b>450,291.30</b>	<b>456,559.32</b>	<b>273,333.11</b>	<b>183,226</b>	<b>59.87%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
 From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date					
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
<b>101 - General Fund</b>									
<b>1920 - Police</b>									
Department Expenditures									
Maint-Vehicle/furn/fixt/equip	44040	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Contract services - BCSO	45902	24,575.01	0.00	24,575	0.00	65,533.36	0.00	65,533	0.00%
Subscriptions & Memberships	47140	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
<b>Total Department Expenditures</b>		<b>24,575.01</b>	<b>0.00</b>	<b>24,575</b>	<b>0.00</b>	<b>65,533.36</b>	<b>0.00</b>	<b>65,533</b>	<b>0.00%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>1960 - Animal Control/Parks/Streets</b>									
Department Expenditures									
Wages-Full Time	41020	7,600.00	7,600.00	0	95,264.00	103,695.86	61,895.86	41,800	59.69%
Wages-Temporary	41040	0.00	0.00	0	14,720.00	6,440.00	0.00	6,440	0.00%
Overtime Wages	41050	0.00	123.75	(124)	0.00	0.00	123.75	(124)	0.00%
FICA Regular	42010	458.49	466.17	(8)	6,764.48	6,693.03	3,779.73	2,913	56.47%
FICA Medicare	42020	107.22	109.02	(2)	1,582.06	1,565.29	883.95	681	56.47%
Retirement Contributions	42030	1,332.86	1,332.86	0	16,706.94	18,117.67	10,786.99	7,331	59.54%
Health Care	42050	315.51	315.51	0	0.00	2,839.58	1,577.54	1,262	55.56%
Transportation Exp. (Gas, Oil, etc.)	43030	600.00	229.69	370	9,000.00	8,462.95	4,192.64	4,270	49.54%
Maint-Building & Structure	44010	0.00	318.51	(319)	2,000.00	1,801.40	1,119.91	681	62.17%
Maintenance - Grounds/Roadways	44030	6,000.00	13,865.50	(7,866)	42,000.00	95,058.18	72,923.68	22,135	76.71%
Maint-Vehicle/furn/fixt/equip	44040	1,700.00	1,577.23	123	14,400.00	21,258.24	12,635.47	8,623	59.44%
Prof. Service - Animal Control	45140	700.00	91.98	608	6,000.00	9,217.43	5,109.41	4,108	55.43%
Supplies	46010	1,700.00	1,263.37	437	23,700.00	20,835.89	11,899.26	8,937	57.11%
Safety Equipment	47050	0.00	0.00	0	400.00	200.00	0.00	200	0.00%
Rent of Equipment & Machinery	47120	0.00	0.00	0	2,400.00	1,627.26	427.26	1,200	26.26%
Utilities	47160	8,917.05	2,138.96	6,778	39,008.91	39,968.15	19,238.89	20,729	48.14%
<b>Total Department Expenditures</b>		<b>29,431.13</b>	<b>29,432.55</b>	<b>(1)</b>	<b>273,946.39</b>	<b>337,780.93</b>	<b>206,594.34</b>	<b>131,187</b>	<b>61.16%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
 From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>101 - General Fund</b>									
<b>2000 - Fire</b>									
Department Expenditures									
IGA for Fire Protection & EMS Services	45928	113,300.00	113,300.00	0	453,200.00	453,200.00	339,900.00	113,300	75.00%
Total Department Expenditures		<b>113,300.00</b>	<b>113,300.00</b>	<b>0</b>	<b>453,200.00</b>	<b>453,200.00</b>	<b>339,900.00</b>	<b>113,300</b>	<b>75.00%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>101 - General Fund</b>								
<b>Summary of General Fund Revenues and Expenses</b>								
Beginning cash and cash equivalents	<b>6,973,447.91</b>	<b>6,973,447.91</b>	<b>0</b>	<b>6,388,137.12</b>	<b>6,388,137.12</b>	<b>6,388,137.12</b>	<b>0</b>	
Revenues								
General Fund Revenues	<b>226,751.87</b>	<b>233,370.92</b>	<b>6,619</b>	<b>3,071,106.33</b>	<b>3,146,992.86</b>	<b>1,756,114.78</b>	<b>(1,390,878)</b>	<b>55.80%</b>
Expenditures								
Executive Legislative	13,152.01	12,677.02	475	179,202.61	179,957.89	109,581.41	70,376	60.89%
Judicial	749.90	9.00	741	9,759.49	9,173.69	652.43	8,521	7.11%
Elections	0.00	0.00	0	3,500.00	3,500.00	0.00	3,500	0.00%
Financial Administration	13,596.04	8,899.64	4,696	111,928.78	114,318.27	68,179.54	46,139	59.64%
Planning and Zoning	17,157.31	17,130.81	27	235,187.72	244,876.28	151,964.79	92,911	62.06%
General Administration	29,792.58	32,823.53	(3,031)	450,291.30	456,559.32	273,333.11	183,226	59.87%
Police	24,575.01	0.00	24,575	0.00	65,533.36	0.00	65,533	0.00%
Animal Control/Parks/Streets	29,431.13	29,432.55	(1)	273,946.39	337,780.93	206,594.34	131,187	61.16%
Fire	113,300.00	113,300.00	0	453,200.00	453,200.00	339,900.00	113,300	75.00%
Total Fund Expenditures	<b>241,753.98</b>	<b>214,272.55</b>	<b>27,481</b>	<b>1,717,016.29</b>	<b>1,864,899.74</b>	<b>1,150,205.62</b>	<b>714,694</b>	<b>61.68%</b>
Excess/(deficiency) of revenues over expenditures	<b>(15,002.11)</b>	<b>19,098.37</b>	<b>34,100</b>	<b>1,354,090.04</b>	<b>1,282,093.12</b>	<b>605,909.16</b>	<b>(676,184)</b>	<b>47.26%</b>
Capital Expenditures								
Capital Buildings & Structures 48010	0.00	0.00	0	150,000.00	150,000.00	0.00	150,000	0.00%
Capital Equipment & Machinery 48020	0.00	0.00	0	15,000.00	15,000.00	0.00	15,000	0.00%
Capital Roadways, Bridges, & Culverts 48080	0.00	0.00	0	700,000.00	700,000.00	0.00	700,000	0.00%
Capital - Other 48900	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Total Capital Expenditures	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>865,000.00</b>	<b>865,000.00</b>	<b>0.00</b>	<b>865,000</b>	<b>0.00%</b>
Other financing sources (uses)								
Agricultural Committee Special Fund 52001	0.00	0.00	0	(1,500.00)	(1,500.00)	(1,500.00)	0	100.00%
Purchase Real Property Reserve Fund 52001	0.00	0.00	0	(300,000.00)	(300,000.00)	0.00	300,000	0.00%
General Obligation Bonds Reserve 52001	0.00	0.00	0	(100,000.00)	(100,000.00)	0.00	100,000	0.00%
General Long Term Debt 52001	0.00	0.00	0	(107,026.20)	(107,026.20)	0.00	107,026	0.00%
Law Enforcement Protection Fund 52001	0.00	0.00	0	(42,000.00)	(42,000.00)	0.00	42,000	0.00%
Total other financing sources (uses)	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>(550,526.20)</b>	<b>(550,526.20)</b>	<b>(1,500.00)</b>	<b>549,026</b>	<b>0.27%</b>
Excess/(deficiency) after capital expenditures & other financing sources	<b>(15,002.11)</b>	<b>19,098.37</b>	<b>34,100</b>	<b>(61,436.16)</b>	<b>(133,433.08)</b>	<b>604,409.16</b>	<b>737,842</b>	<b>-452.97%</b>
Ending cash and cash equivalents	<b>6,958,445.80</b>	<b>6,992,546.28</b>	<b>34,100</b>	<b>6,326,700.96</b>	<b>6,254,704.04</b>	<b>6,992,546.28</b>	<b>737,842</b>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>201 - Correction</b>								
<b>0200 - Judicial</b>								
Beginning cash and cash equivalents	100.00	100.00	0	80.00	80.00	80.00	0	
Revenues								
Corrections fee	20.00	0.00	(20)	80.00	140.00	20.00	(120)	14.29%
	<b>20.00</b>	<b>0.00</b>	<b>(20)</b>	<b>80.00</b>	<b>140.00</b>	<b>20.00</b>	<b>(120)</b>	<b>14.29%</b>
Expenditures								
Correction costs	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Total Fund Expenditures	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>
Excess/(deficiency) of revenues over expenditures	<b>20.00</b>	<b>0.00</b>	<b>(20)</b>	<b>80.00</b>	<b>140.00</b>	<b>20.00</b>	<b>(120)</b>	<b>14.29%</b>
Ending cash and cash equivalents	<b>120.00</b>	<b>100.00</b>	<b>(20)</b>	<b>160.00</b>	<b>220.00</b>	<b>100.00</b>	<b>(120)</b>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>206 - Emergency Medical Service Fund</b>									
<b>9206 - Emergency Medical Service Fund</b>									
Beginning cash and cash equivalents	0.00	0.00	0	0.00	0.00	0.00	0		
Revenues									
State Grant - EMS	37090	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
		0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Expenditures									
IGA for Fire Protection & EMS Services	45928	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Total Fund Expenditures		0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures		0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Ending cash and cash equivalents		0.00	0.00	0	0.00	0.00	0.00	0	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>209 - Fire Protection Fund</b>								
<b>9209 - Fire Protection Fund</b>								
Beginning cash and cash equivalents	0.00	0.00	0	0.00	0.00	0.00	0	
Revenues								
State Grant - Fire Protection Distribution 37120	0.00	0.00	0	112,834.00	106,399.00	106,399.00	0	100.00%
	0.00	0.00	0	112,834.00	106,399.00	106,399.00	0	100.00%
Expenditures								
IGA for Fire Protection & EMS Services 45928	0.00	0.00	0	112,834.00	106,399.00	106,399.00	0	100.00%
Total Fund Expenditures	0.00	0.00	0	112,834.00	106,399.00	106,399.00	0	100.00%
Excess/(deficiency) of revenues over expenditures	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Ending cash and cash equivalents	0.00	0.00	0	0.00	0.00	0.00	0	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTB Budget	Cash Basis PTB Actual	Current PTB Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>211 - Law Enforcement Protection Fund</b>								
<b>9211 - Law Enforcement Protection Fund</b>								
Beginning cash and cash equivalents	20,000.00	20,000.00	0	40,600.00	40,600.00	40,600.00	0	
<b>Revenues</b>								
Law Enforcement grant	35010	0.00	0.00	0	0.00	0.00	0.00	0 0.00%
		0.00	0.00	0	0.00	0.00	0.00	0 0.00%
<b>Expenditures</b>								
Maint-Vehicle/furn/fixt/equip	44040	0.00	0.00	0	5,000.00	5,000.00	0.00	5,000 0.00%
MOU for Public Safety Services	45929	0.00	0.00	0	52,000.00	52,000.00	0.00	52,000 0.00%
Training	47040	0.00	0.00	0	5,000.00	5,000.00	0.00	5,000 0.00%
Total Fund Expenditures		0.00	0.00	0	62,000.00	62,000.00	0.00	62,000 0.00%
Excess/(deficiency) of revenues over expenditures		0.00	0.00	0	(62,000.00)	(62,000.00)	0.00	62,000 0.00%
<b>Other financing sources (uses)</b>								
Operating transfers in	51001	0.00	0.00	0	42,000.00	42,000.00	0.00	(42,000) 0.00%
Reversion	52010	0.00	0.00	0	(20,600.00)	(20,600.00)	(20,600.00)	0 100.00%
Total other financing sources (uses)		0.00	0.00	0	21,400.00	21,400.00	(20,600.00)	(42,000) -96.26%
Excess (deficiency) after other financing sources (uses)		0.00	0.00	0	(40,600.00)	(40,600.00)	(20,600.00)	20,000 50.74%
Ending cash and cash equivalents		20,000.00	20,000.00	0	0.00	0.00	20,000.00	20,000

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>216 - Municipal Street Fund</b>									
<b>9216 - Municipal Street Fund</b>									
Beginning cash and cash equivalents	<u>522,523.47</u>	<u>522,523.47</u>	<u>0</u>	<u>422,433.47</u>	<u>422,433.47</u>	<u>422,433.47</u>	<u>0</u>		
Revenues									
Gross Receipts (Infra)	31240	8,972.19	9,489.10	517	126,973.87	130,932.02	76,996.43	(53,936)	58.81%
Gasoline Tax-Street	32310	3,250.00	3,279.09	29	36,000.00	39,825.88	23,604.97	(16,221)	59.27%
Motor Vehicle Registration	32610	1,900.00	1,921.70	22	22,800.00	23,656.79	14,178.49	(9,478)	59.93%
Total Fund Revenue		<u>14,122.19</u>	<u>14,689.89</u>	<u>568</u>	<u>185,773.87</u>	<u>194,414.69</u>	<u>114,779.89</u>	<u>(79,635)</u>	<u>59.04%</u>
Expenditures									
Road Improvements	48080	0.00	0.00	0	375,000.00	375,000.00	0.00	375,000	0.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>375,000.00</u>	<u>375,000.00</u>	<u>0.00</u>	<u>375,000</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>14,122.19</u>	<u>14,689.89</u>	<u>568</u>	<u>(189,226.13)</u>	<u>(180,585.31)</u>	<u>114,779.89</u>	<u>295,365</u>	<u>63.56%</u>
Ending cash and cash equivalents		<u>536,645.66</u>	<u>537,213.36</u>	<u>568</u>	<u>233,207.34</u>	<u>241,848.16</u>	<u>537,213.36</u>	<u>295,365</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>299 - Special - Other Funds</b>									
<b>3000 - Fine Arts</b>									
Beginning cash and cash equivalents	<u>5,887.29</u>	<u>5,887.29</u>	<u>0</u>	<u>7,602.29</u>	<u>7,602.29</u>	<u>7,602.29</u>	<u>0</u>		
Revenues									
Arts & Crafts Market Revenue	34997	0.00	0.00	0	1,745.00	1,745.00	140.00	(1,605)	8.02%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>1,745.00</u>	<u>1,745.00</u>	<u>140.00</u>	<u>(1,605)</u>	<u>8.02%</u>
Department Expenditures									
Supplies	46010	0.00	0.00	0	100.00	50.00	0.00	50	0.00%
Miscellaneous Expense	46090	0.00	0.00	0	760.00	615.00	240.00	375	39.02%
Postage & Mail Service	47070	0.00	0.00	0	20.00	10.00	0.00	10	0.00%
Printing, Publishing & Advert.	47080	0.00	24.98	(25)	100.00	225.00	139.98	85	62.21%
Subscriptions & Memberships	47140	0.00	0.00	0	25.00	25.00	0.00	25	0.00%
Total Department Expenditures		<u>0.00</u>	<u>24.98</u>	<u>(25)</u>	<u>1,005.00</u>	<u>925.00</u>	<u>379.98</u>	<u>545</u>	<u>41.08%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>(24.98)</u>	<u>(25)</u>	<u>740.00</u>	<u>820.00</u>	<u>(239.98)</u>	<u>(1,060)</u>	<u>-29.27%</u>
Other financing sources (uses)									
Operating transfers out	52001	0.00	0.00	0	(1,500.00)	(1,500.00)	(1,500.00)	0	100.00%
Total other financing sources (uses)		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>(1,500.00)</u>	<u>(1,500.00)</u>	<u>(1,500.00)</u>	<u>0</u>	<u>100.00%</u>
Excess (deficiency) after other financing sources (uses)		<u>0.00</u>	<u>(24.98)</u>	<u>(25)</u>	<u>(760.00)</u>	<u>(680.00)</u>	<u>(1,739.98)</u>	<u>(1,060)</u>	<u>255.88%</u>
Ending cash and cash equivalents		<u>5,887.29</u>	<u>5,862.31</u>	<u>(25)</u>	<u>6,842.29</u>	<u>6,922.29</u>	<u>5,862.31</u>	<u>(1,060)</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>299 - Special - Other Funds</b>									
<b>3001 - Agricultural Committee</b>									
Beginning cash and cash equivalents	<u>710.50</u>	<u>710.50</u>	<u>0</u>	<u>2,143.79</u>	<u>2,143.79</u>	<u>2,143.79</u>	<u>0</u>		
Revenues									
Farmers' Market Revenue	34995	0.00	0.00	0	4,074.00	4,074.00	212.82	(3,861)	5.22%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>4,074.00</u>	<u>4,074.00</u>	<u>212.82</u>	<u>(3,861)</u>	<u>5.22%</u>
Department Expenditures									
Supplies	46010	70.00	0.00	70	845.00	826.00	406.00	420	49.15%
Miscellaneous	46090	0.00	0.00	0	500.00	500.00	0.00	500	0.00%
Insurance-Non Employee	47060	0.00	0.00	0	375.00	375.00	0.00	375	0.00%
Printing,Publishing & Advert.	47080	419.10	365.51	54	7,300.00	6,330.46	4,181.37	2,149	66.05%
Rent of Equipment & Machinery	47120	0.00	0.00	0	0.00	424.25	424.25	0	100.00%
Subscriptions & Memberships	47140	0.00	0.00	0	100.00	100.00	0.00	100	0.00%
Total Department Expenditures		<u>489.10</u>	<u>365.51</u>	<u>124</u>	<u>9,120.00</u>	<u>8,555.71</u>	<u>5,011.62</u>	<u>3,544</u>	<u>58.58%</u>
Excess/(deficiency) of revenues over expenditures		<u>(489.10)</u>	<u>(365.51)</u>	<u>124</u>	<u>(5,046.00)</u>	<u>(4,481.71)</u>	<u>(4,798.80)</u>	<u>(317)</u>	<u>107.08%</u>
Other financing sources (uses)									
Operating transfers in	51001	0.00	0.00	0	3,000.00	3,000.00	3,000.00	0	100.00%
Total other financing sources (uses)		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>3,000.00</u>	<u>3,000.00</u>	<u>3,000.00</u>	<u>0</u>	<u>100.00%</u>
Excess (deficiency) after other financing sources (uses)		<u>(489.10)</u>	<u>(365.51)</u>	<u>124</u>	<u>(2,046.00)</u>	<u>(1,481.71)</u>	<u>(1,798.80)</u>	<u>(317)</u>	<u>121.40%</u>
Ending cash and cash equivalents		<u>221.40</u>	<u>344.99</u>	<u>124</u>	<u>97.79</u>	<u>662.08</u>	<u>344.99</u>	<u>(317)</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>299 - Special - Other Funds</b>									
<b>3002 - Scenic Byways &amp; MainStreet</b>									
Beginning cash and cash equivalents	<u>459.64</u>	<u>459.64</u>	<u>0</u>	<u>459.64</u>	<u>459.64</u>	<u>459.64</u>	<u>0</u>		
Revenues									
Grants	37234	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Department Expenditures									
Supplies	46010	0.00	0.00	0	459.64	459.64	0.00	460	0.00%
Total Department Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>459.64</u>	<u>459.64</u>	<u>0.00</u>	<u>460</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>(459.64)</u>	<u>(459.64)</u>	<u>0.00</u>	<u>460</u>	<u>0.00%</u>
Ending cash and cash equivalents		<u>459.64</u>	<u>459.64</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>459.64</u>	<u>460</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>299 - Special - Other Funds</b>								
<b>3003 - Agri-Nature Center</b>								
Beginning cash and cash equivalents	<u>15,000.00</u>	<u>15,000.00</u>	<u>0</u>	<u>15,000.00</u>	<u>15,000.00</u>	<u>15,000.00</u>	<u>0</u>	
Revenues								
Contributions - Other	36019 0.00	0.00	0	0.00	0.00	0.00	0	0.00%
	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Department Expenditures								
Improvements	48900 0.00	0.00	0	15,000.00	15,000.00	0.00	15,000	0.00%
Total Department Expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>15,000.00</u>	<u>15,000.00</u>	<u>0.00</u>	<u>15,000</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>(15,000.00)</u>	<u>(15,000.00)</u>	<u>0.00</u>	<u>15,000</u>	<u>0.00%</u>
Ending cash and cash equivalents	<u>15,000.00</u>	<u>15,000.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>15,000.00</u>	<u>15,000</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>299 - Special - Other Funds</b>								
<b>Summary of Special - Other Funds Revenues and Expenses</b>								
Beginning cash and cash equivalents	<b>22,057.43</b>	<b>22,057.43</b>	<b>0</b>	<b>25,205.72</b>	<b>25,205.72</b>	<b>25,205.72</b>	<b>0</b>	
Revenues								
Fine Arts	0.00	0.00	0	1,745.00	1,745.00	140.00	(1,605)	8.02%
Agricultural Committee	0.00	0.00	0	4,074.00	4,074.00	212.82	(3,861)	5.22%
Scenic Byways	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Agri-Nature Center	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Total Fund Revenues	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>5,819.00</b>	<b>5,819.00</b>	<b>352.82</b>	<b>(5,466)</b>	<b>6.06%</b>
Expenditures								
Fine Arts	0.00	24.98	(25)	1,005.00	925.00	379.98	545	41.08%
Agricultural Committee	489.10	365.51	124	9,120.00	8,555.71	5,011.62	3,544	58.58%
Scenic Byways	0.00	0.00	0	459.64	459.64	0.00	460	0.00%
Agri-Nature Center	0.00	0.00	0	15,000.00	15,000.00	0.00	15,000	0.00%
Total Fund Expenditures	<b>489.10</b>	<b>390.49</b>	<b>99</b>	<b>25,584.64</b>	<b>24,940.35</b>	<b>5,391.60</b>	<b>19,549</b>	<b>21.62%</b>
Excess/(deficiency) of revenues over expenditures	<b>(489.10)</b>	<b>(390.49)</b>	<b>99</b>	<b>(19,765.64)</b>	<b>(19,121.35)</b>	<b>(5,038.78)</b>	<b>14,083</b>	<b>0.00%</b>
Other financing sources (uses)								
Operating transfers in	0.00	0.00	0	3,000.00	3,000.00	3,000.00	0	100.00%
Operating transfers out	0.00	0.00	0	(1,500.00)	(1,500.00)	(1,500.00)	0	100.00%
Total other financing sources (uses)	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>1,500.00</b>	<b>1,500.00</b>	<b>1,500.00</b>	<b>0</b>	<b>100.00%</b>
Excess/(deficiency) after other financing sources (uses)	<b>(489.10)</b>	<b>(390.49)</b>	<b>99</b>	<b>(18,265.64)</b>	<b>(17,621.35)</b>	<b>(3,538.78)</b>	<b>14,083</b>	<b>0.00%</b>
Ending cash and cash equivalents	<b>21,568.33</b>	<b>21,666.94</b>	<b>99</b>	<b>6,940.08</b>	<b>7,584.37</b>	<b>21,666.94</b>	<b>14,083</b>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>311 - Capital Project Infrastructure</b>									
<b>3111 - Improvements 4th Street - CN 3131828 (Reversion Date 06/30/2017)</b>									
Revenues									
State Grant - Other	37230	15,893.78	5,893.78	(10,000)	374,429.05	374,429.05	9,159.55	(365,270)	2.45%
		<b>15,893.78</b>	<b>5,893.78</b>	<b>(10,000)</b>	<b>374,429.05</b>	<b>374,429.05</b>	<b>9,159.55</b>	<b>(365,270)</b>	<b>2.45%</b>
Expenditures									
Capital Expenditure - Roadway	48080	10,000.00	0.00	10,000	374,429.05	374,429.05	9,159.55	365,270	2.45%
Total Fund Expenditures		<b>10,000.00</b>	<b>0.00</b>	<b>10,000</b>	<b>374,429.05</b>	<b>374,429.05</b>	<b>9,159.55</b>	<b>365,270</b>	<b>2.45%</b>
Excess/(deficiency) of revenues over expenditures		<b>5,893.78</b>	<b>5,893.78</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>311 - Capital Project Infrastructure</b>									
<b>3113 - Improvements 4th Street - CN 3150909 (Reversion Date 06/30/2019)</b>									
Revenues									
State Grant - Other	37230	0.00	0.00	0	0.00	350,500.00	0.00	(350,500)	0.00%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>350,500.00</u>	<u>0.00</u>	<u>(350,500)</u>	<u>0.00%</u>
Expenditures									
Capital Expenditure - Roadway	48080	0.00	0.00	0	0.00	350,500.00	0.00	350,500	0.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>350,500.00</u>	<u>0.00</u>	<u>350,500</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0</u>	<u>0.00%</u>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>311 - Capital Project Infrastructure</b>								
Beginning cash and cash equivalents	(5,893.78)	(5,893.78)	0	0.00	0.00	0.00	0	
Revenues								
Improvements 4th St - C3131828	15,893.78	5,893.78	(10,000)	374,429.05	374,429.05	9,159.55	(365,270)	2.45%
Improvements 4th St - C3150909	0.00	0.00	0	0.00	350,500.00	0.00	(350,500)	0.00%
	<b>15,893.78</b>	<b>5,893.78</b>	<b>(10,000)</b>	<b>374,429.05</b>	<b>724,929.05</b>	<b>9,159.55</b>	<b>(715,770)</b>	<b>1.26%</b>
Expenditures								
Improvements 4th St - C3131828	10,000.00	0.00	10,000	374,429.05	374,429.05	9,159.55	365,270	2.45%
Improvements 4th St - C3150909	0.00	0.00	0	0.00	350,500.00	0.00	350,500	0.00%
Total Fund Expenditures	<b>10,000.00</b>	<b>0.00</b>	<b>10,000</b>	<b>374,429.05</b>	<b>724,929.05</b>	<b>9,159.55</b>	<b>715,770</b>	<b>1.26%</b>
Excess/(deficiency) of revenues over expenditures	<b>5,893.78</b>	<b>5,893.78</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>
Ending cash and cash equivalents	<b>0.00</b>	<b>0.00</b>	<b>(0)</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>312 - Capital Project Buildings</b>									
<b>3121 - Agri-Nature Center Improvements - ID 15-0734 (Reversion Date 06/30/2019)</b>									
Revenues									
State Grant - Other	37230	0.00	0.00	0	0.00	165,000.00	0.00	(165,000)	0.00%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>165,000.00</u>	<u>0.00</u>	<u>(165,000)</u>	<u>0.00%</u>
Expenditures									
Capital Expenditure - Buildings	48010	0.00	0.00	0	0.00	165,000.00	0.00	165,000	0.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>165,000.00</u>	<u>0.00</u>	<u>165,000</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0</u>	<u>0.00%</u>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>312 - Capital Project Buildings</b>								
Beginning cash and cash equivalents	0.00	0.00	0	0.00	0.00	0.00	0	
Revenues								
Improvements Agri-Nature ID 15-0734	0.00	0.00	0	0.00	165,000.00	0.00	(165,000)	0.00%
	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>165,000.00</b>	<b>0.00</b>	<b>(165,000)</b>	<b>0.00%</b>
Expenditures								
Improvements Agri-Nature ID 15-0734	0.00	0.00	0	0.00	165,000.00	0.00	165,000	0.00%
Total Fund Expenditures	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>165,000.00</b>	<b>0.00</b>	<b>165,000</b>	<b>0.00%</b>
Excess/(deficiency) of revenues over expenditures	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>
Ending cash and cash equivalents	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>380 - Purchase Real Property Reserve Fund</b>									
<b>3801 - Purchase Real Property Fund</b>									
Beginning cash and cash equivalents	<u>1,200,800.36</u>	<u>1,200,800.36</u>	<u>0</u>	<u>1,500,000.00</u>	<u>1,500,000.00</u>	<u>1,500,000.00</u>	<u>0</u>		
Expenditures									
Property Purchase	48040	165,000.00	0.00	165,000	760,000.00	1,344,199.64	299,199.64	1,045,000	22.26%
Total Fund Expenditures		<u>165,000.00</u>	<u>0.00</u>	<u>165,000</u>	<u>760,000.00</u>	<u>1,344,199.64</u>	<u>299,199.64</u>	<u>1,045,000</u>	<u>22.26%</u>
Excess/(deficiency) of revenues over expenditures		<u>(165,000.00)</u>	<u>0.00</u>	<u>(165,000)</u>	<u>(760,000.00)</u>	<u>(1,344,199.64)</u>	<u>(299,199.64)</u>	<u>1,045,000</u>	<u>22.26%</u>
Other financing sources (uses)									
Operating transfers in	51001	0.00	0.00	0	300,000.00	300,000.00	0.00	(300,000)	0.00%
Total other financing sources (uses)		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>300,000.00</u>	<u>300,000.00</u>	<u>0.00</u>	<u>(300,000)</u>	<u>0.00%</u>
Excess/(deficiency) after other financing sources (uses)		<u>(165,000.00)</u>	<u>0.00</u>	<u>(165,000)</u>	<u>(460,000.00)</u>	<u>(1,044,199.64)</u>	<u>(299,199.64)</u>	<u>745,000</u>	<u>28.65%</u>
Ending cash and cash equivalents		<u>1,035,800.36</u>	<u>1,200,800.36</u>	<u>165,000</u>	<u>1,040,000.00</u>	<u>455,800.36</u>	<u>1,200,800.36</u>	<u>745,000</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>399 - Capital Project - Other</b>									
<b>3900 - Park Land and Plaza Reserve</b>									
Beginning cash and cash equivalents	<b>44,423.32</b>	<b>44,423.32</b>	<b>0</b>	<b>44,423.32</b>	<b>44,423.32</b>	<b>44,423.32</b>	<b>0</b>		
Revenues									
Cash in Lieu of Land Dedication	36015	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
		<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>
Expenditures									
Land Acquisition	48040	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Total Fund Expenditures		<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>
Excess/(deficiency) of revenues over expenditures		<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>0.00%</b>
Ending cash and cash equivalents		<b>44,423.32</b>	<b>44,423.32</b>	<b>0</b>	<b>44,423.32</b>	<b>44,423.32</b>	<b>44,423.32</b>	<b>0</b>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget	
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance		
<b>401 - General Obligation Bonds</b>									
<b>1830 - General Obligation Bonds</b>									
Beginning cash and cash equivalents	<u>(64,585.66)</u>	<u>(64,585.66)</u>	<u>0</u>	<u>89,022.01</u>	<u>89,022.01</u>	<u>89,022.01</u>	<u>0</u>		
Revenues									
Property Taxes - Current	31500	79,687.87	82,371.68	2,684	230,880.17	228,010.89	142,744.28	(85,267)	62.60%
Property Taxes - Delinquent	31510	0.00	0.00	0	6,529.80	7,784.73	7,784.73	0	100.00%
Total Revenue		<u>79,687.87</u>	<u>82,371.68</u>	<u>2,684</u>	<u>237,409.97</u>	<u>235,795.62</u>	<u>150,529.01</u>	<u>(85,267)</u>	<u>63.84%</u>
Expenditures									
Debt Service Principal	49010	0.00	0.00	0	150,000.00	150,000.00	150,000.00	0	100.00%
Debt Service Interest	49020	0.00	0.00	0	139,967.50	139,967.50	71,765.00	68,203	51.27%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>289,967.50</u>	<u>289,967.50</u>	<u>221,765.00</u>	<u>68,203</u>	<u>76.48%</u>
Excess/(deficiency) of revenues over expenditures		<u>79,687.87</u>	<u>82,371.68</u>	<u>2,684</u>	<u>(52,557.53)</u>	<u>(54,171.88)</u>	<u>(71,235.99)</u>	<u>(17,064)</u>	<u>131.50%</u>
Ending cash and cash equivalents		<u>15,102.21</u>	<u>17,786.02</u>	<u>2,684</u>	<u>36,464.48</u>	<u>34,850.13</u>	<u>17,786.02</u>	<u>(17,064)</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTB Budget	Cash Basis PTB Actual	Current PTB Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>410 - General Obligation Bonds Reserve Fund</b>								
<b>4101 - General Obligation Bonds Reserve</b>								
Beginning cash and cash equivalents	<u>800,000.00</u>	<u>800,000.00</u>	<u>0</u>	<u>800,000.00</u>	<u>800,000.00</u>	<u>800,000.00</u>	<u>0</u>	
Other financing sources (uses)								
Operating transfers in	51001	0.00	0.00	0	100,000.00	100,000.00	0.00	(100,000) 0.00%
Operating transfers out	52001	0.00	0.00	0	0.00	0.00	0.00	0 0.00%
Total other financing sources (uses)		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>100,000.00</u>	<u>100,000.00</u>	<u>0.00</u>	<u>(100,000) 0.00%</u>
Excess/(deficiency) after other financing sources (uses)		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>100,000.00</u>	<u>100,000.00</u>	<u>0.00</u>	<u>(100,000) 0.00%</u>
Ending cash and cash equivalents	<u>800,000.00</u>	<u>800,000.00</u>	<u>0</u>	<u>900,000.00</u>	<u>900,000.00</u>	<u>800,000.00</u>	<u>(100,000)</u>	

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>505 - Agri-Nature Center Farm Camps</b>								
<b>1500 - Farm Camps</b>								
Beginning cash and cash equivalents	<u>22,731.46</u>	<u>22,731.46</u>	<u>0</u>	<u>25,538.40</u>	<u>25,538.40</u>	<u>25,538.40</u>	<u>0</u>	
Revenues								
Farm camp revenue	36065	0.00	0.00	0	30,000.00	30,000.00	0.00	(30,000) 0.00%
Total Revenue		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>30,000.00</u>	<u>30,000.00</u>	<u>0.00</u>	<u>(30,000) 0.00%</u>
Expenditures								
Wages-Temporary	41040	0.00	0.00	0	15,798.75	15,498.76	1,923.76	13,575 12.41%
Overtime Wages	41050	0.00	0.00	0	0.00	0.00	0.00	0 0.00%
FICA regular	42010	0.00	0.00	0	979.52	960.93	119.28	842 12.41%
FICA medicare	42020	0.00	0.00	0	229.09	224.74	27.90	197 12.41%
Worker's Comp. Assessment	42080	0.00	0.00	0	11.50	11.50	0.00	12 0.00%
Supplies	46010	0.00	0.00	0	2,600.00	2,600.00	0.00	2,600 0.00%
Miscellaneous Expense	46090	0.00	0.00	0	150.00	150.00	0.00	150 0.00%
Training	47040	0.00	0.00	0	110.00	110.00	0.00	110 0.00%
Printing,Publishing,& Advert.	47080	0.00	0.00	0	250.00	250.00	0.00	250 0.00%
Insurance Workers' Compensation	47210	0.00	0.00	0	583.00	736.00	736.00	0 100.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>20,711.86</u>	<u>20,541.93</u>	<u>2,806.94</u>	<u>17,735 13.66%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>9,288.14</u>	<u>9,458.07</u>	<u>(2,806.94)</u>	<u>(12,265) -29.68%</u>
Ending cash and cash equivalents		<u>22,731.46</u>	<u>22,731.46</u>	<u>0</u>	<u>34,826.54</u>	<u>34,996.47</u>	<u>22,731.46</u>	<u>(12,265)</u>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>900 - General Long Term Debt</b>								
<b>9000 - General Long Term Debt</b>								
Beginning cash and cash equivalents	<u>(53,513.10)</u>	<u>(53,513.10)</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	
Expenditures								
First American Bank Principal	49030	3,758.49	3,758.49	0	46,755.96	46,840.71	27,160.63	19,680 57.99%
First American Bank Interest	49035	2,364.53	2,364.53	0	26,720.28	26,635.53	15,700.51	10,935 58.95%
Luthy Note #2 Principal	49040	457.80	457.80	0	5,730.87	5,730.87	3,272.41	2,458 57.10%
Luthy Note #2 Interest	49045	1,309.15	1,309.15	0	15,472.53	15,472.53	9,096.24	6,376 58.79%
Luthy Note #3 Principal	49050	266.57	266.57	0	3,337.04	3,337.04	1,905.49	1,432 57.10%
Luthy Note #3 Interest	49055	762.31	762.31	0	9,009.52	9,009.52	5,296.67	3,713 58.79%
Total Fund Expenditures		<u>8,918.85</u>	<u>8,918.85</u>	<u>0</u>	<u>107,026.20</u>	<u>107,026.20</u>	<u>62,431.95</u>	<u>44,594 58.33%</u>
Excess/(deficiency) of revenues over expenditures		<u>(8,918.85)</u>	<u>(8,918.85)</u>	<u>0</u>	<u>(107,026.20)</u>	<u>(107,026.20)</u>	<u>(62,431.95)</u>	<u>44,594 58.33%</u>
Other financing sources (uses)								
Operating transfers in	51001	0.00	0.00	0	107,026.20	107,026.20	0.00	(107,026) 0.00%
Total other financing sources (uses)		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>107,026.20</u>	<u>107,026.20</u>	<u>0.00</u>	<u>(107,026) 0.00%</u>
Excess/(deficiency) after other financing sources (uses)		<u>(8,918.85)</u>	<u>(8,918.85)</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>(62,431.95)</u>	<u>(62,432)</u>
Ending cash and cash equivalents		<u>(62,431.95)</u>	<u>(62,431.95)</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>(62,431.95)</u>	<u>(62,432)</u>

**Village of Los Ranchos de Albuquerque**  
**Statement of Revenues and Expenditures**  
From 7/1/2015 Through 01/31/2016

Account No.	Current Period			Year - to -Date				% of Total Budget
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2015/2016 Original Budget	2015/2016 Revised Budget	Cash Basis YTD Actual	YTD Budget Variance	
<b>Summary of Revenues and Expenditures</b>								
Beginning cash and cash equivalents	<b>9,482,091.41</b>	<b>9,482,091.41</b>	<b>0</b>	<b>9,335,440.04</b>	<b>9,335,440.04</b>	<b>9,335,440.04</b>	<b>0</b>	
<b>Revenues</b>								
General Fund	226,751.87	233,370.92	6,619	3,071,106.33	3,146,992.86	1,756,114.78	(1,390,878)	55.80%
Correction	20.00	0.00	(20)	80.00	140.00	20.00	(120)	14.29%
Emergency Medical Service Fund	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Fire Protection Fund	0.00	0.00	0	112,834.00	106,399.00	106,399.00	0	100.00%
Law Enforcement Protection Fund	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Municipal Street Fund	14,122.19	14,689.89	568	185,773.87	194,414.69	114,779.89	(79,635)	59.04%
Special - Other Funds	0.00	0.00	0	5,819.00	5,819.00	352.82	(5,466)	6.06%
Capital Project Infrastructure	15,893.78	5,893.78	(10,000)	374,429.05	724,929.05	9,159.55	(715,770)	1.26%
Capital Project Buildings	0.00	0.00	0	0.00	165,000.00	0.00	(165,000)	0.00%
Purchase Real Property Reserve Fund	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Capital Project - Other	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
General Obligation Bonds	79,687.87	82,371.68	2,684	237,409.97	235,795.62	150,529.01	(85,267)	63.84%
General Obligation Bonds Reserve Fund	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Agri-Nature Center Farm Camps	0.00	0.00	0	30,000.00	30,000.00	0.00	(30,000)	0.00%
General Long Term Debt	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
<b>Total Revenues</b>	<b>336,475.71</b>	<b>336,326.27</b>	<b>(149)</b>	<b>4,017,452.22</b>	<b>4,609,490.22</b>	<b>2,137,355.05</b>	<b>(2,472,135)</b>	<b>46.37%</b>
<b>Expenditures</b>								
General Fund	241,753.98	214,272.55	27,481	2,582,016.29	2,729,899.74	1,150,205.62	1,579,694	42.13%
Correction	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Emergency Medical Service Fund	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
Fire Protection Fund	0.00	0.00	0	112,834.00	106,399.00	106,399.00	0	100.00%
Law Enforcement Protection Fund	0.00	0.00	0	62,000.00	62,000.00	0.00	62,000	0.00%
Municipal Street Fund	0.00	0.00	0	375,000.00	375,000.00	0.00	375,000	0.00%
Special - Other Funds	489.10	390.49	99	25,584.64	24,940.35	5,391.60	19,549	21.62%
Capital Project Infrastructure	10,000.00	0.00	10,000	374,429.05	724,929.05	9,159.55	715,770	1.26%
Capital Project Buildings	0.00	0.00	0	0.00	165,000.00	0.00	165,000	0.00%
Purchase Real Property Reserve Fund	165,000.00	0.00	165,000	760,000.00	1,344,199.64	299,199.64	1,045,000	22.26%
Capital Project - Other	0.00	0.00	0	0.00	0.00	0.00	0	0.00%
General Obligation Bonds	0.00	0.00	0	289,967.50	289,967.50	221,765.00	68,203	76.48%
Agri-Nature Center Farm Camps	0.00	0.00	0	20,711.86	20,541.93	2,806.94	17,735	13.66%
General Long Term Debt	8,918.85	8,918.85	0	107,026.20	107,026.20	62,431.95	44,594	58.33%
<b>Total Expenditures</b>	<b>426,161.93</b>	<b>223,581.89</b>	<b>202,580</b>	<b>4,709,569.54</b>	<b>5,949,903.41</b>	<b>1,857,359.30</b>	<b>4,092,544</b>	<b>31.22%</b>
Excess/(deficiency) of revenues over expenditures	<b>(89,686.22)</b>	<b>112,744.38</b>	<b>202,431</b>	<b>(692,117.32)</b>	<b>(1,340,413.19)</b>	<b>279,995.75</b>	<b>1,620,409</b>	<b>-20.89%</b>
<b>Other financing sources (uses)</b>								
Operating transfers in	0.00	0.00	0	552,026.20	552,026.20	3,000.00	(549,026)	0.54%
Operating transfers out	0.00	0.00	0	(552,026.20)	(552,026.20)	(3,000.00)	549,026	0.54%
Reversion	0.00	0.00	0	(20,600.00)	(20,600.00)	(20,600.00)	0	100.00%
	<b>0.00</b>	<b>0.00</b>	<b>0</b>	<b>(20,600.00)</b>	<b>(20,600.00)</b>	<b>(20,600.00)</b>	<b>0</b>	<b>100.00%</b>
Excess/(deficiency) after other financing sources (uses)	<b>(89,686.22)</b>	<b>112,744.38</b>	<b>202,431</b>	<b>(712,717.32)</b>	<b>(1,361,013.19)</b>	<b>259,395.75</b>	<b>1,620,409</b>	<b>-19.06%</b>
Ending cash and cash equivalents	<b>9,392,405.19</b>	<b>9,594,835.79</b>	<b>202,431</b>	<b>8,622,722.72</b>	<b>7,974,426.85</b>	<b>9,594,835.79</b>	<b>1,620,409</b>	

**Ending cash and cash equivalents**  
**\$9,594,835.79**

**Village of Los Ranchos de Albuquerque**  
**Cash Balance Summary by Fund**  
**for the Fiscal Year Ending June 30, 2015**  
**as of January 31, 2016**

	<i>Beginning Cash Balance</i>	<i>Excess/(Deficiency)</i>	<i>Ending Cash Balance</i>
101 General Fund	\$ 6,388,137.12	\$ 604,409.16	\$ 6,992,546.28
201 Correction	\$ 80.00	\$ 20.00	\$ 100.00
206 Emergency Medical Service Fund	\$ -	\$ -	\$ -
209 Fire Protection Fund	\$ -	\$ -	\$ -
211 Law Enforcement Protection Fund	\$ 40,600.00	\$ (20,600.00)	\$ 20,000.00
216 Municipal Street Fund	\$ 422,433.47	\$ 114,779.89	\$ 537,213.36
299 Special - Other Funds	\$ 25,205.72	\$ (3,538.78)	\$ 21,666.94
311 Capital Project Infrastructure	\$ -	\$ -	\$ -
380 Purchase Real Property Reserve F	\$ 1,500,000.00	\$ (299,199.64)	\$ 1,200,800.36
399 Capital Project - Other	\$ 44,423.32	\$ -	\$ 44,423.32
401 General Obligation Bonds	\$ 89,022.01	\$ (71,235.99)	\$ 17,786.02
410 General Obligation Bonds Reserve	\$ 800,000.00	\$ -	\$ 800,000.00
505 Agri-Nature Center Farm Camps	\$ 25,538.40	\$ (2,806.94)	\$ 22,731.46
900 General Long Term Debt	\$ -	\$ (62,431.95)	\$ (62,431.95)
	<b><u>\$ 9,335,440.04</u></b>	<b><u>\$ 259,395.75</u></b>	<b><u>\$ 9,594,835.79</u></b>

**Village of Los Ranchos de Albuquerque**  
**Check Register for the Month of January 2016**

<u>Payee</u>	<u>Check Date</u>	<u>Check Number</u>	<u>Check Amount</u>
Abila	1/20/2016	38312	1,089.00
Total Abila			<u>1,089.00</u>
Academy	1/20/2016	38314	16.08
Total Academy			<u>16.08</u>
Administrative Office of the	1/11/2016	38298	6.00
Total Administrative Office of the			<u>6.00</u>
AIRPRO	1/29/2016	38335	122.46
Total AIRPRO			<u>122.46</u>
Albuquerque Bernalillo County	1/29/2016	38334	37.84
Total Albuquerque Bernalillo County			<u>37.84</u>
Albuquerque Power Equipment	1/20/2016	38313	27.98
Total Albuquerque Power Equipment			<u>27.98</u>
Albuquerque Publishing Co.	1/11/2016	38283	416.57
Total Albuquerque Publishing Co.			<u>416.57</u>
American Property	1/29/2016	38336	2,650.00
Total American Property			<u>2,650.00</u>
Bank of America	1/11/2016	38284	2,066.65
Total Bank of America			<u>2,066.65</u>
Bank of America, N.A.	1/15/2016	BoA-01152016	691.55
Total Bank of America, N.A.			<u>691.55</u>
Bernalillo County	1/4/2016	38278	113,300.00
Total Bernalillo County			<u>113,300.00</u>
C. Fred Luthy, Jr. and	1/11/2016	38280	1,766.95
Total C. Fred Luthy, Jr. and			<u>1,766.95</u>
CenturyLink	1/29/2016	38337	158.37
Total CenturyLink			<u>158.37</u>
Chappell Law Firm, P.A.	1/20/2016	38315	7,313.36
Total Chappell Law Firm, P.A.			<u>7,313.36</u>
Christian's Automotive, Inc.	1/11/2016	38285	178.68
Total Christian's Automotive, Inc.			<u>178.68</u>
Clark Truck Equipment Co., Inc	1/11/2016	38286	12.72

**Village of Los Ranchos de Albuquerque**  
**Check Register for the Month of January 2016**

<u>Payee</u>	<u>Check Date</u>	<u>Check Number</u>	<u>Check Amount</u>
Clark Truck Equipment Co., Inc	1/20/2016	38316	660.38
Total Clark Truck Equipment Co., Inc			<u>673.10</u>
Comcast	1/29/2016	38338	174.96
Total Comcast			<u>174.96</u>
Cumulus	1/20/2016	38317	365.51
Total Cumulus			<u>365.51</u>
Dan's Boots & Saddles	1/11/2016	38287	74.90
Dan's Boots & Saddles	1/20/2016	38318	45.96
Total Dan's Boots & Saddles			<u>120.86</u>
De Lage Landen	1/29/2016	38339	416.30
Total De Lage Landen			<u>416.30</u>
Delta Dental of New Mexico	1/20/2016	38319	470.55
Total Delta Dental of New Mexico			<u>470.55</u>
Document Solutions, Inc.	1/11/2016	38288	228.48
Total Document Solutions, Inc.			<u>228.48</u>
Dominic O Tomba	1/4/2016	38279	599.00
Dominic O Tomba	1/21/2016	38332	146.78
Total Dominic O Tomba			<u>745.78</u>
First American Bank	1/4/2016	38264	6,123.02
Total First American Bank			<u>6,123.02</u>
Flying Fortress Locksmith LLC	1/11/2016	38289	14.90
Total Flying Fortress Locksmith LLC			<u>14.90</u>
Fred Luthy	1/11/2016	38281	1,028.88
Total Fred Luthy			<u>1,028.88</u>
G & T Auto	1/11/2016	38290	128.29
G & T Auto	1/20/2016	38320	101.40
Total G & T Auto			<u>229.69</u>
Highway Supply LLC	1/11/2016	38291	54.00
Highway Supply LLC	1/20/2016	38322	13,218.00
Highway Supply LLC	1/29/2016	38340	593.50
Total Highway Supply LLC			<u>13,865.50</u>
Home Depot Credit Services	1/11/2016	38292	74.29
Home Depot Credit Services	1/20/2016	38323	423.59

**Village of Los Ranchos de Albuquerque**  
**Check Register for the Month of January 2016**

<u>Payee</u>	<u>Check Date</u>	<u>Check Number</u>	<u>Check Amount</u>
Home Depot Credit Services	1/29/2016	38341	329.67
Total Home Depot Credit Services			<u>827.55</u>
Internal Revenue Service	1/8/2016	04357838	5,368.95
Internal Revenue Service	1/22/2016	91548193	5,406.45
Total Internal Revenue Service			<u>10,775.40</u>
J&B Automotive, Inc.	1/20/2016	38324	309.29
Total J&B Automotive, Inc.			<u>309.29</u>
J-H Supply Company	1/20/2016	38325	94.50
Total J-H Supply Company			<u>94.50</u>
Joshua Cannon & Associates Inc	1/20/2016	38326	1,607.81
Total Joshua Cannon & Associates Inc			<u>1,607.81</u>
Juicy's Hydraulics & Service	1/29/2016	38342	96.47
Total Juicy's Hydraulics & Service			<u>96.47</u>
Ken Wagner	1/7/2016	38026	(50.00)
Ken Wagner	1/11/2016	38282	50.00
Total Ken Wagner			<u>0.00</u>
NAPA Auto Parts	1/29/2016	38343	56.48
Total NAPA Auto Parts			<u>56.48</u>
New Mexico Gas Company	1/20/2016	38327	748.03
Total New Mexico Gas Company			<u>748.03</u>
New Mexico Judicial Education	1/11/2016	38297	3.00
Total New Mexico Judicial Education			<u>3.00</u>
NM State Treasurer-PERA	1/8/2016	38277	4,053.59
NM State Treasurer-PERA	1/22/2016	38311	4,053.59
Total NM State Treasurer-PERA			<u>8,107.18</u>
ODB Company	1/29/2016	38344	310.05
Total ODB Company			<u>310.05</u>
Office Depot	1/11/2016	38293	86.96
Office Depot	1/20/2016	38328	289.07
Total Office Depot			<u>376.03</u>
Overhead Door Company	1/11/2016	38295	196.05
Total Overhead Door Company			<u>196.05</u>

**Village of Los Ranchos de Albuquerque**  
**Check Register for the Month of January 2016**

<u>Payee</u>	<u>Check Date</u>	<u>Check Number</u>	<u>Check Amount</u>
Petty Cash	1/29/2016	38350	67.41
Total Petty Cash			<u>67.41</u>
PNM	1/20/2016	38330	2,562.36
PNM	1/29/2016	38345	268.83
Total PNM			<u>2,831.19</u>
Presbyterian Health Plan	1/20/2016	38331	6,294.98
Total Presbyterian Health Plan			<u>6,294.98</u>
Rita S Ryan	1/29/2016	38346	24.98
Total Rita S Ryan			<u>24.98</u>
Starline Printing	1/29/2016	38347	5,730.24
Total Starline Printing			<u>5,730.24</u>
Taxation & Revenue	1/29/2016	38333	1,264.70
Total Taxation & Revenue			<u>1,264.70</u>
The Hartford	1/20/2016	38321	185.90
Total The Hartford			<u>185.90</u>
The OutSource Ltd Company	1/11/2016	38294	643.13
Total The OutSource Ltd Company			<u>643.13</u>
VCA Town and Country	1/5/2016	38166	(39.42)
VCA Town and Country	1/11/2016	38296	131.40
Total VCA Town and Country			<u>91.98</u>
Verizon Wireless	1/29/2016	38348	232.97
Total Verizon Wireless			<u>232.97</u>
Vision Service Plan - (IC)	1/29/2016	38349	74.48
Total Vision Service Plan - (IC)			<u>74.48</u>
Report Total			<u>\$ 195,248.82</u>
Payroll	1/8/2016		14,121.72
Payroll	1/22/2016		14,211.35
			<u>\$ 28,333.07</u>
			<u>\$ 223,581.89</u>
Expenditures Cash Report 01/31/2016			<u>\$ 223,581.89</u>

## **7. PUBLIC HEARINGS AND APPLICATIONS**

A. A REQUEST FOR A FINAL SITE DEVELOPMENT PLAN APPROVAL FOR NEW COMMERCIAL DEVELOPMENT IN THE C-1 ZONE OF THE FOURTH STREET CORRIDOR AND COMMERCIAL CHARACTER AREA. THE PROPERTY IS LOCATED AT 7108 4TH STREET NW AND IS LEGALLY KNOWN AS PARCEL A-1 LANDS OF ANITA DIMAS BEING COMPRISED OF PARCELS A & B, LANDS OF ANITA DIMAS, VILLAGE OF LOS RANCHOS DE ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE BERNALILLO COUNTY CLERK ON JUNE 23, 2015. THE PROPERTY CONTAINS 0.9070 ACRES MORE OR LESS.

# **Village of Los Ranchos de Albuquerque**

## **Board of Trustees**

**Meeting Date: February 10, 2016**

**Title: A request for Final Site Development Plan Approval for a new commercial development in the C-1 Zone of the Fourth Street Corridor and Commercial Character Area. The property is located at 7108 4th Street NW and is legally known as Parcel A-1 Lands of Anita Dimas being comprised of Parcels A & B, Lands of Anita Dimas, Village of Los Ranchos de Albuquerque, Bernalillo County, New Mexico, filed in the Office of the Bernalillo County Clerk on June 23, 2015. The property contains 0.9070 acres more or less.**

**Action: Motion to approve the Site Development Plan**

# PLANNING AND ZONING COMMISSION

## PLANNING REPORT

Village of Los Ranchos • 6718 Rio Grande Blvd. NW • (505) 344-6582 Fax 344-8978

---

**DATE ISSUED:** January 21, 2016

**REPORT NO. PZ-16-02**

File: SDP-15-05

**ATTENTION:** Village of Los Ranchos Planning and Zoning Commission

**SUBJECT:** A request for Final Site Development Plan Approval for a new commercial development in the C-1 Zone of the Fourth Street Corridor and Commercial Character Area.

**APPLICANT:** Russell and Dominic Shoats, Modulus Architects Agent

**LOCATION AND LEGAL DESCRIPTION:**

The property is located at 7108 4th Street NW and is legally known as Parcel A-1 Lands of Anita Dimas being comprised of Parcels A & B, Lands of Anita Dimas, Village of Los Ranchos de Albuquerque, Bernalillo County, New Mexico, filed in the Office of the Bernalillo County Clerk on June 23, 2015. The property contains 0.9070 acres more or less.

**SURROUNDING AREA:**

- North - C-1 Retail Commercial w/ SU Permit (Refinishing)
- East - A-1 Agricultural/Residential
- South - C-1; SU-1 Self storage
- West - C-1 Retail Commercial

**PROJECT DESCRIPTION:**

The proposed project is for two new single story commercial buildings, with 2 proposed suites per building. The ultimate use of the building is not known at this time however parking calculations are based on 3,022 SF of Restaurant, and 2,990 SF of Retail. The property is currently a vacant lot. The design style is a fusion of architectural elements listed from Spanish Colonial (flat roofed, portales, and courtyard) and Northern New Mexico (earth-toned stucco facades with the use of cultured stone and the utilization of overhang soffits to represent the overhanging eaves)".

The proposed development was noticed by mail to all properties within 300 feet of the location, on December 22, 2015.

**ANALYSIS:**

This development is in the C-1 Zone, a Site Development Plan approval is required per §9.2.25. A Sketch Plan review was held on August 11, 2015. Informal comments were provided to the applicant, including comments regarding the

landscaping, access easement, etc. (attached). Subsequent to that meeting the applicant has revised the submittal in response to the comments.

### **NPDES Grading and Drainage Plan**

The Grading and Drainage Plan is included and will be reviewed by the Village Designated Engineer.

### **Roadway Standards**

Entrance to the development is from Fourth Street, a Minor Arterial, with adequate capacity to support commercial uses along Fourth Street. The internal parking lot access is 24 feet in width, which meets Site Development Plan standards.

### **Traffic:**

The property is zoned commercial intended for retail and service businesses. Fourth Street has sufficient capacity to handle the anticipated traffic generated from this site. The amount of traffic generated by the development is deemed to be within the capacity of 4<sup>th</sup> Street.

### **Parking Requirements and Parking Lot Design**

Thirty-five parking spaces are provided for the commercial space, which meets the parking requirement of §9.2.18, Off Street Parking, based on the assumed uses of 3022 SF for restaurant and 2990 SF of retail use.

### **Trash Receptacles:**

An enclosed trash container is shown on the site plan.

### **Landscape Plan:**

A landscape plan is attached which complies with §9.2.19, Landscaping which requires a minimum of 15% of the unbuilt area shall be landscaped in a manner that will meet the intent of these regulations. Landscaping over 26% of the unbuilt area is provided, including 18 trees, 179 shrubs/groundcover, native grasses, and graveled areas.

### **Utilities Plan:**

A water and sewer availability is included from the Authority. Site utilities include a 1 ½ " water supply, a 4" fire supply line and 6" sanitary sewer service line.

### **Lighting Plan:**

Example outdoor light fixtures were submitted with the plan and revised to meet the Dark Skies requirements.

**Signage Plan:**

A signage plan is included.

**RECOMMENDATION:**

The Planning & Zoning Commission recommends the Board of Trustees **approve** the Commercial Site Development Plan for new commercial development in the Fourth Street Corridor and Commercial Character Area.

With the following conditions:

1. All the requirements of the Albuquerque/Bernalillo County Water Utility Authority shall be met in the installation of the utilities and governing rules and regulations adhered to by the development.
2. The grading and drainage plan must be approved by the Village engineer prior to obtaining a building permit.
3. Landscaping shall be maintained according to the Site Development Plan.
4. Dark Skies Ordinance requirements must be met.
5. Sign permits must be obtained from the Village.
6. Construction shall meet all current Village, County and State Codes.
7. Add side-lights to the doors on the east elevation for visibility into the Parking area.
8. Applicant shall include signage and/or architectural features to discourage vehicle travel east of the sight on the southern access easement.

With the findings:

1. The 2020 Master Plan 8.2 Commerce Goal: *To revitalize Fourth Street, the Village Center and the Transit District as the Village's major commercial and mixed use centers through both public and private efforts.*
2. The 2020 Master Plan 8.2.1 Objectives:
  - *Create a business climate in which businesses flourish*
3. 8.2.2 Policy A. Strongly support the business community and use various economic incentives to strengthen local businesses as well as attract new ones.
4. The Proposed Development meets the requirements of Ordinance 236 Section 5, Commercial land area and permissive uses.

5. The Site Development Plan as submitted meets all the requirements of §9.2.25 (E)(4) Site Development Plan.

  
\_\_\_\_\_  
Tim McDonough  
Director, Planning and Zoning Department

Date: Jan 22, 2016

Attachments:

- Application
- Ortho
- Zone Map
- Draft Minutes from Preliminary Site Development Plan hearing
- Site Plan Exhibit (separate bound pages)

Village of Los Ranchos de Albuquerque  
 6718 Rio Grande Boulevard NW  
 Los Ranchos de Albuquerque, NM 87107  
 Phone: (505) 344-6582 Fax: (505) 344-8978

FOR OFFICIAL USE	
Zone <u>C-1</u>	SDP # <u>15-</u>
Special Conditions <input type="checkbox"/>	

### APPLICATION FOR COMMERCIAL SITE DEVELOPMENT PLAN SKETCH PLAT

Address of Property 7108 4<sup>th</sup> street NW Zip 87107  
 Los Ranchos de Albuquerque  
 Closest Cross Streets 4<sup>th</sup> street / Koehl  
 Subdivision Lands of Anita Dimas Block \_\_\_\_\_ Lot No. PARCEL A-1  
 Tract No. \_\_\_\_\_ MRGCD Map No. 27 Acreage of Property .8733  
**PROPERTY OWNER** Russell & Dominic Shoats  
 Mailing/home address 9627 4<sup>th</sup> st NW Albuquerque NM Zip 87114  
 Telephone 505-362-2544 Cell 505-362-2544 Fax \_\_\_\_\_

#### CONTRACTOR AGENT OR FIRM

Sam Flores License NO. \_\_\_\_\_  
 Business Name Modulus Architects, INC.  
 Mailing address 220 Copper Ave. NW Suite #350 Albuquerque Zip 87102  
 Telephone 505-338-1499 Cell \_\_\_\_\_ CRS-1 On File

Russell Shoats 7-9-2015  
 Signature of Property owner (Or submit affidavit of agent) Date

[Signature] 7.9.15  
 Signature of Contractor/Agent Date

The Village of Los Ranchos de Albuquerque does not take responsibility for information on or enforcement of, restrictive covenants on said property.

**Commercial construction zoning reviews must be accompanied by a Site Development Plan which is approved by the Planning and Zoning Commission. ALL FEES GENERATED BY THIS APPLICATION ARE THE RESPONSIBILITY OF THE APPLICANT AND ARE DUE AND PAYABLE UPON NOTIFICATION FROM THE VILLAGE.**

In order to schedule your request for a Hearing, please complete and submit all required information. Please make an appointment to submit an application. A pre-application meeting is MANDATORY. Call 344-6582 to make your appointment with the Planning and Zoning Director or staff.

Once the application package is complete, Village staff will instruct you on the process and how documents must be completed.

12.3.15

Village of Los Ranchos de Albuquerque Planning and Zoning Commission\

RE: Sketch Plat Review Case SDP-15-05

To whom it may Concern:

In reference to the property of 7108 4<sup>th</sup> Street, we are providing submittal materials that address the Commission's preliminary comments and pertaining to our August 2015 Site Development Sketch Plat review. We have sought and received commentary from George Radnovich at the Commission's request and have addressed those issues as well.

The building has been pushed back further away from 4<sup>th</sup> Street to allow more space for landscaping, as requested. We applied an additional 5 ft of landscaping buffer between the west side of the building and the 4<sup>th</sup> Street Corridor; this landscape buffer exceeds the required depth. Street trees will be minimum 2" caliper. The east side abutting residential property is considerably screened with plantings; we have implemented a landscaped buffer zone of 30 ft which is greater than the required distance of 15 ft which will help with acoustical mitigation between the different zones. The additional landscaping along the 4<sup>th</sup> street corridor and its use of trees and plants is consistent with the concept of the Los Ranchos 2020 4<sup>th</sup> Street Corridor Master Plan. George Radnovich recommended Ash trees in the front planting area but the City Forester prohibits these due to tree bore infestations, so we have excluded those. He recommended adding native ornamental grasses in the front, and we have incorporated these. He recommended Cottonwoods: we have excluded them as they have a tendency to weaken and break over time presenting a potential danger in the front and we need Pines in the rear for acoustical screening.

The rear Building Elevation has been softened with the addition of windows and trellises. The lighting fixtures are in compliance with the Dark Sky Ordinance. The light poles have been decreased from 20 ft to a 15 ft height.

We hope these responses address the Commissioner's and Planner's concerns and suggestions, have incorporated solutions that are respectful of the Villa De Los Ranchos character, and that this project continues to receive support from the community.

Sincerely,



Jonathan Stern, President



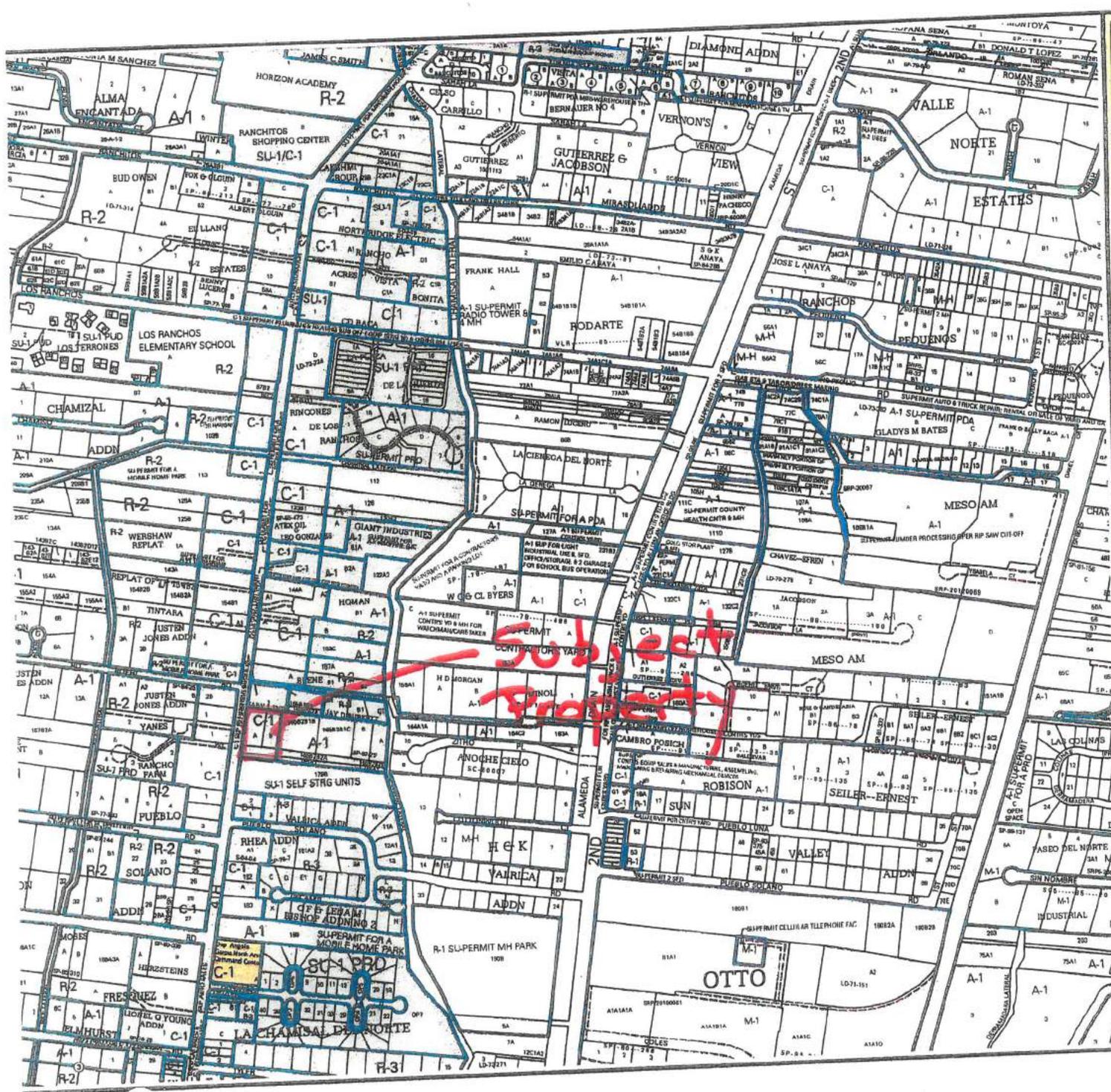
220 Copper Ave. NW, Suite 350  
Albuquerque, New Mexico 87102  
p 505.338.1499 f 505.338.1498



# 7108 Fourth Street NW



<p>1/3/16</p>	<p>This information is for reference only. Bernalillo County assumes no liability for errors associated with the use of these data. Users are solely responsible for confirming data accuracy when necessary. For current information visit <a href="http://www.bermco.gov/gis-program">www.bermco.gov/gis-program</a>.</p>	<p>Notes</p>
	<p>0 107.37 214.7 Feet</p>	



**LEGAL DESCRIPTION**

T11N  
R3E  
SEC 21

**UNIFORM PROPERTY CODE**

1-015-063

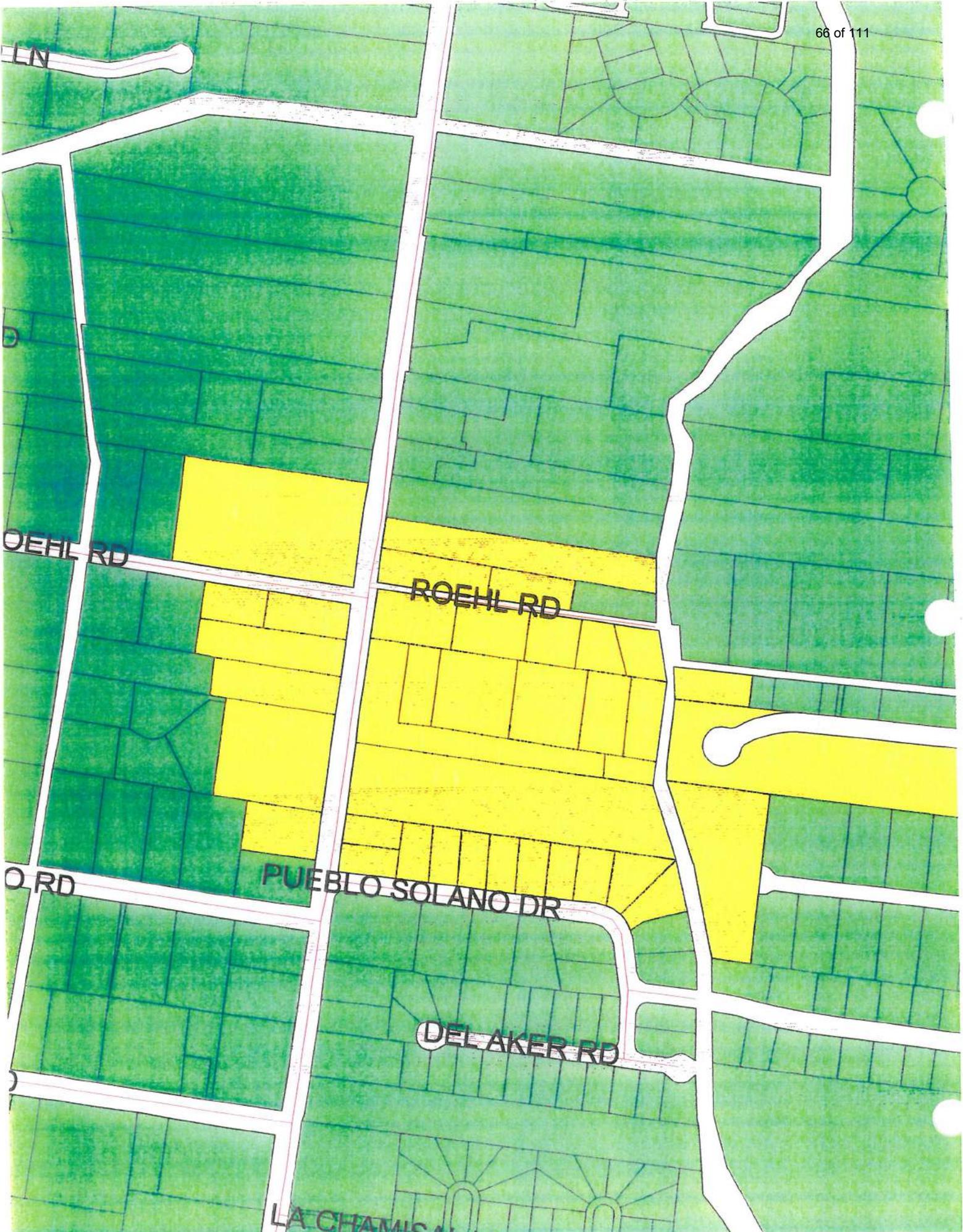
250 0 250 500 750 1,000  
Feet

Map amended through July 2014

**PUBLIC WORKS DIVISION  
GIS PROGRAM**

This information is for reference only. Bernalillo County assumes no liability for errors associated with the use of these data. Users are solely responsible for confirming data accuracy when necessary. Source data are from Bernalillo County and the City of Albuquerque. For current information visit [www.bemco.gov/gis-program](http://www.bemco.gov/gis-program)

**D-15-Z**



1 **Chairman Seligman** asked if there were any changes or corrections to the  
 2 minutes of the December 8, 2015 meeting. Recognized Commissioner  
 3 Brawley.

4  
 5 **Commissioner Brawley** stated that on page 3 of 7 line 8 the word bumper  
 6 should be buffer. Then on page 4 of 7 line 13 it should read "the lots are small  
 7 and too expensive.

8  
 9 **Chairman Seligman asked if there were any other corrections or**  
 10 **changes.**

11  
 12 **Attorney Chappell** stated on page 2 of 7 line 14 under New Business the  
 13 word improvements should be "amendments."

14  
 15 **Chairman Seligman** asked if there was a motion to approve the minutes as  
 16 amended.

17  
 18 **MOTION: Commissioner Phillip** moved approval of the Minutes of the  
 19 December 8, 2015 meeting as amended.

20  
 21 **SECOND: Commissioner Craig** seconded the motion.

22  
 23 **Chairman Seligman** called for a vote.

24  
 25 **VOTE:** The motion carried unanimously (7-0).

26  
 27 **4. PUBLIC HEARINGS AND APPLICATIONS**

28  
 29 **Attorney Chappell** swore those persons who would be speaking before the  
 30 Commission.

31  
 32 **A. SDP-15-05** A request for a Preliminary Site Development Plan Review for  
 33 new commercial development in the Retail Commercial Zone of the  
 34 Fourth Street Commercial Character Area. The property is located at  
 35 7108 4th Street NW and is legally known as Parcel A-1 Lands of Anita  
 36 Dimas being comprised of Parcels A & B, Lands of Anita Dimas, Village  
 37 of Los Ranchos de Albuquerque, Bernalillo County, New Mexico, filed in  
 38 the Office of the Bernalillo County Clerk on June 23, 2015. The property  
 39 contains 0.9070 acres more or less.

40  
 41 **Chairman Seligman** gave instructions that the Commission would be to  
 42 review and then approve forwarding the plan to the Board of Trustees for final  
 43 approval. Then asked Planner McDonough for the planning report.

44  
 45 **Planner McDonough** gave the planning report with recommendation for  
 46 approval to forward to the Board of Trustees with conditions and findings.

47  
 48 **Chairman Seligman** opened the discussion by asking the applicant to come  
 49 forward.  
 50

1           **SUMMARY OF THE DISCUSSION:** Jon Stern of Modulus gave a short  
2 presentation on the site plan. Stating they had met with George Radnovich on  
3 the landscaping and what was happening with the 4<sup>th</sup> Street project.  
4 Commissioner Colman started the discussion with what she saw as a security  
5 issue and that was the back parking lot. There were no eyes on the parking  
6 lot for anyone going into it at night. Commissioner Tourville suggested  
7 security cameras, but Commissioner Colman stated that only showed things  
8 after the fact.  
9

10           Chairman Seligman questioned Mr. Stern on the entrance from 4<sup>th</sup> Street and  
11 Mr. Stern clarified that to her. At this time Chairman Seligman asked if there  
12 was anyone in opposition to the plan.  
13

14           Mr. Ross E. Dimas of 7116 4<sup>th</sup> Street NW stated that he was not in opposition  
15 to the plan he thought it a wonderful plan. What he was in opposition was the  
16 gate that they were proposing to the residents who lived on the private  
17 access road. He read a letter to the Commission from his mother, who also  
18 lived on the road, but was in California at this time. As he stated they did not  
19 want to be fenced in. And gave his reasoning why he did not favor the gate.  
20 Mr. Ernest Gallegos, the neighbor directly east of the property spoke in favor  
21 of the gate to prohibit vehicle traffic travelling down and turning around on his  
22 property. After a lengthy discussion the gate issue was set aside as a  
23 problem that the residents and Mr. Shoats would have to work out. Mr.  
24 Brawley suggested that they put up an architectural feature or signage that  
25 would deter vehicles from driving down the private access road.  
26

27           Mr. Ernest Gallegos then asked why Mr. Shoats was allowed to tap into the  
28 water line his mother put in. Mr. Shoats stated he had documentation from  
29 the Albuquerque Bernalillo County Water Utility Authority to tap into that line.  
30 A question came up on the paving of the road and Mr. Chappell stated that it  
31 would be the property owner, who could pave the road, but that only half of  
32 that was Mr. Shoats. The property owner to the south would have to agree on  
33 that.  
34

35           Chairman Seligman closed the floor to public comments and asked if there  
36 was a motion.  
37

38           **MOTION: Commissioner Colman** motioned that they approve forwarding to  
39 the Board of Trustees on condition that more glazing be on the rear of the  
40 building for more eyes on the parking lot.  
41

42           **Chairman Seligman** asked for a second. No one seconded. The motion  
43 failed and asked for a new motion.  
44

45           After more discussion on some friendly amendments about the glazing and  
46 concern about altering the design.  
47

48           **MOTION: Commissioner Phillips** motioned that they approve forwarding  
49 the plan to the Board of Trustees on the following conditions.  
50

51           With the following conditions:

1 1. All the requirements of the Albuquerque/Bernalillo County Water Utility  
2 Authority shall be met in the installation of the utilities and governing rules  
3 and regulations adhered to by the development.  
4

5 2. The grading and drainage plan must be approved by the Village  
6 engineer prior to obtaining a building permit.  
7

8 3. Landscaping shall be maintained according to the Site Development  
9 Plan.  
10

11 4. Dark Skies Ordinance requirements must be met.  
12

13 5. Sign permits must be obtained from the Village.  
14

15 6. Construction shall meet all current Village, County and State Codes.  
16

17 7. That there be more glazing on the side facing the parking lot to increase  
18 sight visibility such as a side light in the door to increase sight visibility to the  
19 back parking lot.  
20

21 8. That the applicant install signage and/or architectural features to  
22 discourage vehicle travel east of the sight on the southern access easement.  
23

24 **SECOND: Commissioner Colman** seconded the motion.  
25

26 **Chairman Seligman** called for an aye or nay vote.  
27

28 **VOTE:** carried unanimously (7-0).  
29

30 **5. OLD BUSINESS-NONE**  
31

32 **6. NEW BUSINESS-NONE**  
33

34 **7. REPORTS**  
35

36 **A. PLANNING DEPARTMENT REPORT**  
37

38 **Chairman Seligman** asked Planner McDonough for his report.  
39

40 **Planner McDonough** gave is report for the department.  
41

42 **HOUSEKEEPING NOTE THERE WAS A RECESS FROM 8:25 TO 8:33 P.M.**  
43

44 **8. COMMISSIONER'S INFORMAL DISCUSSION**  
45

46 **A. Revisions to the Village Center Zoning Code.**  
47

48 There was an informal discussion about the zoning in the Village Center  
49 Zone.  
50  
51

## **DOCUMENT PACKAGE**

PROPERTY OWNERS: RUSSELL SHOATS & DOMINIC SHOATS

PROPERTY ADDRESS:

7108 4TH STREET NW

LOS RANCHOS DE ALBUQUERQUE, NM 87107

ARCHITECTURE FIRM: MODULUS ARCHITECTS, INC.

220 Copper Ave. NW Ste. 350

Albuquerque, NM 87102

Tel: 505-338-1499

PROJECT ARCHITECT: JONATHAN STERN

## **TABLE OF CONTENTS**

- 1. DOCUMENT PACKAGE**
- 2. EXISTING SITE CONDITIONS**
- 3. SITE DEVELOPMENT PLAN**
- 4. BUILDING/ARCHITECTURAL PLAN**
- 5. GRADING, UTILITIES, &  
DRAINAGE PLAN**
- 6. LANDSCAPE PLAN**
- 7. SIGNAGE PLAN & LIGHTING PLAN**

**VILLAGE OF LOS RANCHOS**

# DOCUMENT PACKAGE

### VICINITY MAP



**7108 4TH STREET NW  
 LOS RANCHOS DE ALBUQUERQUE, NM 87107**

### WRITTEN PROPOSAL

The property is zoned C-1 and the character restrictions are based off the 2020 Master Plan-4th Street Commercial Corridor. The proposed property meets permissive activities.

Based off the Village of Los Ranchos 2020 Master Plan overall goals, this project will reflect the Village character and will create and promote a Village destination point for visitors and residents who want to take part in the Village lifestyle.

The proposed project is commercial use for restaurants and retail shops and will further strengthen the 4th Street Commercial Corridor with economic activity for the Village of Los Ranchos. Furthermore, we are designing for the future with the approach of preserving the character and enhancing the 4th Street Corridor with the richness of architectural design. The project provides unique character that harmonizes with the scale and nature of the village. The design of pedestrian friendly pathways and a public courtyard offers an open invitation into the site. The separation of the building masses prevents the “big box effect”. There are plenty of public spaces including the proposed courtyard along with the landscape residential buffer zone which is generously applied. Designated spaces of interest on the property contain seating and shaded areas which include canopies, awnings, flowers, shrubs and trees. This further encourages a pedestrian friendly environment right off the 4th Street Corridor. Parking is located in the rear of the property to prevent conflict of the “pedestrian desirable environment” that the proposed project provides.

THIS DOCUMENT BEING RECORDED IN COUNTERPART

FIDELITY NATIONAL TITLE INSURANCE COMPANY

LEGAL DESCRIPTION  
EXHIBIT "A"

Commitment No.: FT000152772

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF BERNALILLO, STATE OF NEW MEXICO AND IS DESCRIBED AS FOLLOWS:

Parcels 'A' and 'B' of Lands of Anita Dimas, being a replat of Tract 165b2b-1-A, MRGCD Map No. 27, situate within projected Section 21, T11N, R3E, NMPM, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on

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NM Form 8  
ALTA Commitment (9/11/2009)

FDNM0351.rdw

Bernalillo County Treasurer  
MANNY ORTIZ  
One Civic Plaza

BUSINESS	ACTUAL	TIME	DRN
6/05/2015	6/04/2015	15:27:41	1

REG NS02 WALKIN VB Y08  
>>RECEIPT # 117778 6/04/2015 AUTO UPDT  
1000 IAS PAYMENT'S  
BALANCE DUE .00  
PREPAY 2015 TAXES PLAT  
SHOATS RUSSELL T & SHOATS DOMINIC D  
7108 N FOURTH ST  
RP PRE 000 PPP  
UPC 101506312814630819  
BILL/JU: 2014145882 02 000011731708  
8000 PRETAX  
20150605WS02020470001V08 \$865.98  
Receipt total \$865.98

>>RECEIPT # 117779 6/04/2015 AUTO UPDT  
1000 IAS PAYMENT'S  
BALANCE DUE .00  
PREPAY 2015 TAXES PLAT  
SHOATS RUSSELL T & SHOATS DOMINIC D  
7104 4TH ST  
RP PRE 000 PPP  
UPC 101506311016230820  
BILL/JU: 2014145844 02 000011731709  
8000 PRETAX  
20150605WS02020470002V08 \$838.04  
Receipt total \$838.04  
All receipts \$1,704.02  
CHECK  
20150605WS02020470003V08 \$1,704.02  
1221  
SHOATS RUSSELL  
9627 4TH ST NW  
ALBUQUERQUE NM 87114  
Total remitted \$1,704.02

Thank you for your payment.

Fidelity National Title  
File # 000152772DD  
FIDELITY NATIONAL TITLE INSURANCE CO

SOLE AND SEPARATE AGREEMENT AND CONVEYANCE

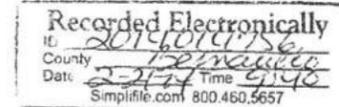
Pursuant to Section 40-3-8, A (5), NMSA 1978 Comp, Russell T Shoats and Angel M Lucero, husband and wife, agree that the property described as:

SEE ATTACHED EXHIBIT A

also known as 7108 N Fourth Street, Los Ranchos, NM 87107 is hereby designated as the separate property of Russell T Shoats. Angel M Lucero hereby expressly grants and conveys the above described property to Russell T Shoats with special warranty covenants. Angel M Lucero, expressly waives, relinquishes and releases any and all right, title, claim or interest in and to the above described property, heretofore or hereafter acquired.

The Parties further agree that all community income of the parties used to acquire or purchase the premises or make repairs or improvements thereon now or in the future, including all community funds or income of the parties used to pay any indebtedness now or hereafter secured by a lien against the premises, is hereby designated as the separate property of Russell T Shoats.

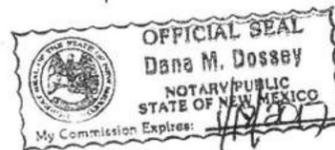
WITNESS our hands and seals this \_\_\_\_\_ day of \_\_\_\_\_, 2014  
*Russell Shoats*  
Russell T Shoats  
*Angel M Lucero*  
Angel M Lucero



STATE OF New Mexico  
COUNTY OF Bernalillo } SS.

This instrument was acknowledged before me on January 31, 2014  
By: Russell T Shoats and Angel M Lucero

My Commission Expires: 1/12/2017



*Dana M. Dossey*  
Notary Public

Prepared By and Return To:  
Fidelity National Title of New Mexico, Inc  
8220 San Pedro NE, Ste. 160  
Albuquerque, NM 87113

GF# FT000152772-NM07

Return To:  
FIDELITY NATIONAL TITLE INSURANCE CO

WARRANTY DEED  
(Joint Tenants)

Dora Sanchez, a Widow and Melba Olona, a married woman and Peggy Sanchez, a Widow and Alfred Dimas, a married man and Jimmie Dimas, a married man

for consideration paid, grant to

Russell T Shoats, a married man as his sole and separate property and Dominic D Shoats, an unmarried man

whose address is 7715 Calle Comodo NE, Albuquerque, NM 87113

as joint tenants the following described real estate in Bernalillo County, New Mexico:

Parcels 'A' and 'B' of Lands of Anita Dimas, being a replat of Tract 165b2b-1-A, MRGCD Map No. 27, situate within projected Section 21, T11N, R3E, NMPM, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said addition filed in the office of the County Clerk of Bernalillo County, New Mexico, on October 13, 1989, in Plat Book C40, Page 16.

with warranty covenants.

SUBJECT TO Patent, reservations, restrictions, and easements of record and to taxes for the year 2014, and subsequent years.

Witness our hands and seals this 18<sup>th</sup> day of February, 2014

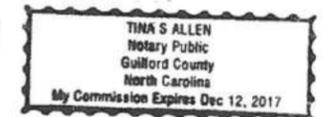
\_\_\_\_\_  
Dora Sanchez  
\_\_\_\_\_  
Melba Olona  
\_\_\_\_\_  
Peggy Sanchez  
\_\_\_\_\_  
Alfred Dimas  
*Jimmie Dimas*  
Jimmie Dimas

STATE OF North Carolina  
COUNTY OF Guilford  
This instrument was acknowledged before me this 18<sup>th</sup> day of February, 2014  
by Jimmie Dimas

*Tina S Allen*  
Notary Public

My Commission Expires: 12/12/2017

(SEA.)



Warranty Deed - Joint Tenants (4-56)  
FDNM0325.rdw

THIS DOCUMENT RECORDED IN COUNTERPART

Prepared By and Return To:

Fidelity National Title of New Mexico, Inc  
8220 San Pedro NE, Ste.160  
Albuquerque, NM 87113

GF# FT000152772-NM07



Return To:  
FIDELITY NATIONAL TITLE INSURANCE CO

WARRANTY DEED  
(Joint Tenants)

Dora Sanchez, a Widow and Melba Olona, a married woman and Peggy Sanchez, a Widow and Alfred Dimas, a married man and Jimmie Dimas, a married man  
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with warranty covenants.

SUBJECT TO Patent, reservations, restrictions, and easements of record and to taxes for the year 2014, and subsequent years.

Witness our hands and seals this 18 day of February, 2014

Dora Sanchez  
Dora Sanchez

Melba Olona  
Melba Olona

Peggy Sanchez  
Peggy Sanchez

Alfred Dimas

Jimmie Dimas

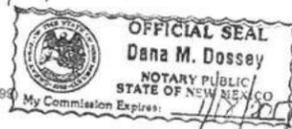
STATE OF New Mexico  
COUNTY OF Bernalillo

This instrument was acknowledged before me this 18 day of February 2014  
by Dora Sanchez, Melba Olona, and Peggy Sanchez

Dana M. Dossey  
Notary Public

My Commission Expires: 1/18/2017

(SEAL)



Warranty Deed - Joint Tenants (4-99)  
FDNM0025.rdw

THIS DOCUMENT RECORDED IN COUNTERPART

Prepared By and Return To:

Fidelity National Title of New Mexico, Inc  
8220 San Pedro NE, Ste.160  
Albuquerque, NM 87113

GF# FT000152772-NM07

Return To:  
FIDELITY NATIONAL TITLE INSURANCE CO

WARRANTY DEED  
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with warranty covenants.

SUBJECT TO Patent, reservations, restrictions, and easements of record and to taxes for the year 2014, and subsequent years.

Witness our hands and seals this 18 day of February, 2014

Dora Sanchez

Melba Olona

Peggy Sanchez

Alfred Dimas  
Alfred Dimas

Jimmie Dimas

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES

This instrument was acknowledged before me this 18 day of February 2014

by ALFREDO DIMAS

Viorica Marcu  
Notary Public VIORICA MARCU

My Commission Expires: 08/04/2014

(SEAL)



Warranty Deed - Joint Tenants (4-99)  
FDNM0025.rdw

THIS DOCUMENT BEING RECORDED IN COUNTERPART

Prepared By and Return To:

Fidelity National Title of New Mexico, Inc  
8220 San Pedro NE, Ste.160  
Albuquerque, NM 87113

GF# FT000152772-NM07

Return To:  
FIDELITY NATIONAL TITLE INSURANCE CO

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with warranty covenants.

SUBJECT TO Patent, reservations, restrictions, and easements of record and to taxes for the year 2014, and subsequent years.

Witness our hands and seals this 18 day of February, 2014

Dora Sanchez

Melba Olona

Peggy Sanchez

Alfred Dimas

Jimmie Dimas

STATE OF North Carolina  
COUNTY OF Henderson

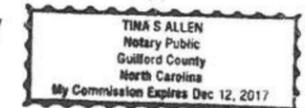
This instrument was acknowledged before me this 18 day of February 2014

by Jimmie Dimas

Tina S. Allen  
Notary Public

My Commission Expires: 12/12/2017

(SEAL)



Warranty Deed - Joint Tenants (4-99)  
FDNM0025.rdw

March 24, 2015

The following are stipulations and agreed to, for the property owned by Shoats and Shoats Enterprises located at 7108 4<sup>th</sup> street NW Los Ranchos, NM 87107, with the following UPC #, PARCEL A-101506312814630819 and PARCEL B-101506311016230820, between current residents and property owners at addresses 7110, 7114, 7116 and 7118 4<sup>th</sup> street NW Los Ranchos, NM 87107 and Shoats and Shoats Enterprises. Shoats and Shoats Enterprises intends to develop property into a commercial retail center; the stipulations are as followed:

1. Shoats and Shoats Enterprise agrees to maintain access to all current residents and property owners at 7110, 7114, 7116 and 7118 4<sup>th</sup> street through a current dirt road that currently has a water & sewer easement (02/23/1989-Doc.#89-14055) and a gas easement (03/30/1989-Doc.#89-26495).
2. The current dirt road will be widened to a minimum of 24' or as the adjacent easement will allow.
3. The new grading and drainage plan will slope all water on the current dirt road to 7108 4<sup>th</sup> street NW Los Ranchos, NM 87107, with the following UPC #, PARCEL A- 101506312814630819 and PARCEL B-101506311016230820. Any water on site at 7108 4<sup>th</sup> street NW Los Ranchos, NM 87107, with the following UPC #, PARCEL A- 101506312814630819 and PARCEL B-101506311016230820 will remain on site and collect at the onsite drainage area.
4. Shoats and Shoats Enterprise agrees to install an automatic gate for current residents and property owners at 7110, 7114, 7116 and 7118 4<sup>th</sup> street NW Los Ranchos, NM 87107. The model or type of automatic gate has yet to be determined.
5. Shoats and Shoats Enterprise agrees to relocate current mail boxes and up-grade with a USPS approved keyed mail boxes for current residents and property owners at 7110, 7114, 7116 and 7118 4<sup>th</sup> street NW Los Ranchos, NM 87107.
6. Site dumpsters for the Shoats and Shoats Enterprise commercial development will be placed at the North West side of the property.
7. If a grease trap is needed for restaurant purposed, Shoats and Shoats Enterprise must make sure that the grease trap is buried and all current applicable plumbing codes are followed.

If the above requirements are accepted, this document will become a legal document. Jose Ernest Gallegos and Elizabeth Ann Lopez-Gallegos agree to the terms mentioned above (#1-7) and have agreed to allow Shoats and Shoats Enterprise to use the private access drive South of 7108 4<sup>th</sup> street NW Los Ranchos, NM 87107, with the following UPC #, PARCEL A- 101506312814630819 and PARCEL B-101506311016230820, as an additional access way and entrance in to the proposed Shoats and Shoats Enterprise commercial development, on behalf of all current residents and property owners at 7110, 7114, 7116 and 7118 4<sup>th</sup> street NW Los Ranchos, NM 87107.

Initials

*RS*

This document will be accepted by all parties if the project development by Shoats and Shoats Enterprises begins (begins meaning construction has started). If this project for what ever reason does not commence, then this agreement is null and void.

<i>Jose Ernest Gallegos</i>	<u>3/24/15</u>
Jose Ernest Gallegos	Date
<i>Elizabeth Ann Lopez Gallegos</i>	<u>03/24/15</u>
Elizabeth Ann Lopez-Gallegos	Date
<i>Russell Shoats</i>	<u>3-24-2015</u>
Shoats and Shoats Enterprise	Date

State Of: New Mexico

County Of: Bernalillo, Village of Los Ranchos de Albuquerque

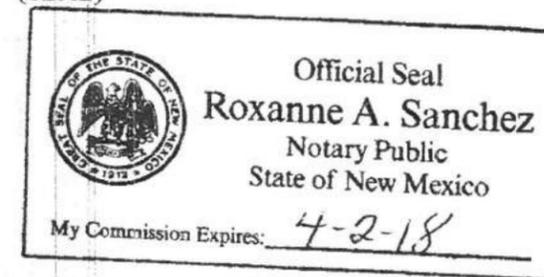
On 03/24/15 before me, Roxanne A. Sanchez

Appeared Jose Ernest Gallegos, Elizabeth Ann Lopez Gallegos, Russell Shoats Personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signatures(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

<i>Roxanne A. Sanchez</i>	<u>3/24/15</u>
Signature of Notary	Date

(SEAL)



Affiant  Known  Produced ID  
Type of ID \_\_\_\_\_

February 3, 2015

**Chair**  
Maggie Hart Stebbins  
County of Bernalillo  
Commissioner, District 3

**Vice Chair**  
Trudy E. Jones  
City of Albuquerque  
Councilor, District 8

Richard J. Berry  
City of Albuquerque  
Mayor

Art De La Cruz  
County of Bernalillo  
Commissioner, District 2

Rey Garduño  
City of Albuquerque  
Councilor, District 6

Debbie O'Malley  
County of Bernalillo  
Commissioner, District 1

Ken Sanchez  
City of Albuquerque  
Councilor, District 1

*Ex-Officio Member*  
Pablo R. Rael  
Village of Los Ranchos  
Board Trustee

*Executive Director*  
Mark S. Sanchez

*Website*  
www.abcwua.org

Scott McGee  
Scott McGee PE, LLC  
9700 Tanoan Dr. NE  
Albuquerque, NM 87111

**RE: Water and Sanitary Sewer Availability Statement #150105**  
**Project Name: Los Ranchos Shops - Project Location: 7108 4<sup>th</sup> St. NW**  
**Zone Atlas Map: D-15**

Dear Mr. McGee,

**Project Information:** The subject site is located on 4<sup>th</sup> St. between Mary's Way and Roehl Rd. within the Village of Los Ranchos. The proposed development consists of approximately +/- 0.49 acres and the property is currently zoned C-1 for Commercial use. The property lies within the Pressure Zone 1E in the Alameda trunk. The request for availability indicates plans to develop two commercial buildings of approximately 3,006 SF each.

**Existing Conditions:** Water infrastructure in the area consists of the following:

- Eight inch AC Distribution Main (Project #09-004-74) in 4<sup>th</sup> St.
- Six inch PVC Distribution Main (Project #26-3716-89) south of the project site extending from 4<sup>th</sup> St.

Sanitary sewer infrastructure in the area consists of the following:

- Eight Inch PVC Collector Line (Project #26-4960.90-99) in 4<sup>th</sup> St.

**Water and Sewer Service:** New metered water service to the property can be provided via the routine connection to the existing eight inch AC Distribution Main in 4<sup>th</sup> St. or the existing six inch PVC Distribution Main south of the project site. Service is also contingent upon compliance with the Fire Marshal's instantaneous fire flow requirements. Water service will not be sold without adequate fire protection. Water service will only be sold in conjunction with sanitary sewer service

Sanitary sewer service can be provided via routine connection to the existing eight inch PVC Collector Line in 4<sup>th</sup> St.

**Fire Protection:** From the request for availability the instantaneous fire flow requirements for the project are 740 and 1500 gallons-per-minute respectively for each proposed building. As modeled using InfoWater™ computer software, the fire flow can be met; however, the 1500 gallon-per-minute flow should only be considered to be provided from the eight inch line in 4<sup>th</sup> St. due to flow velocity restriction in the six inch line. All new required hydrants as well as their exact locations must be determined through Bernalillo County Fire Marshal's Office and verified through the Utility Development Office prior to sale of service.

**Easements:** Exclusive public water and sanitary sewer easements are required for all public lines that are to be constructed outside of any dedicated Rights-of-Way. A minimum width easement of 20 feet is required for a single utility and 25 feet for water and sewer both within the same easement. Easements for water meters need to be five feet by five feet and include the length of the water service if located on private property. Actual easement widths may vary depending on the depth of the lines to be installed. Acceptable easements must be documented prior to approval of service.

**Design and Construction** of all required improvements will be at the developer / property owner's expense and must be coordinated through the Bernalillo County Department of Public Works and Water Authority Work Order process. Designs must be by a licensed, New Mexico registered professional engineer. Construction must be by a licensed, bonded, public utility contractor.

**Costs and Fees:** In addition to installation and construction costs, any new metered water services will be subject to both water and sanitary sewer Utility Expansion Charges (UEC) payable at the time of service application. All charges and rates collected will be based on the ordinances and policies in effect at the time service is actually requested and authorized.

**Water Use:** When metered water service becomes available to this site, the Water Authority is ready, willing, and able to provide the maximum annual requirement for the subject subdivision/project for a period of at least 70 years as required by the Bernalillo County Subdivision Ordinance. However, the Water Authority is also committed to meeting water conservation goals and requirements. Accordingly, all new development utilizing Water Authority services are subject to the requirements for water usage and water conservation requirements as defined by the Water Authority. Where available, outdoor water usage shall utilize reclaimed water. All new residential development outside of the Water Authority water service should be designed to meet the standard water usage of 180 gallons per day per household which is equivalent to 75 gallons per capita per day.

**Closure:** This statement of service availability will remain in effect for a period of one year from the date of issue and applies only to the development identified herein. Its validity is, in part, contingent upon the continuing accuracy of the information supplied by the developer. Changes in the proposed development may require reevaluation of availability and should be brought to the attention of the Utility Development Section of the Water Authority as soon as possible.

Mr. McGee  
Scott McGee, PE, LLC  
February 3, 2015  
Page 3

Please feel free to contact the Water Utility Development Office at (505) 289-3302, or by fax at (505) 289-3303 if you have questions regarding the information presented herein or need additional information.

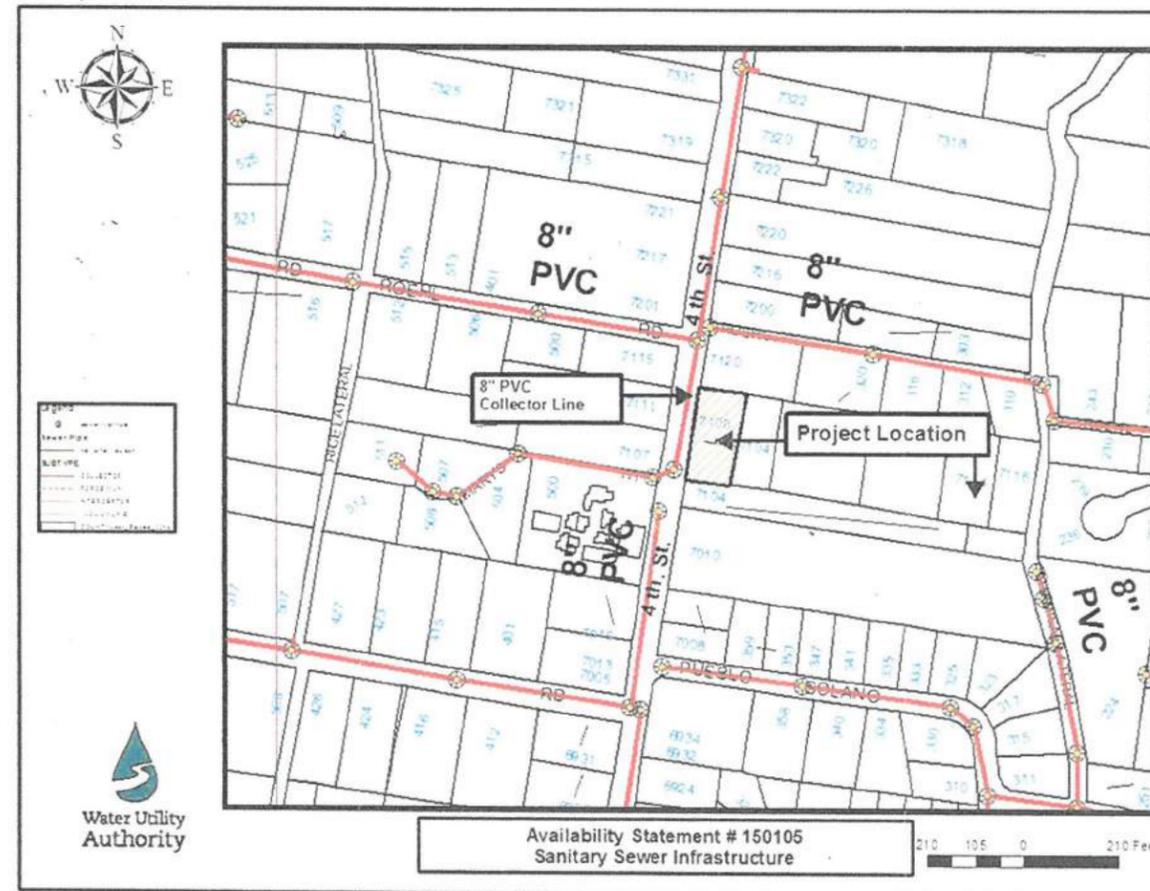
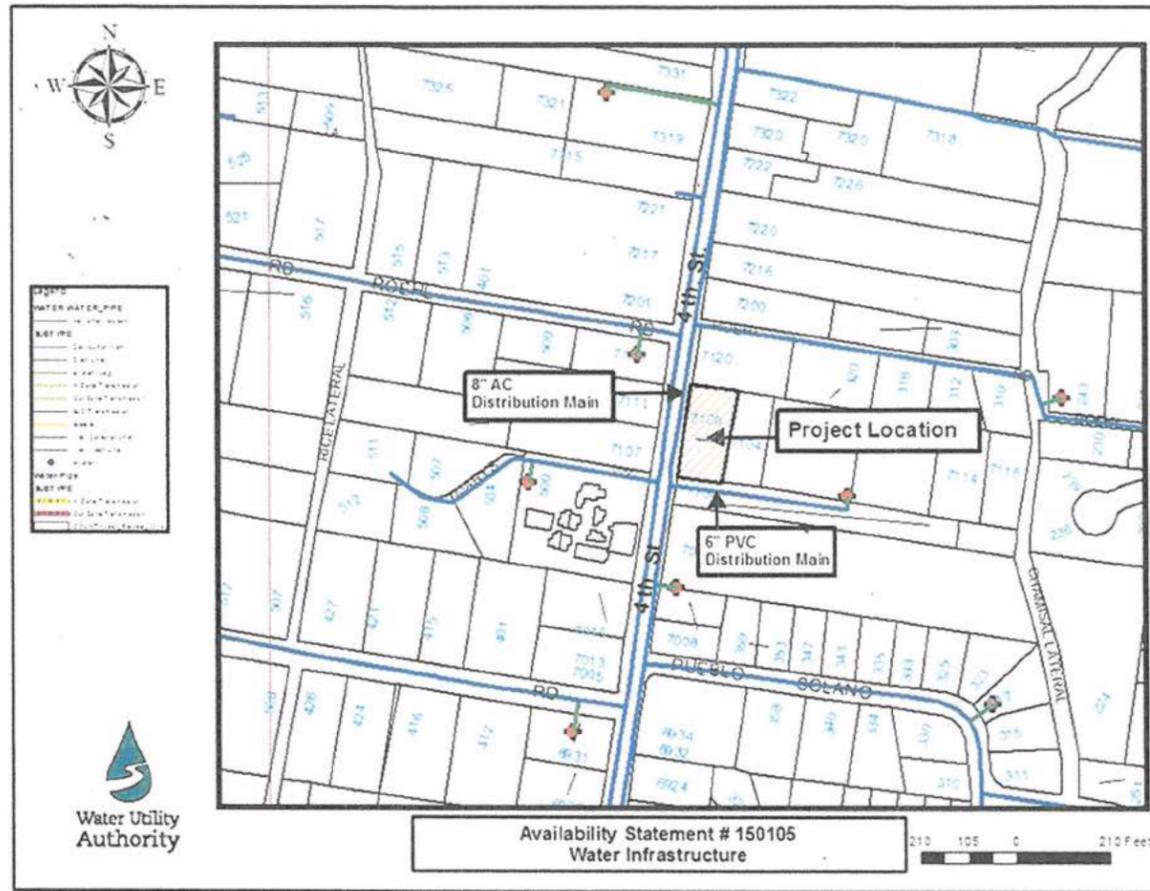
Sincerely,



Mark S. Sanchez  
Executive Director

Enclosures: Infrastructure Maps (2)

f/ Availability D-15



# EXISTING SITE CONDITIONS



Location Map D-15

**Purpose of Plat**

- VACATE EASEMENTS AS SHOWN HEREON.
- ELIMINATE THE EXISTING INTERIOR LOT LINE.
- DEDICATE PUBLIC RIGHT OF WAY AS SHOWN HEREON.

**Notes**

- FIELD SURVEY PERFORMED IN FEBRUARY 2014.
- ALL DISTANCES ARE GROUND DISTANCES; US SURVEY FOOT.
- THE BASIS OF BEARINGS REFERENCES NEW MEXICO STATE PLANE COORDINATES (GRID-NAD 83) REFERENCING THE ACS MONUMENTS SHOWN HEREON.
- SUBDIVISION DATA  
 NUMBER OF LOTS REPLATTED: 2  
 NUMBER OF LOTS CREATED: 1  
 ACREAGE DEDICATED BY THIS PLAT: 0.0337 ACRES  
 TOTAL PLATTED ACREAGE: 0.9070 ACRES
- THE COORDINATES SHOWN HEREON ARE NEW MEXICO STATE PLANE COORDINATES (NAD 83-GRID)

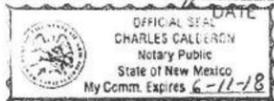
**Free Consent & Dedication**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF DO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY SHOWN HEREON TO THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.

*Dominic Shoats*  
 DOMINIC SHOATS  
 DATE: May 20<sup>th</sup> 2015

**Acknowledgment**

STATE OF NEW MEXICO } SS  
 COUNTY OF }  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 20<sup>th</sup> May 2015  
 BY: DOMINIC SHOATS  
*Charles Calleron*  
 NOTARY PUBLIC MY COMMISSION EXPIRES 6-11-18



**Indexing Information**

Section 21, Township 11 North, Range 3 East, N.M.P.M.,  
 as projected into Elena Gallegos Grant  
 Subdivision: Lands of Anita Dimas  
 Owner: Russell and Dominic Shoats  
 Upc # Parcel A - 101506312814630819  
 Parcel B - 101506311016230820

**Treasurer's Certification**

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND  
 PAID ON UPC# 3 parcels 2014/2015  
 PROPERTY OWNER OF RECORD: Shoats, Russell & Dominic BERNALILLO COUNTY TREASURER'S OFFICE: [Signature] 6/23/15

**Legal Description**

PARCELS A AND B OF LANDS OF ANITA DIMAS, BEING A REPLAT OF TRACT 165B2B-1-A, M.R.G.C.D. MAP NO. 27, SITUATE WITHIN PROJECTED SECTION 21, T11N, R3E, N.M.P.M., AS PROJECTED INTO THE ELENA GALLEGOS GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON OCTOBER 13, 1989, IN PLAT BOOK C40, PAGE 16.

**Middle Rio Grande Conservancy District Approval**

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

*[Signature]*  
 DATE: 5-21-2015

**Free Consent & Dedication**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF DO HEREBY GRANT THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITIES EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICE FOR BURIED DISTRIBUTION LINES, CONDUITS AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THEIR RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ADDITIONAL PUBLIC RIGHT OF WAY SHOWN HEREON TO THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.

*Russell Shoats*  
 RUSSELL SHOATS  
 DATE: May 20<sup>th</sup> 2015

**Acknowledgment**

STATE OF NEW MEXICO } SS  
 COUNTY OF }  
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON 20<sup>th</sup> / May 2015  
 BY: RUSSELL SHOATS  
*Charles Calleron*  
 NOTARY PUBLIC MY COMMISSION EXPIRES 6-11-18



**Plat for  
 Parcel A-1  
 Lands of Anita Dimas  
 Being comprised of  
 Parcels A & B, Lands of Anita Dimas  
 Village of Los Ranchos de Albuquerque  
 Bernalillo County, New Mexico  
 May 2015**

**Approved and Accepted by:**

*Fernando Vigil* 5-15-15  
 Date  
*[Signature]* 5/15/15  
 Date  
*[Signature]* 5/18/15  
 Date  
*[Signature]* 5/15/15  
 Date  
 Comcast 5/15/15  
 Date

**Village of Los Ranchos de Albuquerque approvals:**

*[Signature]* 6-11-15  
 Date  
*[Signature]* 6-22-15  
 Date  
 Stephanie Dominguez, Village Clerk



**Jurisdiction Certification**

I, WILL PLOTNER JR., A NEW MEXICO REGISTERED, PROFESSIONAL, LAND SURVEYOR DO HEREBY AFFIRM THAT THE PROPERTY DESCRIBED DOES LIE WITHIN THE PLATTING AND SUBDIVISION JURISDICTION OF THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE, NEW MEXICO.

*Will Plotner* 5/11/15  
 DATE  
 WILL PLOTNER JR.  
 N.M.P.S. No. 14271

**Surveyor's Certificate**

"I, WILL PLOTNER JR., A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, THE UTILITY COMPANIES OR OTHER INTERESTED PARTIES AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF."

*Will Plotner* 5/11/15  
 DATE  
 WILL PLOTNER JR.  
 N.M.R.P.S. No. 14271



**CARTESIAN SURVEYS INC.**

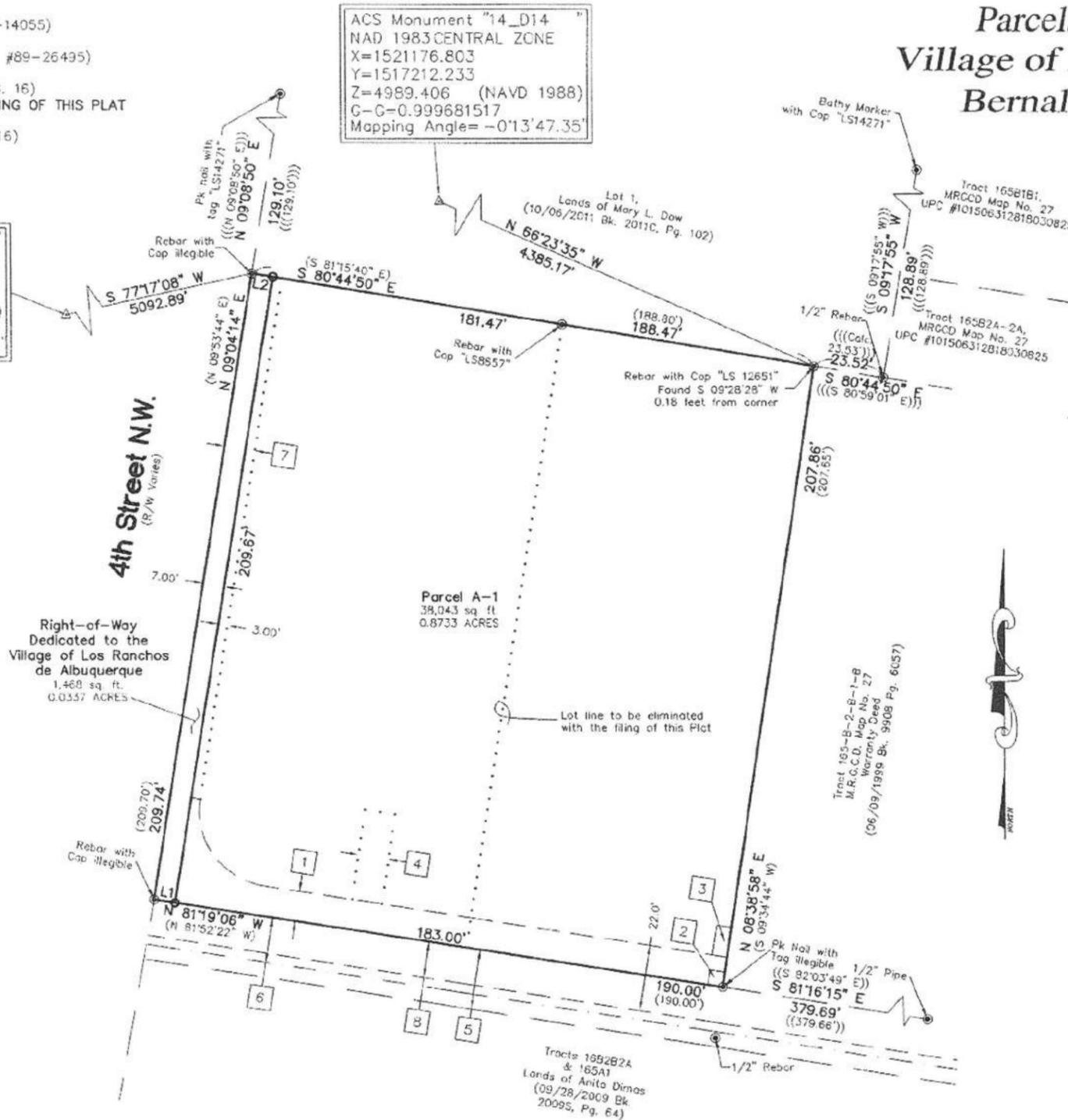
P.O. BOX 44414 RIO RANCHO, N.M. 87174  
 Phone (505) 896-3050 Fax (505)891-0244

# Plat for Parcel A-1 Lands of Anita Dimas Being comprised of Parcels A & B, Lands of Anita Dimas Village of Los Ranchos de Albuquerque Bernalillo County, New Mexico May 2015

- ### Easement Notes
- 1 EXISTING 10' PRIVATE ACCESS EASEMENT (10/13/1989, BK. C40, PG. 16)
  - 2 EXISTING 5' X 5' WATER & SEWER EASEMENT (02/23/1989, DOC. #89-14055)
  - 3 EXISTING 5' X 10' WATER METER EASEMENT (10/13/1989, BK. C40, PG. 16)
  - 4 EXISTING 10' X 30' PRIVATE SEWER EASEMENT (10/13/1989 BK. C40 PG. 16)  
VACATED WITH THE FILING OF THIS PLAT
  - 5 EXISTING 20' WATER AND SEWER EASEMENT (02/23/1989 DOC. #89-14055)
  - 6 EXISTING 15' GAS CO. RIGHT-OF-WAY EASEMENT (03/30/1989 DOC. #89-26495)
  - 7 EXISTING 10' PUBLIC ROADWAY EASEMENT (10/13/1989, BK. C40, PG. 16)  
PORTION OUTSIDE DEDICATED RIGHT-OF-WAY VACATED WITH THE FILING OF THIS PLAT
  - 8 EXISTING 12' EXISTING ROAD EASEMENT (10/13/1989, BK. C40, PG. 16)

ACS Monument "12\_D14"  
NAD 1983 CENTRAL ZONE  
X=1520041.333  
Y=1514366.453  
Z=4983.748 (NAVD 1988)  
G-G=0.999682100  
Mapping Angle=-0°13'54.99"

ACS Monument "14\_D14"  
NAD 1983 CENTRAL ZONE  
X=1521176.803  
Y=1517212.233  
Z=4989.406 (NAVD 1988)  
G-G=0.999681517  
Mapping Angle=-0°13'47.35"



### Legend

(N 90°00'00" E)	RECORD INFO FOR LANDS OF ANITA DIMAS (10/13/1989 BK. C40, PG. 16)
((N 90°00'00" E))	RECORD INFO LANDS OF ANITA DIMAS (09/28/2009 BK. 2009S, PG. 64)
((((N 90°00'00" E)))	RECORD INFO LANDS OF MARY L. DOW (10/06/2011 BK. 2011C, PG. 102)
N 90°00'00" E	MEASURED BEARING AND DISTANCES
●	FOUND AND USED MONUMENT AS INDICATED
○	SET BATHEY MARKER WITH CAP "LS 14271" UNLESS INDICATED OTHERWISE

LINE	LENGTH	BEARING
L1	7.00'	N 81°19'06" W
L2	7.00'	S 80°44'50" E

### Public Utility Easements:

Public utility easements shown on this plat are granted for the common and joint use of:

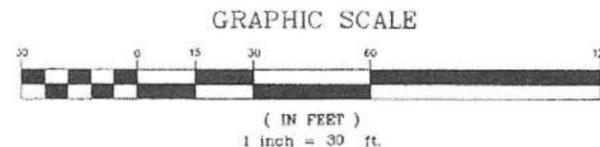
- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM electric) for installation, maintenance and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- C. Qwest Corp. d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantees, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

#### Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, report or other document and which are not shown on this plat.

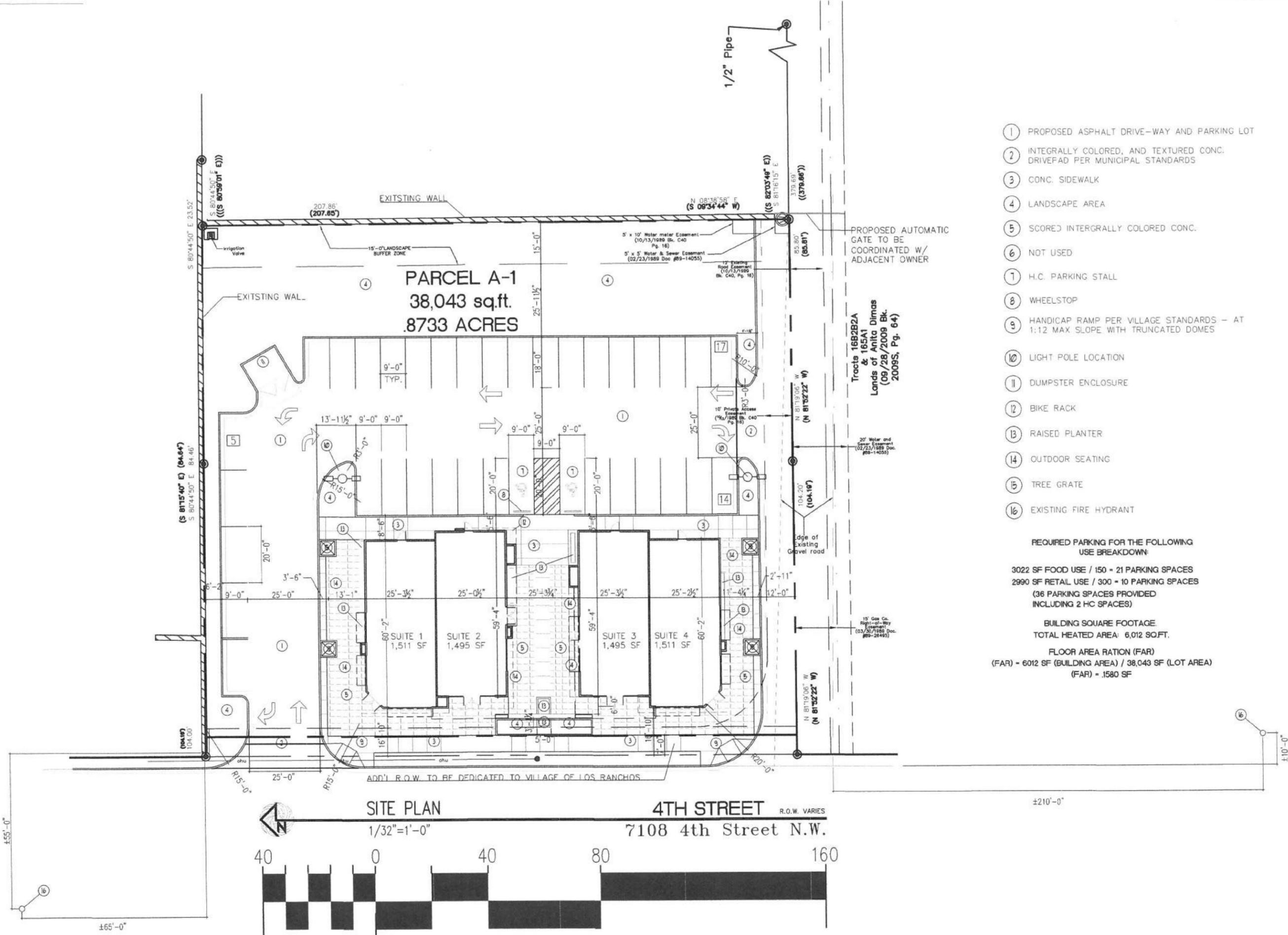


DOCH 2215053442  
06/23/2015 11:32 AM Page: 2 of 2  
PLAT # 25 00 6 2015 P: 0071 R. Toulouse Oliver, Bernalillo Co. N.M.

**CARTESIAN SURVEYS INC.**

P.O. BOX 44414 RIO RANCHO, N.M. 87174  
Phone (505) 896-3050 Fax (505)891-0244

# **SITE DEVELOPMENT PLAN**



- ① PROPOSED ASPHALT DRIVE-WAY AND PARKING LOT
- ② INTEGRALLY COLORED, AND TEXTURED CONC. DRIVEPAD PER MUNICIPAL STANDARDS
- ③ CONC. SIDEWALK
- ④ LANDSCAPE AREA
- ⑤ SCORED INTERGRALLY COLORED CONC.
- ⑥ NOT USED
- ⑦ H.C. PARKING STALL
- ⑧ WHEELSTOP
- ⑨ HANDICAP RAMP PER VILLAGE STANDARDS - AT 1:12 MAX SLOPE WITH TRUNCATED DOMES
- ⑩ LIGHT POLE LOCATION
- ⑪ DUMPSTER ENCLOSURE
- ⑫ BIKE RACK
- ⑬ RAISED PLANTER
- ⑭ OUTDOOR SEATING
- ⑮ TREE GRATE
- ⑯ EXISTING FIRE HYDRANT

**REQUIRED PARKING FOR THE FOLLOWING USE BREAKDOWN:**

3022 SF FOOD USE / 150 = 21 PARKING SPACES  
 2990 SF RETAIL USE / 300 = 10 PARKING SPACES  
 (36 PARKING SPACES PROVIDED INCLUDING 2 HC SPACES)

**BUILDING SQUARE FOOTAGE**  
 TOTAL HEATED AREA: 6,012 SQ.FT.

**FLOOR AREA RATION (FAR)**  
 (FAR) = 6012 SF (BUILDING AREA) / 38,043 SF (LOT AREA)  
 (FAR) = .1580 SF

REV	DATE	BY	REVISION
△			
△			
△			
△			
△			

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

**PROJECT TITLE**  
 LOS RANCHOS SHOPS  
 7108 4TH STREET NW  
 LOS RANCHOS DE ALBUQUERQUE, NM 87107

**PROJECT MANAGER**  
 JONATHAN STERN

**DATE**  
 7/1/15

**SCALE**  
 AS NOTED

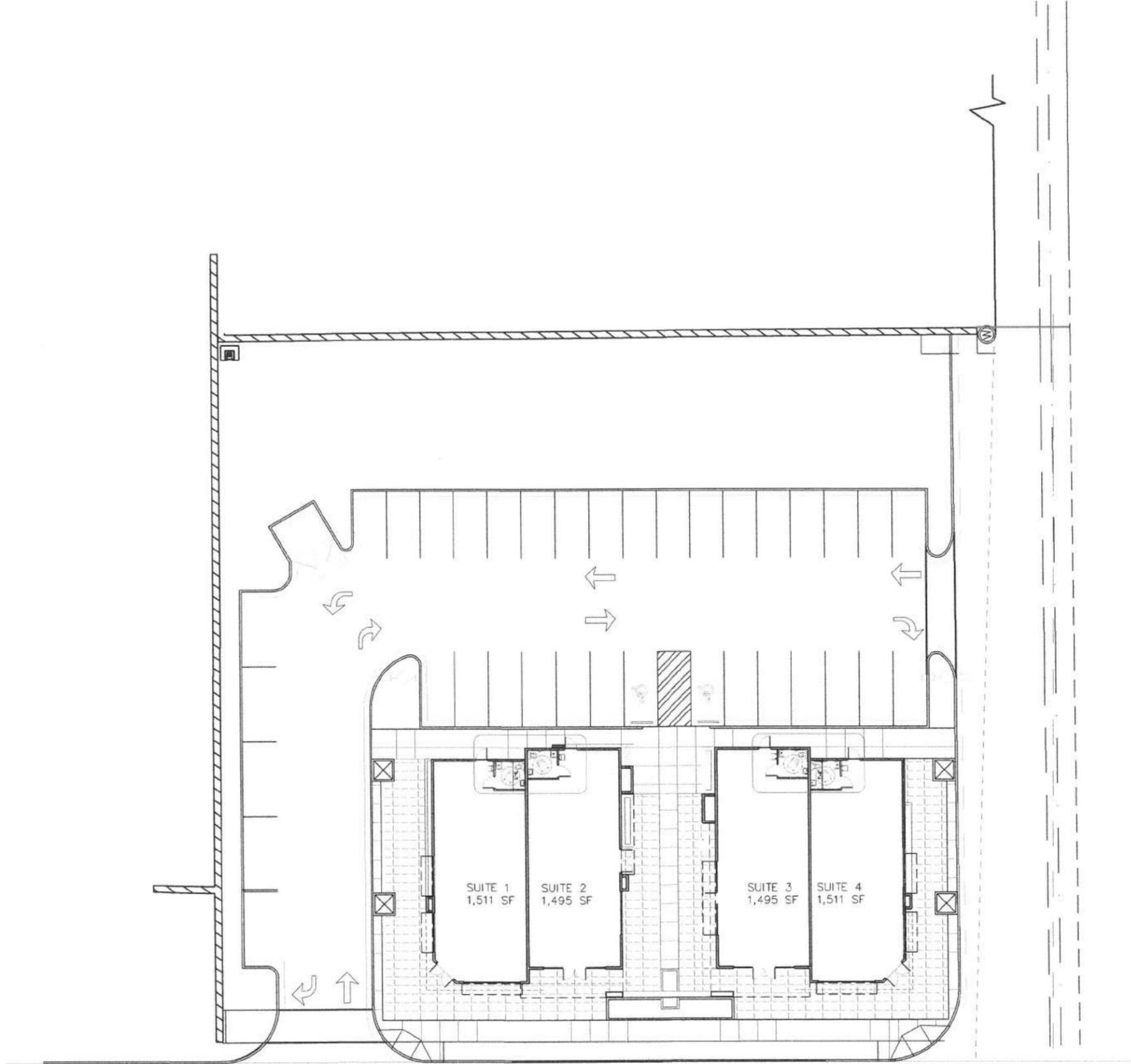
**SHEET TITLE**  
 SITE PLAN

**DATE**  
 7/1/15

**SCALE**  
 AS NOTED

**SHEET NO.**  
 AS.1

# **BUILDING ARCHITECTURAL PLAN**



**FLOOR PLAN**  
SCALE: 1/32"=1'-0"

REV	DATE	BY	REVISION
6			
5			
4			
3			
2			

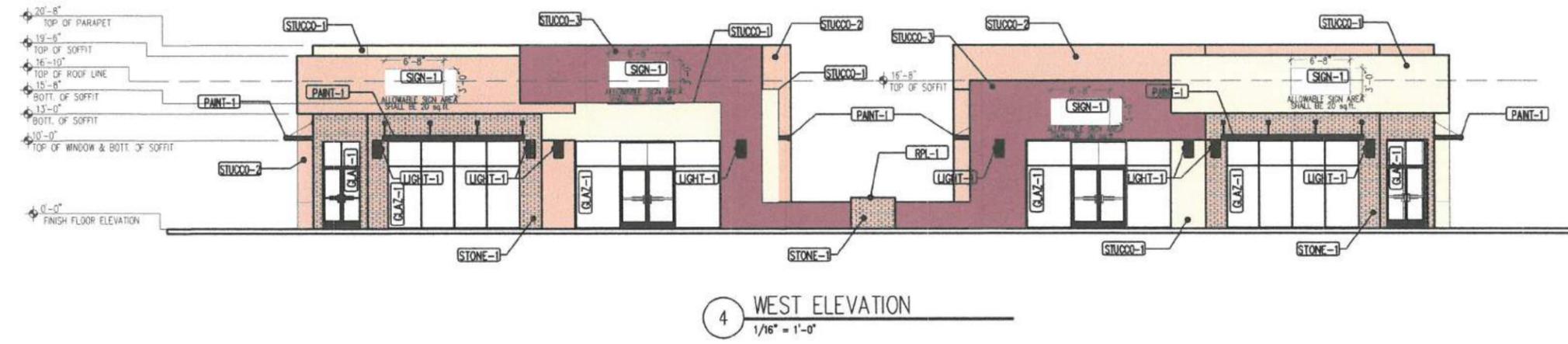
**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



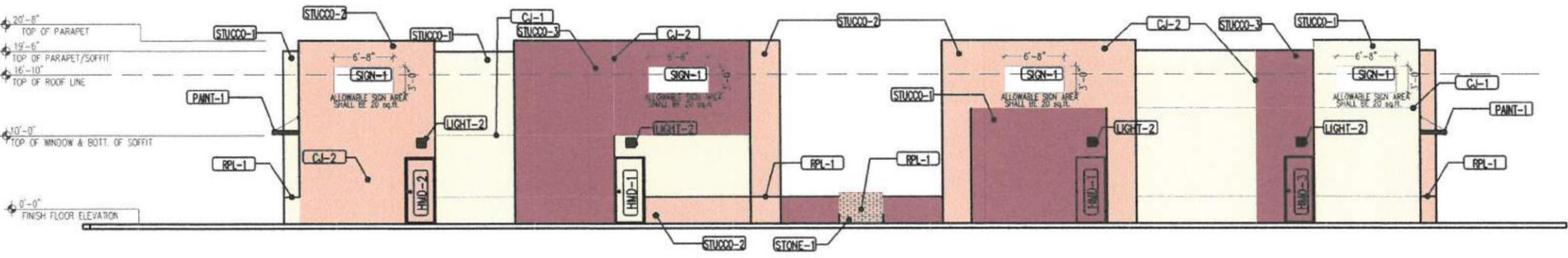
<b>PROJECT TITLE</b> LOS RANCHOS SHOPS 7108 4TH STREET LOS RANCHOS DE ALBUQUERQUE, NM 87107		<b>DATE</b> 7/2/2015	
<b>PROJECT MANAGER</b> JONATHAN STERN	<b>ARCHITECT</b> —	<b>UNIVERSITY REV.</b> SAF	<b>DATE</b> —
<b>PROJECT TITLE</b> LOS RANCHOS SHOPS		<b>DATE</b> 7/2/2015	
<b>PROJECT TITLE</b> LOS RANCHOS SHOPS		<b>DATE</b> 7/2/2015	

<b>DATE</b> 7/2/2015	<b>REV</b> —
<b>SCALE</b> AS NOTED	<b>NO.</b> A1

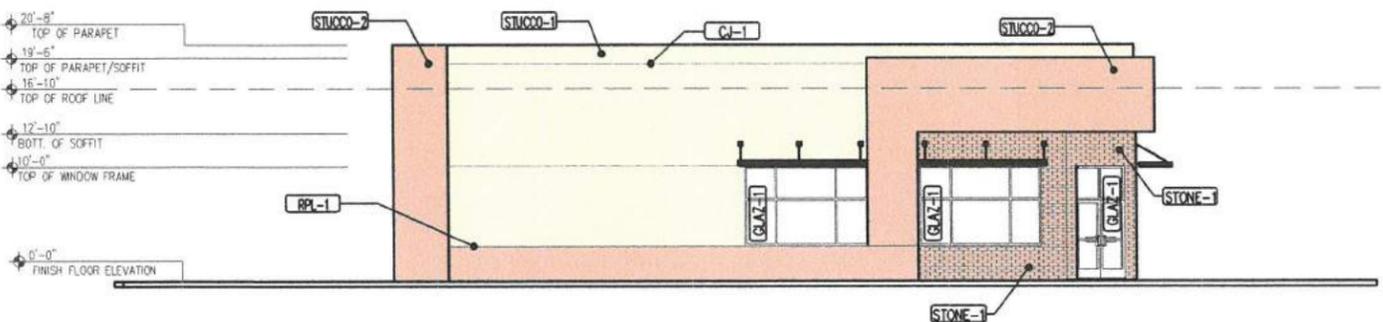
**FLOOR PLAN**



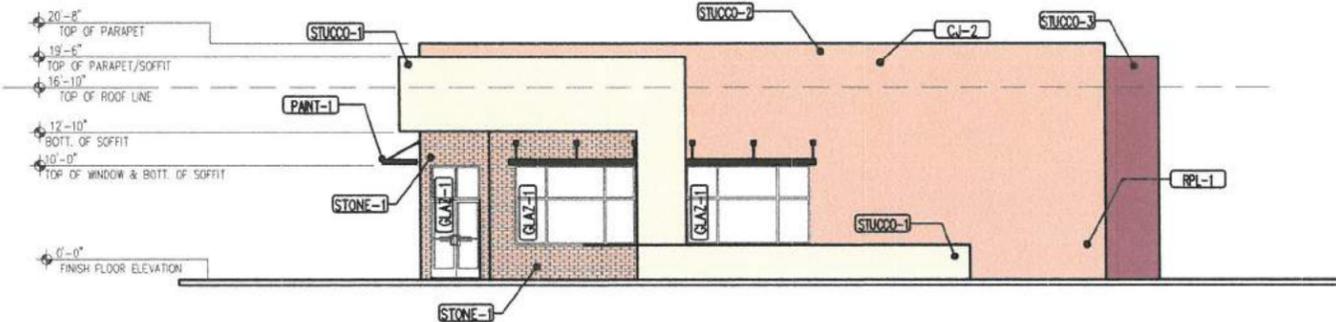
4 WEST ELEVATION  
1/16" = 1'-0"



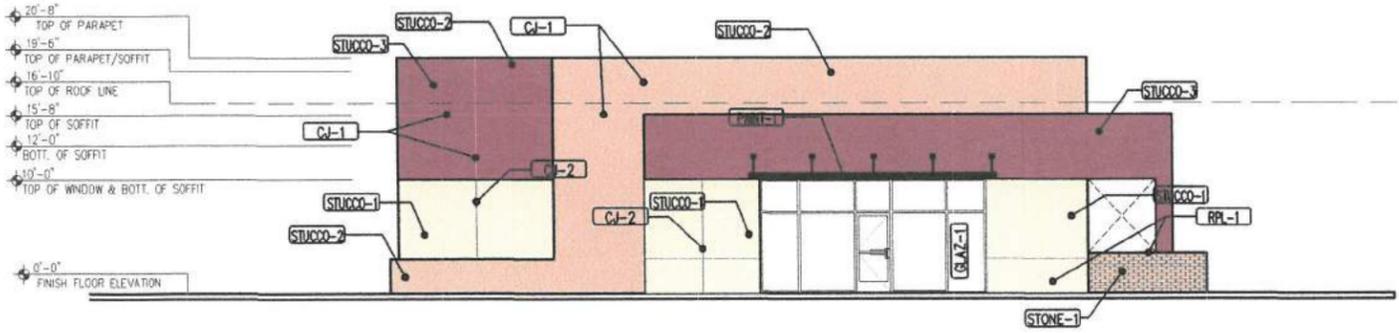
4 EAST ELEVATION  
1/16" = 1'-0"



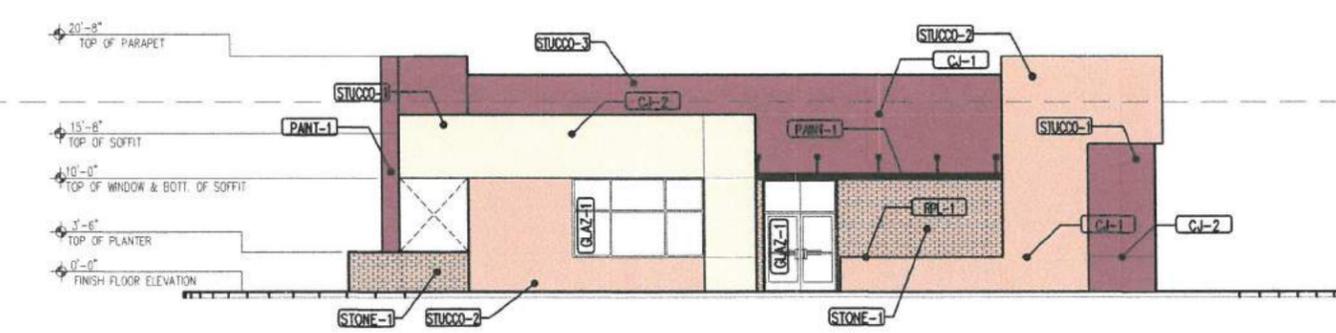
4 NORTH ELEVATION  
1/16" = 1'-0"



4 SOUTH ELEVATION  
1/16" = 1'-0"



4 COURTYARD NORTH ELEVATION  
1/16" = 1'-0"



4 COURTYARD SOUTH ELEVATION  
1/16" = 1'-0"

EXTERIOR MATERIALS	
STUCCO-1	EXTERIOR STUCCO SYSTEM, COLOR = SW 7681 TEA LIGHT
STUCCO-2	EXTERIOR STUCCO SYSTEM, COLOR = SW 0007 DECOROUS AMBER
STUCCO-3	EXTERIOR STUCCO SYSTEM, COLOR = SW 2906 CRIMSON RED
COPING-1	PREFINISHED METAL COPING OVER NEW EIFS TRIM DETAIL, COLOR = PREFINISHED TO MATCH ADJACENT EIFS COLOR COAT
COPING-2	PREFINISHED METAL COPING OVER METAL STUD PARAPET WALL, COLOR = PREFINISHED TO MATCH ADJACENT STUCCO COLOR COAT
PANT-1	EXTERIOR PAINT(DECORATIVE ELEMENTS/AWNING STEEL), COLOR = SW 6991 BLACK MAGIC
GLAZ-1	ALUMINUM STOREFRONT SYSTEM, KAWNEER TRI-FAB 451T THERMALLY BROKEN BRONZE ANNO. W/ 1" INSULATED LOW "E" GLAZING UNITS
SIGN-1	INDIVIDUAL LETTER SIGNAGE w/ INTERNALLY ILLUMINATED, PROVIDE 5/8" FIRE RETARDANT PLY. BACKING AT SIGN AREA
LIGHT-1	EXTERIOR DECORATIVE LIGHT FIXTURE,
LIGHT-2	EXTERIOR WALL PACK
HMD-1	EXTERIOR HOLLOW METAL DOOR AND FRAME, COLOR: PAINT TO MATCH ADJACENT STUCCO
CJ-1	1/2" STUCCO CONTROL JOINT
CJ-2	1/2" "V" REVAL JOINT IN PATTERN DESIGNATED ON ELEVATION
STONE-1	CULTURED STONE
RPL-1	RAISED PLANTER

REV	DATE	BY	REVISION
1			
2			
3			
4			

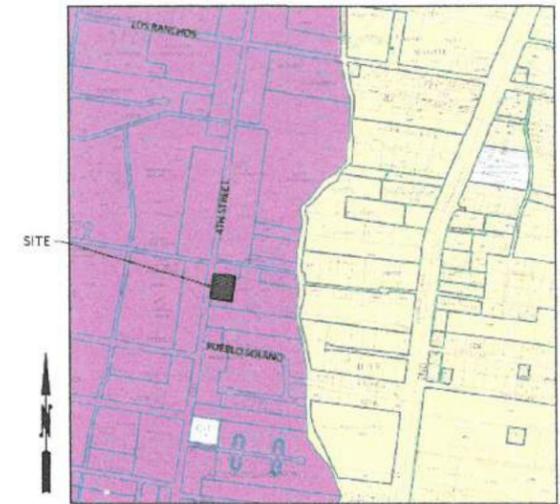
**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE: **LOS RANCHOS SHOPS**  
 7109 4TH STREET  
 LOS RANCHOS DE ALBUQUERQUE, NM 87107  
 PROJECT MANAGER: JONATHAN STERN  
 DRAWN BY: SAF  
 SHEET TITLE: **ELEVATIONS**

DATE: 07/15  
 SCALE: AS NOTED  
 SHEET NO: **A2**

# **GRADING, UTILITY, & DRAINAGE PLAN**

REV	DATE	BY	REVISION



VICINITY MAP D-15 N.T.S.

LEGEND

FF=4989.00	FINISH FLOOR ELEVATION	4" FL	4" FIRE LINE
---	EXISTING CONTOUR LINE	PIV	POST INDICATOR VALVE
---	NEW CONTOUR LINE	2" SAS	EXISTING SANITARY SEWER
4987.41	EXISTING SPOT ELEVATION	W	EXISTING WATER LINE
TC	TOP OF CURB	W	NEW WATER LINE
FL	FLOW LINE		
32.1	SPOT ELEVATION		

DRAINAGE

LEGAL: Parcels A & B, Lands of Anita Dimas, Bernalillo County, NM

AREA: 39,511 SF (0.907 acre)

BENCHMARK: City of Albuquerque Station '14-D14' being a brass cap  
ELEV= 4989.406 (NAVD 1988)

SURVEYOR: Cartesian Surveys, Inc. dated February, 2014

PRECIPITATION ZONE: 2

FLOOD HAZARD: From FEMA Map 35001C0117G (dated 9/26/08), this site is identified as being within Zone 'X' which is located outside the 0.2% chance annual floodplain.

EXISTING CONDITIONS: The existing site is undeveloped and very flat. There is a dirt road along the south side, CMU block walls along the east and north, and 4th Street running along the west side of the site.

PROPOSED IMPROVEMENTS: The proposed improvements include two 3,006 SF one-story commercial buildings with associated paved parking and landscaping.

DRAINAGE APPROACH: The drainage plan will direct flows to the east side of the lot where a landscaped depression is proposed. Developed runoff will discharge to the parking area east of the buildings and be conveyed on the surface to three curb openings.

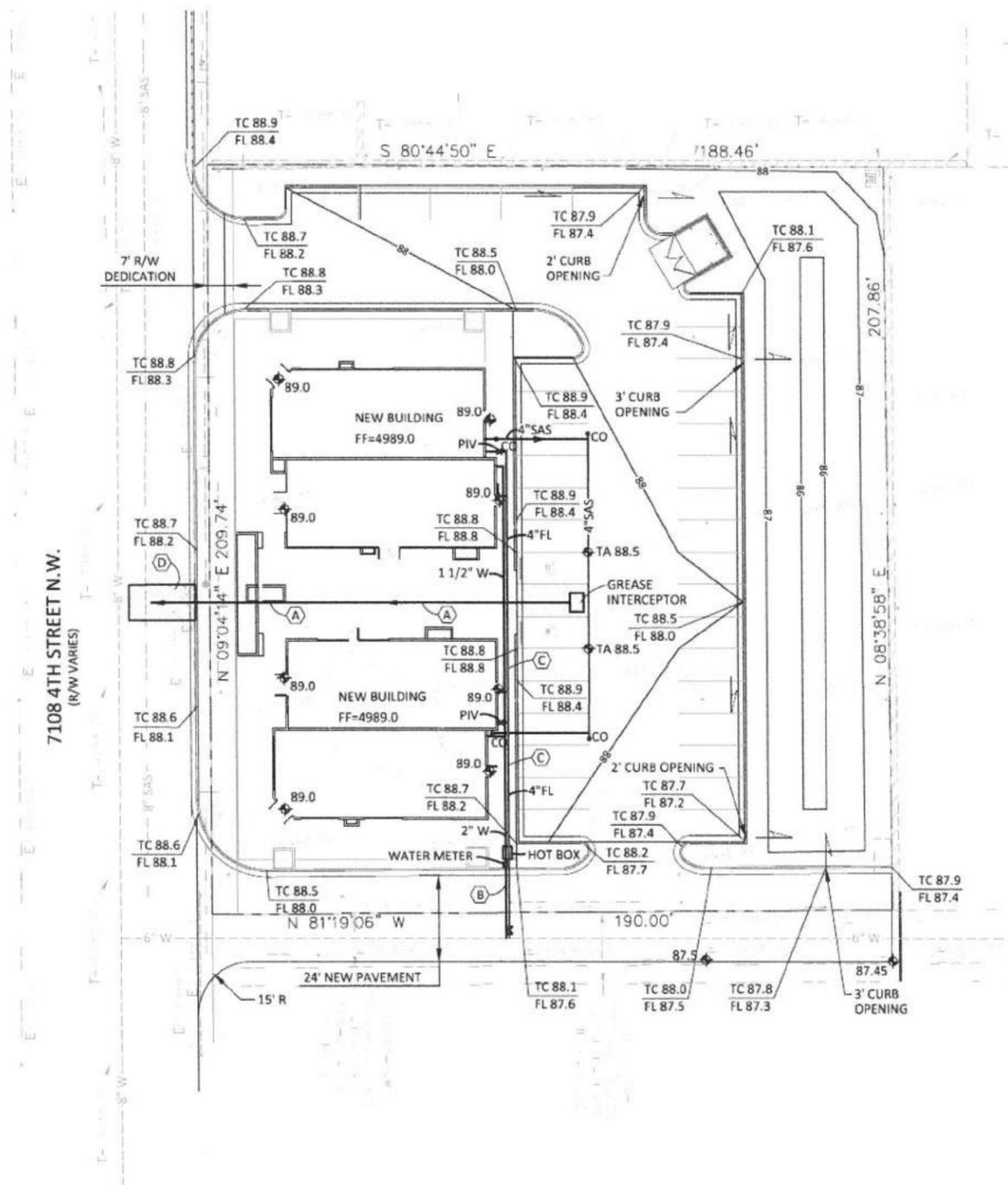
Existing land treatment: 100% A  
Q= (0.907)(1.56)=1.4 CFS

Proposed land treatment: 24% C and 76% D  
Q= (0.220)(3.14)+(.687)(4.70) 3.9 CFS

The proposed improvements increase site runoff, but with the proposed onsite detention there won't be any impact to downstream drainage facilities.

KEYED NOTES

- A. NEW 6" SANITARY SEWER SERVICE PER ABCWUA STD DRAWING #2125. EXTEND 4" SEWER TO EACH BUILDING -- SEE PLUMBING PLAN FOR CONTINUATION.
- B. NEW 1-1/2" WATER SERVICE (PER STD DWGS # 2363 & 2367) FROM WATER MAIN TO PROPERTY LINE TO BE BUILT BY ABCWUA MINI WORK ORDER. INSTALL NEW 1-1/2" & 4" REDUCED PRESSURE BACKFLOW ASSEMBLIES (AMES MODEL C-400-N-BFG) IN A HOT-BOX MODEL HB 3000 WITH A 1000W HEATER @ 120V 1-PHASE.
- C. NEW 4" FIRELINE TO EACH BUILDING FROM WATER MAIN (ABCWUA STD DWGS #2326, 2328-2329) BY ABCWUA MINI WORK ORDER. INSTALL POST INDICATOR VALVE (PIV) AS SHOWN.
- D. REMOVE & REPLACE EXISTING COMMERCIAL STREET PAVING (SHOWN WITH CROSS-HATCHING) PER COA STD DWG #2465.



7108 4TH STREET N.W.  
(R/W VARIES)

PRELIMINARY GRADING & UTILITY PLAN

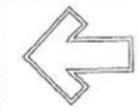
1" = 20 FT

**MODULUS ARCHITECTS**  
 220 COPPER AVE. N.W. SUITE 350  
 ALBUQUERQUE, NEW MEXICO 87102  
 PHONE (505) 338-1499 FAX (505) 338-1498



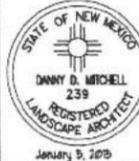
PROJECT NO.	7108 4TH STREET N.W.
PROJECT NAME	PRELIMINARY GRADING & UTILITY PLAN
DRAWN BY	
CHECKED BY	
DATE	
SHEET NO.	C101

# LANDSCAPE PLAN



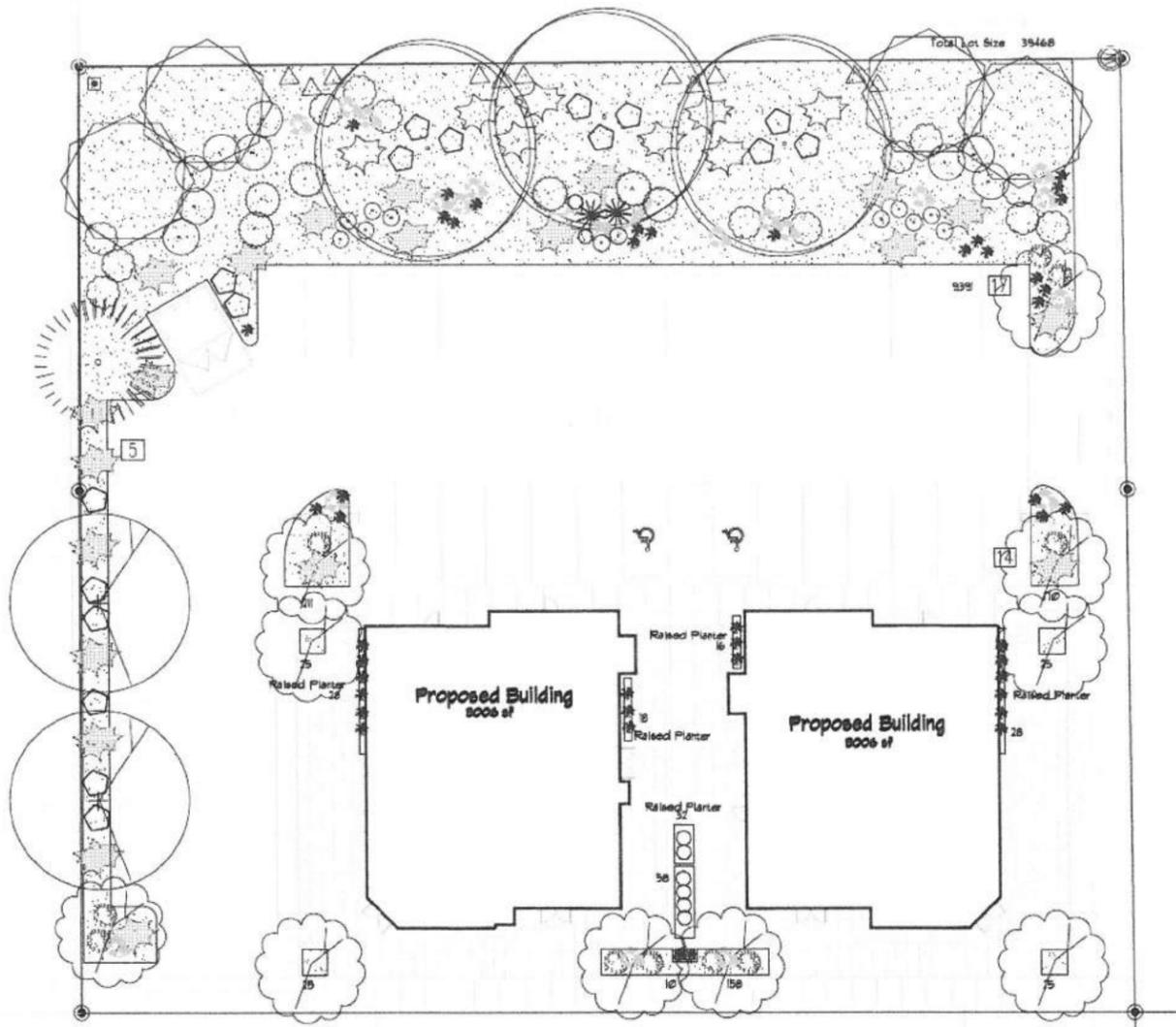
The Hilltop  
1008 Edith Ave  
Albuquerque, NM 87104  
Core Lic. #14189  
Ph: (505) 898-3630  
Fax: (505) 898-7737  
danny@thehilltop.com

Landscape Architect

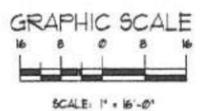


Los Ranchos Shops  
1108 4th St. NW  
Albuquerque, NM

LANDSCAPE PLAN



4TH STREET  
1108 4th Street N.W.



LANDSCAPE LEGEND

QTY	SIZE	COMMON BOTANICAL	H2O USE
<b>Trees</b>			
2	2' cal	Chinese Pistache 40x35 <i>Pistacia chinensis</i>	M
3	2' cal	Honey Locust 50x45 <i>Gleditsia triacanthos</i>	M
1	6 - 8'	Austrian Pine 35x25 <i>Pinus nigra</i>	M
1	4 - 6'	Pine 30x20 <i>Pinus edulis</i>	M
2	4 - 6'	Palm Yucca 15x6 <i>Yucca taxoniana</i>	M
10	8 Gal.	Oklahoma Redbud 15x2 <i>Cercis reniformis</i>	M
<b>Shrubs &amp; Groundcovers</b>			
4	4 - 6'	Desert Willow 10x25 <i>Chilopsis linearis</i>	675 2500 M
10	5 Gal	India Hawthorne 3x5 <i>Raphiolepis indica</i>	25 250 M
45	5 Gal	Feather Reed Grass 15x2 <i>Calamagrostis aridacea</i>	4 160 M
17	5 Gal	Wintergreen Barberry 5x5 <i>Berberis julianae</i>	25 425 M
11	5 Gal	Butterfly Bush 5x5 <i>Buddleia davidii</i>	25 215 M
8	5 Gal	Winter Jasmine 4x2 <i>Jasminum nudiflorum</i>	144 152 M
21	5 Gal	Buffalo Juniper 1x2 <i>Juniperus sabina 'Buffalo'</i>	144 3024 M
8	5 Gal	Cherry Sage 1x3 <i>Salvia greggii</i>	9 72 M
12	5 Gal	Blue Mist 3x3 <i>Caryopteris x clandonensis</i>	9 108 M
14	5 Gal	Fern Bush 5x5 <i>Chamaebotania millefolium</i>	36 504 L
6	5 Gal	Apache Plume 6x1 <i>Folugia paradoxa</i>	48 294 L
9	5 Gal	Chamae 5x1 <i>Chrysothamnus nauseosus</i>	25 225 L
18	1-3cf	Boulders To be placed at contractor discretion	9009
		Landscape Gravel / Filter Fabric 3/4" Crushed Gray	10030
		Raised Planters Bark Mulch, Garden Soil	130

LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Brown Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

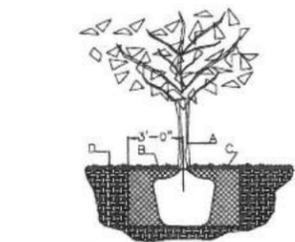
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

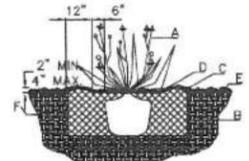
LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	39468
TOTAL BUILDING AREA (sf)	6072
TOTAL LOT AREA (sf)	33396
LANDSCAPE REQUIREMENT	15%
TOTAL LANDSCAPE REQUIRED (sf)	5009
TOTAL LANDSCAPE PROVIDED (30%)	10018
TOTAL LIVE GROUND COVER REQUIRED (75%)	1653
TOTAL LIVE GROUND COVER PROVIDED	9009



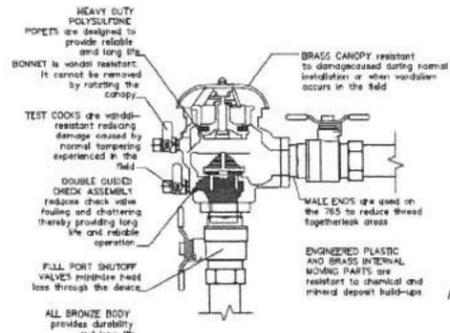
TREE PLANTING DETAIL

- NTS
- GENERAL NOTES:
- ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  - TOP OF ROOTCOLLAR INDICATED LEVEL, AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  - PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  - PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:
- TREE
  - BACKFILL WITH EXISTING SOIL
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE
  - UNDISTURBED SOIL

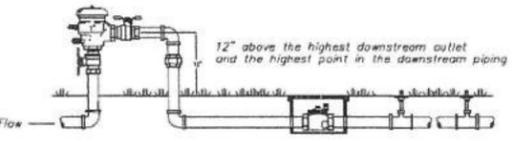


SHRUB PLANTING DETAIL

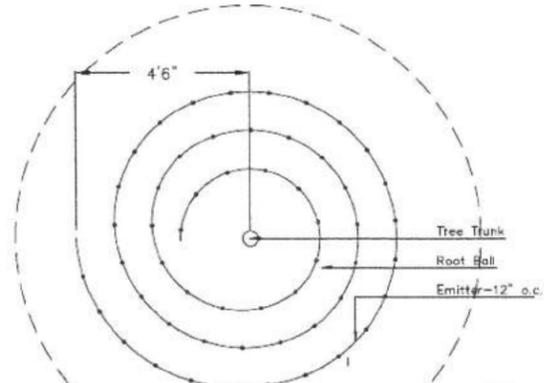
- NTS
- GENERAL NOTES:
- THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:
- SHRUB
  - BACKFILL WITH EXISTING SOIL
  - EARTH BERM AROUND WATER RETENTION BASIN.
  - 3" DEPTH OF GRAVEL MULCH.
  - FINISH GRADE
  - UNDISTURBED SOIL



FEBCO MODEL 765  
Pressure Vacuum Breaker  
Features



FEBCO MODEL 765  
Pressure Vacuum Breaker  
Outside Installation



Netafim Spiral Detail

Preliminary  
Not For Bid

The design contained herein remains the property of the Hilltop Architects & Contractors. It is to be used only for the project and site shown. This is an original design and must not be reprinted or copied without the written consent of the Hilltop Architects & Contractors.



DRAWN BY  
DATE

SHEET #  
LS-101

# **SIGNAGE & LIGHTING PLAN**



## **8. OLD BUSINESS**

A. DISCUSSION AND APPROVAL OF AN ORDINANCE AMENDING CHAPTER 9, ARTICLE 4, SECTION 2 DEFINITIONS §9.4.2., SECTION 3 ZONE REVIEW AND BUILDING PERMITS FOR MRGCD TRACTS §9.4.3., MIDDLE RIO GRANDE CONSERVATION DISTRICT TRACTS, TO THE 2013 CODIFIED ORDINANCES OF THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.

# **Village of Los Ranchos de Albuquerque**

## **Board of Trustees**

**Meeting Date: February 10, 2016**

**Title: A DISCUSSION AND APPROVAL OF AN ORDINANCE AMENDING CHAPTER 9, ARTICLE 4, SECTION 2 DEFINITIONS §9.4.2., SECTION 3 ZONE REVIEW AND BUILDING PERMITS FOR MRGCD TRACTS §9.4.3., MIDDLE RIO GRANDE CONSERVATION DISTRICT TRACTS, TO THE 2013 CODIFIED ORDINANCES OF THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.**

**Action: Motion to approve the Ordinance**

**VILLAGE OF LOS RANCHOS de ALBUQUERQUE  
ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING §9.4. ESTABLISHING A PROCEDURE TO ADMINISTER ZONING REVIEW, BUILDING PERMITS AND OTHER ADMINISTRATIVE PROCEDURES RELATING TO QUALIFYING MIDDLE RIO GRANDE CONSERVATION DISTRICT TRACTS, ADDING PROCEDURES FOR COMMERCIAL PROPERTIES.**

**BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE GOVERNING BODY OF THE VILLAGE OF LOS RANCHOS de ALBUQUERQUE, THAT**

**§9.4. SECTIONS 2 AND 3 ARE HEREBY AMENDED AS FOLLOWS:**

**§9.4.2 DEFINITIONS**

**ADD: O.** "Commercial Building" means any building or group of buildings used for office, wholesale or retail purposes in which the owner or lessee and/or employees are engaged in work for which it is intended that compensation be received for goods or services which building(s) was constructed in accordance with applicable building and zoning codes at the time of construction. Hotels, motels and apartment buildings as well as residential rental property are considered Commercial Buildings.

**§9.4.3 ZONE REVIEW AND BUILDING PERMITS FOR MRGCD TRACTS.**

**ADD F.** If a commercially zoned MRGCD Tract is not improved with a Commercial Building and is at least 1/3 acre in size, prior to issuance of a Building Permit for any construction, the MRGCD Tract shall be platted pursuant to the Subdivision Code. A determination as to whether the application for plat must be processed as a Major Subdivision or Minor Subdivision shall be made by the Planning Director in accordance with the applicable provisions of the Subdivision Code.

**ADD G.** If a commercially zoned MRGCD Tract is not improved with a Commercial Building and is less than the minimum size determined by the Village pursuant to a Site Development Plan to be acceptable in the Gateway District or 1/3 acre in all other zones, prior to issuance of a Building Permit for any construction, the MRGCD Tract shall be platted pursuant to the Subdivision Code and the landowner(s) shall be required to obtain a lot size variance in accordance with the procedures set out in the Zoning Code.

**ADD H.** The Village or its designee may issue Building Permits for construction on an MRGCD Tract which is at least the minimum size determined by the Village pursuant to a Site Development Plan to be acceptable in the Gateway District Zone or 1/3 acre in size in all other zones, and is improved with a Commercial Building without the requirement of a Subdivision Plat, provided the existing Commercial

1 Building is not expanded by more than 20%. If the MRGCD Tract is either (a) not  
2 at least 1/3 acre in size or (b) the building footprint is going to be expanded by  
3 more than 20%, a Subdivision Plat will be required. For MRGCD Tracts of less  
4 than 1/3 acre a variance under the Zoning Code Is required. All other requirements  
5 including setbacks must be complied with. Multiple MRGCD Tracts under one  
6 ownership and improved with a Commercial Building which is built on more than  
7 one tract or which utilizes parking or other ancillary uses on more than one tract,  
8 must go through the Subdivision process prior to issuance of a Building Permit.

9  
10 **ADD I.** The Village or the Planning Director shall have the authority to issue a  
11 Zone Review Approval for construction on a single MRGCD Tract which is less  
12 than 1/3 acre in size and which is improved with a Commercial Building without  
13 requiring the MRGCD Tract be platted if, in the opinion of the Planning Director,  
14 the property and the Commercial Building comply with all other requirements  
15 excepting the size of the MRGCD Tract. The Village shall also have the authority  
16 (but not the obligation) to allow the building footprint for the existing Commercial  
17 Building or ancillary buildings to be increased by up to 20%, provided such  
18 expanded size is otherwise in compliance with all required setbacks and other  
19 regulations of the Village Codes. Multiple MRGCD Tracts under one ownership  
20 and improved with a Commercial Building must go through the Subdivision  
21 process, but will not require a Variance for minimum lot size.

22  
23 **SEVERABILITY.** If any section, subsection, paragraph, sentence, clause, phrase,  
24 or part hereof is for any reason declared unconstitutional or invalid, the validity of  
25 the remaining portions hereof shall not be affected since it is the expressed intent  
26 of the Board of Trustees to pass each section, subsection, paragraph, clause,  
27 phrase and every part thereof separately and independently of every other part.

28 **EFFECTIVE DATE, REPEAL AND PUBLICATION.** This Ordinance shall take  
29 effect and be in full force five (5) days after publication of adoption of this  
30 Ordinance.

31 **COMPILING CLAUSE.** This Ordinance shall be incorporated in and compiled as  
32 part of the Codified Ordinances of the Village of Los Ranchos.

33  
34 **APPROVED AND ADOPTED** by the Governing Body of the Village of Los  
35 Ranchos de Albuquerque this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

36  
37  
38  
39  
40  
41 \_\_\_\_\_  
42 Larry P. Abraham, Mayor

43 ATTEST:  
44  
45

1  
2  
3

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Stephanie Dominguez, Village Clerk

## **ARTICLE 4. MIDDLE RIO GRANDE CONSERVATION DISTRICT TRACTS**

SECTION 1.	Purpose
SECTION 2.	Definitions
SECTION 3.	Zone Review and Building Permits for MRGCD Tracts
SECTION 4.	No Presumption
SECTION 5.	Limited Application
SECTION 6.	Severability

### **§ 9.4.1 PURPOSE**

The purpose of this Article is to establish a procedure to administer zoning review, building permits and other administrative procedures relating to qualifying Middle Rio Grande Conservation District Tracts. Middle Rio Grande Conservation District Tracts were created for the purpose of administering water rights and delivering water to certain tracts of land within the Middle Rio Grande Conservation District (“**MRGCD**”). In most cases, the MRGCD Tracts were not created by subdivision plat after governmental approval; however, the MRGCD Tract descriptions have, in many cases, been used for property conveyances. As a matter of public policy, the Village has determined that MRGCD Tracts should be recognized legal parcels for certain purposes, as set out herein.

### **§ 9.4.2 DEFINITIONS**

**(A) MIDDLE RIO GRANDE CONSERVATION DISTRICT** means the district formed in the State of New Mexico for administration of rivers and waters and conservation and will be abbreviated in this Article by the phrase “MRGCD.”

**(B) MRGCD.** Tract(s) as used herein shall mean those tracts shown on the MRGCD maps which Tracts were not either created by or subsequently platted in a Subdivision Plat and which were designated by MRGCD prior to 1967.

**(C) SUBDIVISION PLAT** shall mean a Plat prepared by a licensed surveyor or engineer creating or incorporating lots or parcels, which Plat has been approved through the administrative subdivision and platting process under the platting jurisdiction of the Village, Bernalillo County, or the City of Albuquerque, and further, has been recorded in the real property records of Bernalillo County, or the City of Albuquerque, and further, has been recorded in the real property records of Bernalillo County after receipt of all necessary approvals.

**(D) LOT OR LOT OF RECORD** as used herein shall mean a lot or parcel created by a Subdivision Plat.

**(E) SUBDIVISION CODE** as used herein shall mean the currently adopted Subdivision provisions as set out in Chapter 9, Article 1 of the 2013 Codified Ordinances of the Village of Los Ranchos.

**(F) ZONING CODE** shall mean the Zoning provisions as set out in Chapter 9, Article 2 of the 2013 Codified Ordinances of the Village of Los Ranchos or subsequent Codification of the Ordinances.

**(G) PLAT** means a map created by a licensed engineer or surveyor, prepared in accordance with the survey requirements of the State of New Mexico, showing thereon one or



more separate parcels of land, identified by metes and bounds descriptions and any identifiable monuments and other requirements of the governmental authority having jurisdiction over platting and subdividing real property.

**(H) CLASS 1 MRGCD TRACT** means an MRGCD Tract designated as a separate parcel on an official MRGCD map and which is 0.25 acres or more in net area.

**(I) CLASS 2 MRGCD TRACT** means an MRGCD Tract designated as a separate parcel on an official MRGCD map and which is less than 0.25 net acres.

**(J) EXISTING SINGLE FAMILY RESIDENCE** shall mean a house or structure occupied or historically used as a single-family residence which house was constructed on an MRGCD Tract in accordance with ordinances and regulations in effect at the time the structure was completed.

**(K) APPLICABLE ZONE** shall mean the zoning designation for an MRGCD Tract under the Zoning Code.

**(L) BUILDING PERMIT** shall mean a permit issued by the Village or its designee for construction on an MRGCD Tract pursuant to the applicable ordinances in effect at the time a zone review and a Building Permit are applied for. Bernalillo County is currently the designee for the Village for the purpose of issuing Building Permits.

**(M) NET ACRES** as used herein shall mean the acreage of the MRGCD Tract determined in the same manner minimum lot sizes are calculated under the Subdivision Code.

**(N) MRGCD TRACTS NOT LOTS.** For purposes of the Ordinances of the Village, an MRGCD Tract shall not be deemed to be a Lot or Lot of Record.

### § 9.4.3 ZONE REVIEW AND BUILDING PERMITS FOR MRGCD TRACTS

**(A)** If an MRGCD Tract is not improved with an Existing Single-Family Residence but meets the size requirements of the Applicable Zone, prior to issuance of a Building Permit for any construction, the MRGCD Tract shall be platted pursuant to a Subdivision Plat. Regardless of the size of the MRGCD Tract, if the proposed plat does not combine two or more MRGCD Tracts, the platting shall be deemed a “Minor Subdivision.”

**(B)** If an MRGCD Tract is not improved with an Existing Single-Family Residence and does not meet the size requirements of the Applicable Zone, prior to issuance of a Building Permit for any construction, the MRGCD Tract shall be platted pursuant to a Subdivision Plat, in which case the landowner(s) shall also be required to obtain a variance pursuant to the procedures set out in the Zoning Code in addition to compliance with the Subdivision Code. A determination as to whether or not the platting must be processed as a Major Subdivision or a Minor Subdivision shall be determined in accordance with the Subdivision Code.

**(C)** For all Class 1 MRGCD Tracts and Class 2 MRGCD Tracts which are improved with an existing Single-Family Residence, such Existing Single-Family Residence shall be deemed an existing permitted use which use may continue but which use cannot be expanded as to size or intensity, except in accordance with the provisions of this Article.

**(D)** The Village or its designee may issue Building Permits for construction on a single Class 1 MRGCD Tract which is improved with an Existing Single-Family Residence even though such Tract does not meet the minimum size requirements under the Applicable Zone without requirement that the Class 1 MRGCD Tract be platted in accordance with the Subdivision Code and without a Variance being issued pursuant to the Zoning Code. The Village shall have the authority (but not the obligation) to allow the building footprint for the Existing



Single-Family Residence or ancillary buildings to be expanded, provided such expanded size is otherwise in compliance with all required setbacks, floor area ratio, and other regulations of the Village Ordinances. Multiple MRGCD Tracts under one ownership and improved with a Single-Family Residence must go through the Subdivision process, but do not require a Variance for minimum lot area.

**(E)** The Village or its designee may issue Building Permits for construction on a class 2 MRGCD Tract which is improved with an Existing Single-Family Residence without the requirement of a Subdivision Plat, provided the Existing Single-Family Residence is not expanded as to its footprint size. If the Tract does not meet the minimum size requirements under the applicable zone and the size of the residence's footprint is going to be expanded, a Subdivision Plat will not be required, but a variance under the Zoning Code will be required and all other requirements including setbacks and floor area ratio must be complied with.

#### **§ 9.4.4 NO PRESUMPTION**

There is no presumption that an owner is entitled to construct a Single-Family Residence on any property based solely upon the fact that it is a separate MRGCD Tract.

#### **§ 9.4.5 LIMITED APPLICATION**

Except as specifically set out herein, MRGCD Tracts shall be subject to all ordinances and regulations which would otherwise be applicable to lands or parcels of lands for which there is no Subdivision Plat. MRGCD Tracts shall not be deemed Lots or Lots of Record for any purpose.

#### **§ 9.4.6 SEVERABILITY**

If any section, subsection, paragraph, sentence, clause, phrase, or part hereof is for any reason declared unconstitutional or invalid, the validity of the remaining portions hereof shall not be affected since it is the expressed intent of the Board of Trustees to pass each section, subsection, paragraph, clause, phrase and every part thereof separately and independently of every other part.

#### **Ordinance and State Law References regarding Chapter 9, Article 4:**

Ordinance #232, April 11, 2012



**9. NEW BUSINESS**

A. DISCUSSION AND APPROVAL OF THE 2016 FARM PLAN FOR THE PASEO DEL NORTE OPEN SPACE BY ALAMEDA FARMS (DAVID MONTOYA).

## **Village of Los Ranchos de Albuquerque Board of Trustees**

**Meeting Date:** February 10 2016

**Title:** Discussion and Approval of Farm Plan for Village Open Space

**Action:** Motion to approve the Farm Plan for Village Open Space presented by David Montoya of Alameda Farm, LLC

**Summary:**

As required by the lease (item 7.b.), Alameda Farm, LLC (David Montoya) is required to provide to the BOT for approval a farming plan for the property subject to the lease.

Attachments:

## **9. NEW BUSINESS**

B. DISCUSSION AND APPROVAL OF THE PURCHASE OF PROPERTY LOCATED AT 6518 FOURTH STREET NW, LOS RANCHOS DE ALBUQUERQUE, NM 87107, AUTHORIZING THE MAYOR TO NEGOTIATE AND EXECUTE THE PURCHASE OF THE PROPERTY.

# Village of Los Ranchos de Albuquerque

## Board of Trustees

**Meeting Date: February 10, 2016**

**Title: Discussion and Approval of the Purchase of Property Located at 6518 Fourth Street, Los Ranchos NM 87107, Authorizing the Mayor to Negotiate and Execute the Purchase of the Property.**

**Action: Discussion and Approval of the Purchase of the property at 6518 Fourth Street, Los Ranchos NM 87107, Authorizing the Mayor to execute the purchase of the property in an amount not to exceed \$630,000 plus closing costs.**

### **Summary:**

This property has is located in the Village Center Project Area. The Village has been in a multi-year discussion with the owners regarding purchase of the property. The Village had the property appraised. The appraisal was received on January 19, 2016.

The property appraised for \$630,000. Appraisal letter is attached.

The attached map and photos show the property at 6518 Fourth Street.

The Village will order survey and title report upon approval to purchase.

The tenants will remain. The long-term plan is that the property is developed as part of the Village Center development.



January 19, 2016

Kelly S. Ward, Administrator  
 Village of Los Ranchos de Albuquerque  
 6718 Rio Grande Boulevard  
 Los Ranchos, New Mexico 87107

RE: Appraisal Report in Summary Format  
 Mobile Home Park  
 6518 Fourth Street NW  
 Los Ranchos de Albuquerque, New Mexico 87107  
 Appraisal File #A15287

Mr. Ward:

In accordance with your request, we have prepared an Appraisal Report in Summary Format of the above-referenced property. The purpose of the appraisal report is to estimate our opinion of the market value of the fee simple interest in the subject property for financing. This letter of transmittal is not to be misconstrued as a complete and full narrative report, but merely indicates the final opinion of value developed in the following report. The appraisal was prepared in conformance with the current requirements as set forth by the Federal Financial Institutions Reform Recovery and Enforcement Act (FIRREA), the Appraisal Foundation for Uniform Standards of Professional Appraisal Practice (USPAP), the Office of the Comptroller of the Currency's Real Estate Appraisal and Evaluation Guidelines, and with the requirements of the federal bank regulating agencies. The appraisal is made subject to general assumptions and limiting conditions stated in the body of the report. The Certification and Assumptions and Limiting Conditions are presented in the **Addenda**, and are considered an integral part of the report. Based on the analyses contained in the appraisal file, we hereby certify that the property referenced above has the following opinion of value:

**Opinion of Market Value  
 Fee Simple Estate "As Is"  
 January 7, 2016  
 \$630,000**

Should you have any questions or concerns, please do not hesitate to contact us at your earliest convenience.

Respectfully submitted,

*AMERICAN PROPERTY - Consultants & Appraisers, Inc.*

A handwritten signature in black ink, appearing to read "Shane LeMon", written over a horizontal line.

Shane LeMon, MAI, CCIM  
 NM General Certified Appraiser #000193-G

A handwritten signature in red ink, appearing to read "Ian R. Valenzuela", written over a horizontal line.

Ian R. Valenzuela, MAI  
 NM General Certified Appraiser #01734-G

## APPRAISAL REPORT IN SUMMARY FORMAT

**Mobile Home Park  
6518 Fourth Street NW  
Los Ranchos de Albuquerque, New Mexico 87107**

**Appraisal File #A15287**

**Effective Date of Value:  
January 7, 2016**

**Date of Report:  
January 19, 2016**



**Prepared For:**

**Kelly S. Ward, Administrator  
Village of Los Ranchos de Albuquerque  
6718 Rio Grande Boulevard  
Los Ranchos, New Mexico 87107**

**Prepared By:**

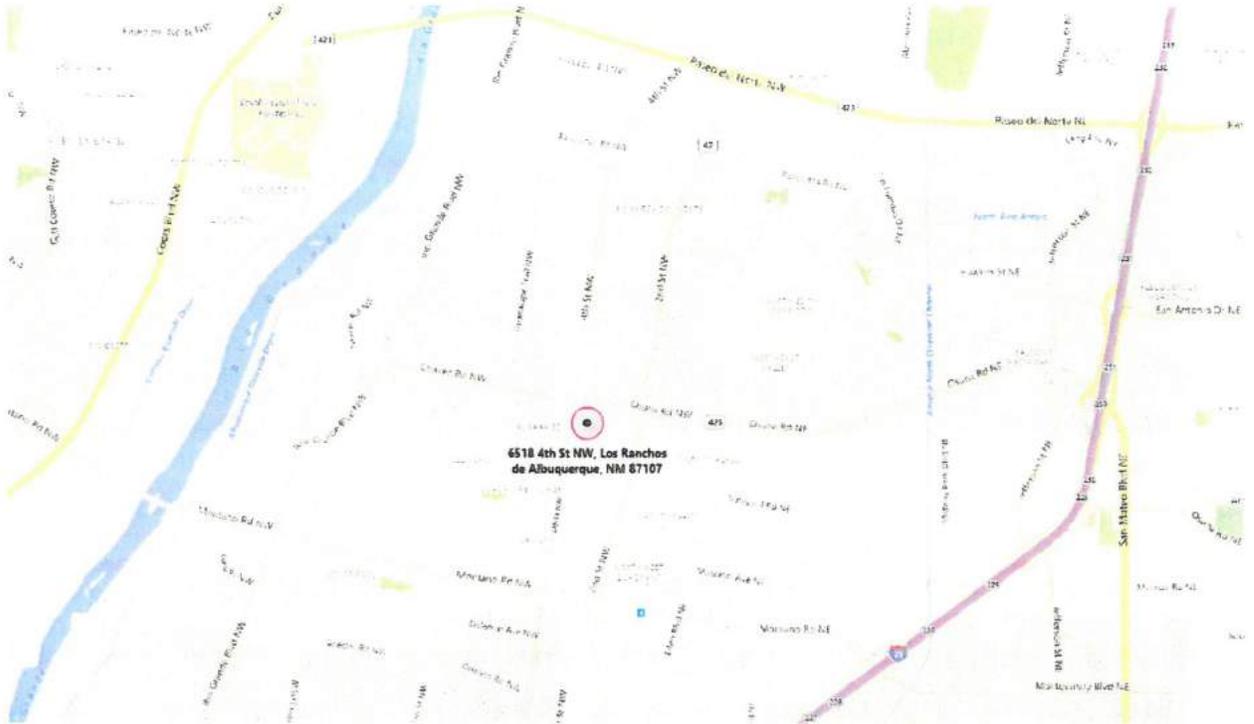


**2420 Midtown Place NE, Suite A  
Albuquerque, New Mexico 87107  
(505) 343-0400 • FAX (505) 343-0330**

## SUMMARY OF IMPORTANT FACTS & CONCLUSIONS

<b>PROPERTY IDENTIFICATION</b>	Mobile Home Park 6518 Fourth Street NW Los Ranchos de Albuquerque, New Mexico 87107
<b>EFFECTIVE DATE OF VALUE</b>	January 7, 2016
<b>DATE OF REPORT</b>	January 19, 2016
<b>PROPERTY RIGHTS</b>	Fee Simple Estate
<b>OWNERS OF RECORD</b>	Gar-Mar LLC
<b>PROPERTY DATA</b>	
<b>Legal Description</b>	The South 100' of Lot 1, Merritt Acres Subdivision
<b>Land</b>	1.883 acres, or 82,022 square feet, more or less (subject to survey), with roughly 18,000 square feet considered excess land.
<b>Improvements</b>	16 single-wide manufactured home spaces
<b>Zoning</b>	VC, Village Center, Permit for a Mobile Home Park
<b>Flood Zone</b>	Flood Map #35001C-0119G, Flood Zone "X", dated September 26, 2008, Portions in Flood Zones A and B; 100/500-year flood risk
<b>Highest &amp; Best Use</b>	<b>As Though Vacant</b> – Future residential development upon demand and in compliance with current legal zoning. <b>As Improved</b> – Continued use as a mobile home park.
<b>Value Estimates:</b>	<b>Sales Comparison</b> - \$640,000 <b>Income Capitalization</b> - \$625,000 <b>Final Value Conclusion</b> - \$630,000

### Neighborhood Map



### Aerial Photo



**PHOTOGRAPHS OF THE SUBJECT PROPERTY**  
(PHOTOGRAPHED JANUARY 7, 2016)

**SUBJECT PROPERTY FROM WEST**



**PROPERTY FROM VACANT PORTION**



**VACANT PORTION AT EAST OF PROPERTY**



**SINGLE UNIT CLOSE UP**



**INTERIOR VIEW**



**PARK FROM EAST**



EASTERN FENCELINE



PAD ELECTRIC METERS



STREET - 4<sup>TH</sup> FACING SOUTH



STREET - 4<sup>TH</sup> FACING NORTH



**APPRAISAL REPORT IN SUMMARY FORMAT**

This is an Appraisal Report in Summary Format, which is intended to comply with the reporting requirements set forth under Standard Rule 2-2(a) of the Uniform Standards of Professional Appraisal Practice for an Appraisal Report. As such, it presents summary discussions of the data, reasoning, and analyses that were used in the appraisal process to develop an opinion of value. Supporting documentation concerning the data, reasoning, and analyses is retained in the appraisal file. The depth of discussion contained in this report is specific to the needs of the client and for the intended use stated. We are not responsible for the unauthorized use of this report.

**CLIENT**

Kelly S. Ward, Administrator

Village of Los Ranchos de Albuquerque, its successors and/or assigns

6718 Rio Grande Boulevard

Los Ranchos, New Mexico 87107

**APPRAISERS**

Shane LeMon, MAI, CCIM and Ian R. Valenzuela, MAI

American Property - Consultants & Appraisers, Inc.

2420 Midtown Place NE, Suite A

Albuquerque, New Mexico 87107

**SUBJECT IDENTIFICATION & LEGAL DESCRIPTION**

Mobile Home Park

6518 Fourth Street NW

Los Ranchos de Albuquerque, New Mexico 87107

The South 100' of Lot 1, Merritt Acres Subdivision, filed for record in Bernalillo County Plat Book D1, Page 64, on July 15, 1929.

**INTENDED USER**

The intended user of this appraisal report is the Village of Los Ranchos de Albuquerque, its successors and/or assigns.