



AGENDA

Village of Los Ranchos de Albuquerque
Board of Trustees
6718 Rio Grande Blvd NW
December 11, 2019
7:00 P.M. Regular Meeting

MAYOR

Donald T. Lopez

ACTING ADMINISTRATOR

Tim McDonough

VILLAGE CLERK

Danielle Sedillo-Molina

TRUSTEES

Mary Homan, Mayor Pro Tem/Trustee

Allen Lewis, Trustee

Pablo Rael, Trustee

Tom Riccobene, Trustee

TREASURER

Nancy Haines

1. **CALL TO ORDER**

A. APPROVAL OF AGENDA

2. **PUBLIC COMMENT PERIOD [3 MINUTE TIME LIMIT]**
(PLEASE SIGN IN WITH THE CLERK IF YOU WISH TO SPEAK UNDER PUBLIC COMMENT ON AN ITEM THAT IS NOT ON THIS AGENDA)

3. **PRESENTATIONS**

A. NONE

4. **CONSENT AGENDA**

THERE WILL BE NO SEPARATE DISCUSSION OF THESE ITEMS. IF DISCUSSION IS DESIRED, THAT ITEM WILL BE REMOVED FROM THE CONSENT AGENDA AND WILL BE CONSIDERED SEPARATELY.

A. MINUTES-NOVEMBER 8, 2019; SPECIAL MEETING

B. MINUTES-NOVEMBER 13, 2019; REGULAR MEETING

5. DEPARTMENTAL REPORTS

- A. MAYOR'S REPORT
- B. ADMINISTRATOR'S REPORT
- C. PLANNER'S REPORT
- D. LEGAL REPORT
- E. PUBLIC SAFETY REPORT
- F. PROJECT'S REPORT
- G. AGRI-NATURE CENTER REPORT

6. FINANCIAL BUSINESS

- A. DISCUSSION AND APPROVAL OF CASH REPORT-NOVEMBER 2019

7. PUBLIC HEARINGS AND APPLICATIONS FOR APPEAL

- A. **SDP 19-03** – A REQUEST BY TOM WHITE FOR FINAL APPROVAL OF A COMMERCIAL SITE DEVELOPMENT PLAN FOR A REDEVELOPMENT IN THE FOURTH STREET CORRIDOR AND CHARACTER AREA. THE PROPERTY IS LOCATED AT 8225 FOURTH STREET NW AND IS LEGALLY KNOWN AS LOT 1 OF BUSCH ADDITION, A TRACT OF LAND LYING AND SITUATED WITHIN SECTION 16, T. 11 N., R. 3 E., N.M.P.M., VILLAGE OF LOS RANCHOS DE ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON AUGUST 1, 1972. THE PROPERTY CONTAINS 0.500 ACRES MORE OR LESS.

8. OLD BUSINESS

- A. NONE

9. ANNOUNCEMENTS

- A. NONE

10. NEW BUSINESS

- A. DISCUSSION AND MODIFICATION OF THE RATES FOR RECYCLING SERVICES IN THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE-WASTE MANAGEMENT.

- B. DISCUSSION AND APPROVAL OF THE SECOND AMENDMENT TO THE MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE AND PALINDROME COMMUNITIES, LLC, A NEVADA LIMITED LIABILITY COMPANY.
- C. DISCUSSION AND APPROVAL OF RESOLUTION 2019-12-1; A RESOLUTION ADOPTING THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE "BUY LOCAL", IN AN EFFORT TO SUPPORT LOCAL BUSINESSES.

11. TRUSTEE INFORMAL DISCUSSION

(THE ROUNDTABLE DISCUSSION IS AN INFORMAL DISCUSSION. THE BOARD OF TRUSTEES WILL TAKE NO OFFICIAL VOTE OR OTHER OFFICIAL ACTION.)

12. ADJOURNMENT

I certify that notice of the Public Meeting has been given in compliance with the Open Meetings Act, NMSA 1978 Section 10-15-1 through 10-15-4 and the Open Meetings Resolution 2019-1-1.

I certify that this agenda was posted on: 6 December 2019.



Danielle Sedillo-Molina, Village Clerk

If you are an individual with a disability who is in need of a reader, amplifier, remote microphone, qualified sign language interpreter, or any other form of auxiliary aid or service to attend or participate in the hearing or meeting, please contact the Village Clerk at (505) 344-6582 at least five (5) days prior to the meeting or as soon as possible. Public documents, including the agenda and minutes, can be provided in various accessible formats. Please contact the Village Clerk at (505) 344-6582 if a special format is needed.

THE NEXT BOARD MEETING WILL BE JANUARY 15, 2020

A COPY OF THE AGENDA MAY BE OBTAINED AT THE VILLAGE OFFICE, 6718 RIO GRANDE BLVD NW, DURING REGULAR BUSINESS HOURS OF 8:00 A.M. TO 5:00 P.M. OR ON THE WEBSITE: www.losranchosnm.gov

4. A-B. CONSENT AGENDA

THERE WILL BE NO SEPARATE DISCUSSION OF THESE ITEMS. IF DISCUSSION IS DESIRED, THAT ITEM WILL BE REMOVED FROM THE CONSENT AGENDA AND WILL BE CONSIDERED SEPARATELY.

- A. MINUTES-NOVEMBER 8, 2019; SPECIAL MEETING
- B. MINUTES-NOVEMBER 13, 2019; REGULAR MEETING

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MINUTES
VILLAGE OF LOS RANCHOS DE ALBUQUERQUE
6718 RIO GRANDE BOULEVARD NW
BOARD OF TRUSTEES SPECIAL/PUBLIC HEARING MEETING
CALLED BY MAYOR LOPEZ
Friday, November 8, 2019
5:00 P.M.

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Present:

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Donald T. Lopez, Mayor	Tim McDonough, Acting Administrator/ Planning & Zoning Director
Mary Homan, Mayor Pro Tem/Trustee	Danielle Sedillo-Molina, Clerk
Allen Lewis, Trustee	Nancy Haines, Treasurer
Pablo Rael, Trustee	Juan Flores, Attorney
Tom Riccobene, Trustee	

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Pledge of Allegiance

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1. **CALL TO ORDER**

Mayor Lopez called the Special/Public Hearing Meeting to order at 5:08 p.m.

MOTION:

Trustee Rael moved to approve the Agenda

SECONDED:

Trustee Riccobene

CARRIED:

Motion Passed 4-0 (Trustee Homan-Yes; Trustee Lewis-Yes, Trustee Rael-Yes; Trustee Riccobene-Yes)

2. **PUBLIC COMMENT PERIOD [3 MINUTE TIME LIMIT]**

(SIGN IN WITH THE CLERK IF YOU WISH TO SPEAK UNDER PUBLIC COMMENT ON AN ITEM THAT IS NOT ALREADY ON THIS AGENDA)

NONE

3. **NEW BUSINESS**

- A. DISCUSSION AND APPROVAL OF RESOLUTION NO. 2019-11-1 ADOPTING THE 2021-2025 INFRASTRUCTURE CAPITAL IMPROVEMENT PLAN (ICIP) FOR THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE.

45 (Attorney Juan Flores swore in Administrator McDonough, no one else stood to
46 be sworn in).
47

48 Administrator McDonough gave the background of the ICIP and indicated that
49 the Village submits this every year. The Village missed the training session
50 earlier this year due to emails that were sent from the State to staff that are no
51 longer with the Village. María Rinaldi found out about the deadline when she
52 was at DFA in Santa Fe. She received special permission to submit late, the
53 deadline is Tuesday, November 12, 2019, and that is why we had to call the
54 special meeting because it is before the BOT meeting. The only caveat, we are
55 unable to change the top five projects, however, we can change the order of
56 priority and can adjust budgets if necessary.
57

58 Explained the introductory page, discussed the project summary page, then went
59 into specific details regarding the projects.
60

61 **PROJECT 001-FOURTH STREET:**

62 We will need a total of 9.6 million dollars to finish it out. \$4 million from Capital
63 Outlay, \$1.5 million from Local funds, \$3.5 million in Federal grants, and secured
64 \$250,000.00, that has already been put aside in our budget for roadways. The
65 rest of the information pertains to whether we have completed certain items of the
66 project, requests the annual operating budget, requires us to identify who the fiscal
67 agent is, who the owner of the land is, the owner of the asset, and who is going to
68 maintain it; all answers are Los Ranchos de Albuquerque.
69

70 **PROJECT 002-AGRI-NATURE CENTER BUILDING IMPROVEMENTS:**

71 This has been on the ICIP for quite a while, we are requesting a total of
72 \$1,457,000.00. We have secured \$305,000, a \$165,000, of that we have already
73 spent. We have another Capital Outlay appropriation of \$140,000 that has yet to
74 be spent. The remainder of the money is \$20,000 for planning, \$100,000 in design,
75 \$1.287 million in construction, and \$50,000 for furnishings and equipment.
76

77 **PROJECT 003-ROAD SAFETY ENHANCEMENTS:**

78 We have a total projected cost of one million dollars. This is a combination of road
79 improvements and had an engineering study done on the east/west streets. We
80 have received that study and that is a part of this. Anticipating \$17,000 in planning,
81 \$100,00.00 in design, and \$883,000.00 in construction out of the million dollars
82 requested.
83

84 **PROJECT 004-VILLAGE HALL RENOVATIONS:**

85 Priority four is for Village Hall renovations, which has been talked about before. It
86 needs some maintenance and we would like to make our bathrooms handicap
87 accessible. Out of that \$680,000 budget, we budgeted \$30,000 for planning,
88 \$50,000 for design, half a million for construction and \$20,000 for equipment and
89 furnishings.
90

91 **PROJECT 005-ACQUISITION OF LAND AND PROPERTY:**

92 Land identified is adjacent to our existing Agri-Nature property, the old Anderson
93 property. That was a total of \$6.96 million, all budgeted for acquisition over a
94 couple of years.

95
96 *Trustee Lewis asked for further clarification as to how the process works.*

97
98 *Mayor Lopez explained that at the New Mexico Infrastructure Finance Conference*
99 *it was conveyed that you cannot ask for Capital Outlay money unless it is*
100 *specifically in the ICIP. So, if we ask the legislature for 8.5 million dollars, it better*
101 *be in the ICIP. So, between now and the time we put our Capital Outlay request*
102 *together, we need to identify what that will be and have it in by the 12th of*
103 *November.*

104
105 *Administrator McDonough explained in detail the process and the premise behind*
106 *how the Village came up with the numbers as presented in the ICIP.*

107
108 Joe Craig, 505 Calle Del Pajarito:

109
110 *(Attorney Flores, swears in Mr. Craig).*

111
112 Mr. Craig, indicated that what he printed out from the agenda was a different
113 amount of money that was being discussed.

114
115 Administrator McDonough clarified that he found some incorrect data, corrected
116 the ICIP, however, it was uploaded to the website late afternoon.

117
118 Mr. Craig was provided with a hard copy of the updated ICIP Project List.

119
120 **Mayor Lopez asked for a motion.**

121
122 **MOTION:** Trustee Rael moved to approve 2021-2025 ICIP for the
123 Village of Los Ranchos de Albuquerque.

124 **SECONDED:** Trustee Homan

125 **CARRIED:** Motion Passed 4-0 (Trustee Homan-Yes; Trustee Lewis-
126 Yes, Trustee Rael-Yes; Trustee Riccobene-Yes)

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129 **4. TRUSTEE INFORMAL DISCUSSION**

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131 **Trustee Homan**

- 132 • Attended different meetings in Santa Fe, one was at the New Mexico's Self-
133 Insurer's Fund, fund is doing well, and a dividend check will be coming next
134 cycle.
- 135 • Second meeting was on Cannabis, she would like to place something on the
136 agenda for December, the Village needs to start thinking about an Ordinance.

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Trustee Lewis

- Address an Ordinance regarding the issues of the homeless and panhandlers, we need something on our books to be ahead of that issue.

Trustee Rael

- Seconded Trustee Lewis’s comments on the homeless.

Trustee Riccobene

- No Comment

Mayor Lopez

- Recommended that the Trustee’s consider the Municipal Officials Leadership Institute (MOLI) program.
- Also recommended that the Trustee’s attend the Newly Elected Officials Institute presented by the New Mexico Municipals League on December 14, 2019.

5. ADJOURNMENT

The meeting was adjourned by Mayor Lopez at 5:29 p.m.

Unofficial Minutes submitted by:



Danielle Sedillo-Molina, Village Clerk

4. A.-B. CONSENT AGENDA

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SEPARATELY.

A. MINUTES-NOVEMBER 8, 2019; SPECIAL MEETING

B. MINUTES-NOVEMBER 13, 2019; REGULAR MEETING

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3 **MINUTES**
4 VILLAGE OF LOS RANCHOS DE ALBUQUERQUE
5 6718 RIO GRANDE BOULEVARD NW
6 **BOARD OF TRUSTEES REGULAR MEETING**
7 **Wednesday, November 13, 2019**
8 **7:00 P.M.**
9

10 **Present:**

11 Donald T. Lopez, Mayor
12 Mary Homan, Mayor Pro-Tem/Trustee
13 Allen Lewis, Trustee
14 Pablo Rael, Trustee
15 Tom Riccobene, Trustee
16
17

Tim McDonough, Acting Administrator/
Planning & Zoning Director
Danielle Sedillo-Molina, Clerk
Nancy Haines, Treasurer
Juan Flores, Attorney

18 The Pledge of Allegiance was led by the Boy Scouts.
19
20

21 **1. CALL TO ORDER**

22 **Mayor Lopez** called the regular meeting to order at 7:01 p.m.
23

24 **Mayor Lopez** asked for a motion to approve the Agenda.
25

26 **MOTION:** Trustee Rael moved to approve the Agenda

27 **SECONDED:** Trustee Lewis

28 **CARRIED:** Motion Passed 4-0 (Trustee Homan-Yes; Trustee Lewis-
29 Yes, Trustee Rael-Yes, Riccobene-Yes)
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31

32 **2. PUBLIC COMMENT PERIOD [3 MINUTE TIME LIMIT]**

33 **(SIGN IN WITH THE CLERK IF YOU WISH TO SPEAK UNDER PUBLIC COMMENT ON AN**
34 **ITEM THAT IS NOT ALREADY ON THIS AGENDA)**
35

36 **Betty Tichich, 6724 Edgewood Dr NW:**
37

- 38 I. Asked about the status of moving the power pole at the park on Osuna,
39 follow up from last month's meeting.
40

41 *(Requires coordination with the Public Service Company of New Mexico, if*
42 *it is even a viable option).*
43
44

45 **3. PRESENTATIONS/PROCLAMATIONS**

- 46
- 47 A. Kristin McCloughlin/Chris Schroeder; PNM Resources
- 48 • WeConnectNM, Grass Root effort, a campaign put together by local
- 49 businesses to make New Mexico the friendliest small business state in the
- 50 nation.
- 51 • Getting government groups to commit to buying local, strengthen our local
- 52 economy.
- 53
- 54 B. Dan Darnell, Waste Management of New Mexico;
- 55 • Recycling Industry Update and impacts to the Village of Los Ranchos recycling
- 56 program.
- 57 • Requested to be on the December agenda for the Board of Trustees to
- 58 take action on a rate increase to absorb some the increasing costs of
- 59 recycling.
- 60
- 61

62 **4. CONSENT AGENDA**

63 There will be no separate discussion of these items. If discussion is desired,
64 the item will be removed from the Consent Agenda and will be considered
65 separately.

66

67 A. MINUTES-OCTOBER 09, 2019; REGULAR MEETING

68

69 **Mayor Lopez asked if there is a motion to approve the Consent**

70 **Agenda.**

71

72 **MOTION: Trustee Rael moved to approve the Consent**

73 **Agenda**

74 **SECONDED: Trustee Homan**

75 **CARRIED: Motion Passed 4-0 (Trustee Homan-Yes; Trustee**

76 **Lewis-Yes, Trustee Rael-Yes, Riccobene-Yes)**

77

78

79 **5. REPORTS**

80

81 **MAYOR’S REPORT**

82 **Mayor Lopez** reported on the following:

- 83 • Hosted a Veteran’s Day luncheon for Veteran’s in the Village.
- 84 • Attended an Ag Resilience Meeting at Los Poblanos, 120 stakeholders in
- 85 attendance.
- 86 • Will be attending the Mayor’s Caucus in Corrales.
- 87 • Met with Representative Patricia Lundstrum, Chair of House Appropriations
- 88 and Finance Committee and discussed the opportunity to request Capital
- 89 Outlay money in the amount of \$9 million to complete Fourth Street.
- 90 Representative Lundstrum indicated that our request was not

91 unreasonable, therefore, the Village will move forward with the request.

93 **ADMINISTRATOR'S REPORT**

94 **Mr. McDonough** reported on the following:

- 95 • Discussed that the accountant left unexpectedly on maternity leave, and Gil
- 96 Saavedra is back and is training the Temp.
- 97 • Worked with the Attorney's on the Unser Agreement.
- 98 • Held a Special Board meeting for the ICIP, made some edits as requested
- 99 by DFA, resubmitted with the changes, and received confirmation that it
- 100 was accepted by the State.
- 101 • The Festival on Fourth Street was very successful.
- 102 • Two site development plans came through P & Z.
- 103 • Working on a rate sheet for facilities for the use of Village property for
- 104 filming.
- 105 • Reminded everyone of the closure at Rio Grande Blvd and Ortega Road,
- 106 which is scheduled to be completed by the 22nd.

107 **PLANNER'S REPORT**

108 **Planner Justice** reported on the following:

- 109 • Provided an update on current staff activities.
- 110 • Finalizing revisions to the film policy.
- 111 • Addressing short term rentals, public workshop on December 3rd from 6:30-
- 112 9:00pm at Village Hall.
- 113 • Fourth Street Festival had about 30 businesses participate, and other
- 114 participants contributed in various ways.
- 115 • At the P & Z meeting residents were concerned regarding traffic issues at
- 116 Fourth Street and Ortega and are requesting a traffic light.

117 **LEGAL REPORT**

118 **Attorney Flores** reported on the following:

- 119 • Briefed the status of the Unser litigation, which has been settled, waiting on
- 120 the actual stipulated dismissal of the case.
- 121 • Terminated the lease between the Village and Desert Forge.

122 **PUBLIC SAFETY REPORT**

123 **Public Safety Liaison Radosevich** reported on the following:

- 124 • Attended a Los Poblanos HOA meeting.
- 125 • Worked with staff on the Fourth Street Festival and the Jazz Festival.
- 126 • Working on special events permits with the POC's from the Lavender
- 127 Festival, Grower's Market, and Arts Market, the goal is to have a more
- 128 formalized policy across the board.
- 129 • Fire Department had 117 calls.
- 130 • BCSO had 585 Calls, 182 were traffic stops; 46 of those were in the Fourth
- 131 St. construction zone.
- 132 • Appreciate the continual support from BCSO, commended Captain Sharp.

136 **PROJECT'S REPORT**

137 **Project Manager Rinaldi** reported on the following:

- 138 • Reported on current activities on Fourth Street.
- 139 • Errors in scheduling with the contractor and subcontractor will result in
- 140 closures on Fourth.
- 141 • Public parking lot improvements still in the works.
- 142 • Resolving some cracking in the pavement.
- 143 • Material cost change order still due and the cost in removing the trees on
- 144 the east side.
- 145 • The contract extension will be through November 30th.
- 146 • Reported on costs associated with the project to date \$7,396,844.00.
- 147 • Final project closeout and complete pending audits by December 15th.
- 148 • Prepared the ICIP Projects and the Legislative requests for the upcoming
- 149 session.

150
151 *Trustee Lewis and Trustee Rael asked questions regarding the project.*

152
153 *Ms. Rinaldi clarified and explained in detail.*

154
155 **AGRI-NATURE CENTER REPORT**

156 **Program Manager Whitney** reported on the following:

- 157 • Provided update on the last Ag convening on October 21st.
- 158 • Explora has submitted two different grant applications with Los Ranchos
- 159 Elementary School and Mandy's Farm.
- 160 • All activities are updated on the Village Facebook page.
- 161 • Met with various groups for potential collaboration.
- 162 • Planning on utilizing grants issued and researching other potential future
- 163 grants.

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165
166 **6. FINANCIAL BUSINESS**

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168 **A. DISCUSSION AND APPROVAL OF CASH REPORT-OCTOBER 2019**

169
170 **Nancy Haines, Treasurer** reported that as Administrator McDonough mentioned,
171 we are operating with the assistance of former accountant Gil Saavedra, who is
172 training a temp while Tammy Silva is out on maternity leave, because of that and
173 time constraints, there is no written summary report, and the check register will be
174 included in next month's packet.

- 175 • The ending cash balance for October 2019, is \$4,638,600.09, which is an
- 176 increase of \$237,197.57 over the prior month. Year to date deficiency of
- 177 revenues over expenditures is \$1,176,182.36.
- 178 • The 2nd quarter of the fire protection state grant was received, but in turn,
- 179 was paid out to the county.
- 180 • Addressed unusual and significant items; there were no invoices paid for

181 the Fourth Street project, resulting in the increase in cash.

182
183 *The Trustee's asked questions on several items regarding the October Cash*
184 *Report.*

185
186 *Treasurer Haines, Ms. Rinaldi, and Administrator McDonough provided specific*
187 *answers to the questions asked.*

188
189 **Mayor Lopez asked if there is a motion to approve the October Cash Report.**

190
191 **MOTION: Trustee Homan moved to approve the October Cash**
192 **Report**

193 **SECONDED: Trustee Lewis**

194 **CARRIED: Motion Passed 4-0 (Trustee Homan-Yes; Trustee Lewis-**
195 **Yes, Trustee Rael-Yes; Trustee Riccobene-Yes)**

196
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198 **7. PUBLIC HEARING AND APPLICATIONS FOR APPEAL**

199
200 **NONE**

201
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203 **8. OLD BUSINESS**

204
205 **A. UPDATE TO THE SETTLEMENT AGREEMENT BETWEEN UNSER**
206 **DISCOVERY CAMPUS, INC., A NEW MEXICO NON-PROFIT**
207 **CORPORATION AND THE VILLAGE OF LOS RANCHOS DE**
208 **ALBUQUERQUE, A NEW MEXICO MUNICIPAL CORPORATION.**

209
210 *Attorney Flores briefed the Unser Settlement under Attorney's Report.*

211
212
213 **9. ANNOUNCEMENTS**

214
215 **NONE**

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218 **10. NEW BUSINESS**

219
220 **A. DISCUSSION AND APPROVAL OF RESOLUTION NO. 2019-11-2;**
221 **ADOPTING THE 2035 MASTER PLAN FOR THE VILLAGE OF LOS**
222 **RANCHOS DE ALBUQUERQUE.**

223

224 Planner Justice provided an overview of the process of the 2035 Master Plan, the
225 community involvement, the meetings, notifications, postings and the attendance
226 of those involved throughout the process.

227
228 *Trustees provided positive comments regarding the 2035 Master Plan.*

229
230 **Mayor Lopez asked if there is a motion to approve Resolution 2019-11-2**
231 **adopting the 2035 Master Plan.**

232
233 **MOVED: Trustee Rael motioned to approve Resolution 2019-11-2**
234 **adopting the 2035 Master Plan for the Village of Los**
235 **Ranchos de Albuquerque**

236 **SECONDED: Trustee Lewis**

237 **CARRIED: Motion Passed 4-0 (Trustee Homan-Yes; Trustee Lewis-**
238 **Yes, Trustee Rael; Trustee Riccobene-Yes)**

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241 B. DISCUSSION AND APPROVAL IN ACCORDANCE WITH CHAPTER 2,
242 SECTION 6 (A) OF THE VILLAGE OF LOS RANCHOS CODIFIED
243 ORDINANCES; THE TRUSTEES SHALL RECEIVE NO OTHER
244 COMPENSATION FOR THEIR SERVICES EXCEPT REIMBURSEMENT
245 FOR OUT-OF-POCKET EXPENSES INCURRED ON BEHALF OF THE
246 VILLAGE WHEN EXPRESSLY AUTHORIZED BY THE BOARD; MAYOR
247 PRO TEM/TRUSTEE MARY HOMAN ATTENDANCE AT THE NATIONAL
248 LEAGUE OF CITIES, CITY SUMMIT; NOVEMBER 20-23, 2019, SAN
249 ANTONIO, TEXAS.

250
251 Trustee Homan provided an overview of the upcoming conference, indicated that
252 she would bring back valuable information pertinent to the Village and requested
253 reimbursement of expenditures estimated at approximately \$1,500.00.

254
255 *Trustee Lewis and Trustee Riccobene asked several questions regarding the*
256 *conference expenses, the benefit of being a member of the National League of*
257 *Cities, and Trustee Homan's intent to assist the Village in the future.*

258
259 **Mayor Lopez asked if there is a motion.**

260
261 **MOVED: Trustee Rael motioned to approve the reimbursement**
262 **costs.**

263 **SECONDED: Trustee Lewis**

264
265 **Trustee Riccobene requested specifics from Trustee Homan upon her**
266 **return, would like to get something out of attending. Have staff contact and**
267 **use the resources online and begin the transition to whoever will be the**
268 **lead.**

269 **Trustee Lewis requested a report.**

270

271 **CARRIED:** **Motion Passed 3-0 (Trustee Homan-Abstain; Trustee**
272 **Lewis; Trustee Rael-Yes; Trustee Riccobene-Yes)**

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274
275 C. DISCUSSION ONLY; THE PRIORITIZATION OF ROAD REPAIR IN THE
276 VILLAGE AND THE FUNDING ASSOCIATED.

277
278 Administrator McDonough explained that the Village needs to have a plan to
279 determine what the conditions of the roads are, rather than be reactive, as we
280 have done in the past. We have done patchwork in the past; however, we need
281 to dedicate a budget to road repairs and address priorities first. Possibly bring in
282 engineers to determine the structural problems and utilize their expertise.

283
284 *Dialogue among the Trustee's was held regarding the bridges over Paseo,*
285 *various streets throughout the Village, including Ortega, and discussed funding*
286 *avenues and resources.*

287
288 *Administrator McDonough suggested providing an approach via scope along with*
289 *a budget to the Board.*

290
291
292 **11. TRUSTEE INFORMAL DISCUSSION**

293
294 **Trustee Homan**

- 295 ▪ Residents are concerned about the walking path at Hartnett Park and
296 would like to know the intentions for it.
 - 297 ○ *Administrator McDonough explained that there is nothing*
298 *scheduled.*
- 299 ▪ Discussed the dialogues held at the Cannabis Task Force, suggested
300 putting it on the agenda as an Ordinance in the near future.

301
302 **Trustee Lewis**

- 303 ▪ Asked if anything has moved forward regarding the manholes at
304 Northdale?
 - 305 ○ *Keen Heinzelman responded that it has been addressed and it has*
306 *been coordinated with the Water Authority, however, the earliest*
307 *they will be getting to it may be in the Spring.*
- 308 ▪ Following up on Enchanted Valley Circle; would like to assist with a drain
309 to help them out, please keep that on the list of items to address.
- 310 ▪ Addressed the issues of panhandling and the homeless, the Village needs
311 to get something on the books.
- 312 ▪ Would like the Village to talk about housing opportunities and options.

313
314 **Trustee Rael**

- 315 ▪ Commended the Festival on Fourth Street, it was well attended, and he
316 received numerous positive comments. Also, would like to address the

- 317 lights on Fourth Street, we need to ensure we are in compliance with the
318 Village's dark sky ordinance.
- 319 ■ Discussed the Village Center Zone verse the Village Center Project
320 regarding the restrictions.
 - 321 ○ *Administrator McDonough responded accordingly, suggested that*
322 *we take a look and re-visit it.*
 - 323 ■ Discussed the possibility of solar panels for the Village and referenced the
324 use of solar as it is mentioned in the Master Plan.
- 325
- 326 **Trustee Riccobene**
- 327 ■ Asked if the topic of short term/long term rentals would go to Planning &
328 Zoning first?
 - 329 ○ *Administrator McDonough responded yes; it would go to P & Z first.*
- 330
- 331

332 **12. ADJOURNMENT**

333

334 The meeting was adjourned by Mayor Lopez at 9:12 p.m.

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340 Unofficial Draft Minutes submitted by:

341

342

343

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345



Danielle Sedillo-Molina, Village Clerk

5. DEPARTMENTAL REPORTS; A-G

- A. MAYOR'S REPORT
- B. ADMINISTRATOR'S REPORT
- C. PLANNER'S REPORT
- D. LEGAL REPORT
- E. PUBLIC SAFETY REPORT
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- G. AGRI-NATURE CENTER REPORT

6. FINANCIAL BUSINESS

**A. DISCUSSION AND APPROVAL OF CASH REPORT-
NOVEMBER 2019**

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
0099 - General Fund Revenue								
Revenues								
Franchise taxes	31100	25,470.00	13,322.53	(12,147)	305,640.00	159,976.35	(145,664)	52.34%
Munic gross receipts taxes	31250	101,359.00	111,049.78	9,691	1,216,308.00	555,690.90	(660,617)	45.69%
State share gross receipts taxes	32410	126,317.00	144,998.11	18,681	1,515,804.00	704,629.37	(811,175)	46.49%
Animal permit fees	33100	82.50	43.55	(39)	990.00	652.55	(337)	65.91%
Building permit fees	33300	3,750.00	2,082.06	(1,668)	45,000.00	9,509.38	(35,491)	21.13%
Excavation/barricade permits	33350	600.00	1,991.40	1,391	7,200.00	7,328.38	128	101.78%
Business registration fees	33400	3,660.00	3,784.69	125	13,250.00	4,510.69	(8,739)	34.04%
Parcel permit fees	33450	400.00	315.00	(85)	4,800.00	2,205.00	(2,595)	45.94%
Liquor license fees	33500	0.00	0.00	0	3,250.00	750.00	(2,500)	23.08%
Home occupation fees	33910	1,600.00	1,905.57	306	6,500.00	2,505.57	(3,994)	38.55%
Application fees	34010	210.00	1.00	(209)	2,520.00	3,420.17	900	135.72%
Los Ranchos merchandise	34880	34.00	20.00	(14)	400.00	75.00	(325)	18.75%
LR Newsletter advertising revenue	34990	1,629.00	250.00	(1,379)	19,548.00	12,299.75	(7,248)	62.92%
Miscellaneous revenue	34991	660.00	246.50	(414)	8,000.00	5,292.62	(2,707)	66.16%
Judicial education fee	35008	0.00	0.00	0	48.00	0.00	(48)	0.00%
Court automation fee	35015	0.00	0.00	0	96.00	0.00	(96)	0.00%
Municipal court fines	35020	50.00	54.00	4	750.00	54.00	(696)	7.20%
Insurance recovery	36020	0.00	0.00	0	0.00	1,813.00	1,813	0.00%
Investment income	36030	1,500.00	6,445.80	4,946	20,500.00	43,829.92	23,330	213.80%
Film Permit Fees	36040	0.00	3,900.00	3,900	0.00	3,900.00	3,900	0.00%
Rent income storage units	36070	16,065.00	0.00	(16,065)	192,780.00	65,545.40	(127,235)	34.00%
Land rent	36075	9,160.00	7,345.16	(1,815)	105,000.00	45,800.80	(59,199)	43.62%
Trailer park rent	36077	3,162.00	4,875.00	1,713	37,944.00	21,450.00	(16,494)	56.53%
Property rental income	36079	3,013.00	1,800.00	(1,213)	36,156.00	15,575.00	(20,581)	43.08%
Sale of recycling materials	36090	0.00	0.00	0	0.00	17.60	18	0.00%
Small cities assistance grant	37180	0.00	0.00	0	175,000.00	0.00	(175,000)	0.00%
Sale of Property	37195	0.00	0.00	0	0.00	0.00	0	0.00%
		298,721.50	304,430.15	5,709	3,717,484.00	1,666,831.45	(2,050,653)	44.84%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
 From 7/1/2019 Through 11/30/2019

33910

101 - General Fund

0100 - Executive Legislative

Department Expenditures

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
Wages-Elected Official	41010	923.08	923.08	0	14,400.04	5,726.94	8,673	39.77%
Wages-Full Time	41020	10,000.00	9,232.00	768	130,000.00	50,776.00	79,224	39.06%
FICA Regular	42010	657.50	619.62	38	8,696.30	3,448.27	5,248	39.65%
FICA Medicare	42020	153.77	144.92	9	2,033.82	806.50	1,227	39.65%
Retirement Contributions	42030	1,778.75	1,642.14	137	23,123.76	9,008.69	14,115	38.96%
Health Care	42050	717.17	0.00	717	7,888.70	63.28	7,825	0.80%
Mileage Reimbursement	43010	100.00	773.29	(673)	3,233.00	2,461.92	771	76.15%
Employee Training	47040	700.00	0.00	700	3,640.00	1,657.19	1,983	45.53%
Subscriptions & Memberships	47140	0.00	0.00	0	12,145.00	11,467.51	677	94.42%
Total Department Expenditures		15,030.27	13,335.05	1,695	205,160.62	85,416.30	119,744	41.63%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
0200 - Judicial								
Department Expenditures								
Wages-Elected Official	41010	0.00	0.00	0	1,200.00	50.00	1,150	4.17%
Wages-Part Time	41030	547.84	373.80	174	7,121.92	2,671.00	4,451	37.50%
FICA Regular	42010	33.97	23.18	11	516.00	168.71	347	32.70%
FICA Medicare	42020	7.94	5.42	3	120.64	39.47	81	32.72%
Mileage Reimbursement	43010	0.00	0.00	0	310.00	257.24	53	82.98%
Prof. Service - Computer Support	45150	0.00	0.00	0	407.20	0.00	407	0.00%
Judicial Education Fee	45895	0.00	3.00	(3)	48.00	3.00	45	6.25%
Court Automation Fee	45900	0.00	6.00	(6)	96.00	6.00	90	6.25%
Employee Training	47040	0.00	0.00	0	1,635.00	109.01	1,526	6.67%
Subscriptions & Memberships	47140	0.00	0.00	0	210.00	225.00	(15)	107.14%
Total Department Expenditures		589.75	411.40	178	11,664.76	3,529.43	8,135	30.26%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
1011 - Elections								
Department Expenditures								
Professional Services - Election Judges	45120	0.00	0.00	0	0.00	0.00	0	0.00%
Supplies	46010	0.00	0.00	0	0.00	0.00	0	0.00%
Rent of Equipment & Machinery	47120	0.00	0.00	0	0.00	0.00	0	0.00%
Total Department Expenditures		0.00	0.00	0	0.00	0.00	0	0.00%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
101 - General Fund							
1200 - Financial Administration							
Department Expenditures							
Wages-Full Time	41020	5,964.80	5,964.80	0	77,542.40	32,689.60	44,853 42.16%
Wages-Part Time	41030	369.24	369.24	0	4,800.12	2,030.82	2,769 42.31%
FICA Regular	42010	373.53	383.27	(10)	4,855.88	2,100.76	2,755 43.26%
FICA Medicare	42020	87.36	89.64	(2)	1,135.68	491.32	644 43.26%
Retirement Contributions	42030	1,060.99	1,060.98	0	13,792.86	5,792.56	8,000 42.00%
Health Care	42050	662.00	0.00	662	8,606.00	1,489.08	7,117 17.30%
Audit Fees	45010	0.00	0.00	0	13,484.00	9,304.20	4,180 69.00%
Prof. Service - Computer Support	45150	0.00	0.00	0	0.00	161.63	(162) 0.00%
Contract Svc-Bank Charges	45901	1,070.00	1,183.09	(113)	13,040.00	6,130.83	6,909 47.02%
Contract Services - Labor	45911	0.00	2,095.43	(2,095)	200.00	2,691.62	(2,492) 1345.81%
Supplies	46010	120.00	0.00	120	200.00	0.00	200 0.00%
Subscriptions & Memberships	47140	0.00	0.00	0	370.00	50.00	320 13.51%
Total Department Expenditures		9,707.92	11,146.45	(1,439)	138,026.94	62,932.42	75,095 45.59%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
1700 - Planning and Zoning								
Department Expenditures								
Wages-Full Time	41020	18,585.60	11,132.80	7,453	241,612.80	60,415.60	181,197	25.01%
FICA Regular	42010	1,086.32	680.80	406	14,122.16	3,688.97	10,433	26.12%
FICA Medicare	42020	254.06	159.22	95	3,302.78	862.76	2,440	26.12%
Retirement Contributions	42030	3,305.91	1,980.24	1,326	42,976.84	10,694.74	32,282	24.88%
Health Care	42050	2,458.76	0.00	2,459	29,505.12	2,883.24	26,622	9.77%
Professional Services - Master Plan	45011	0.00	279.40	(279)	7,000.00	5,804.76	1,195	82.93%
Prof. Service - Engineers	45030	250.00	0.00	250	11,000.00	0.00	11,000	0.00%
EPA Stormwater Monitoring	45035	0.00	0.00	0	0.00	0.00	0	0.00%
Storm Water Team Participation	45040	0.00	0.00	0	6,000.00	6,000.00	0	100.00%
Const Regulation Services	45045	17,500.00	17,500.00	0	17,500.00	17,500.00	0	100.00%
Printing, Publishing, & Advert.	47080	100.00	0.00	100	1,200.00	82.37	1,118	6.86%
Subscriptions & Memberships	47140	50.00	0.00	50	2,875.00	461.22	2,414	16.04%
Total Department Expenditures		43,590.65	31,732.46	11,858	377,094.70	108,393.66	268,701	28.74%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
1840 - General Administration								
Department Expenditures								
Wages-Full Time	41020	9,139.20	9,139.20	0	118,809.60	50,086.40	68,723	42.16%
FICA Regular	42010	557.19	538.00	19	7,233.89	2,860.46	4,373	39.54%
FICA Medicare	42020	130.31	125.82	4	1,691.80	689.43	1,002	40.75%
Retirement Contributions	42030	1,625.94	1,625.64	0	21,135.70	8,819.51	12,316	41.73%
Health Care	42050	1,069.75	(3,789.07)	4,859	12,837.00	422.07	12,415	3.29%
Worker's Comp. Assessment	42080	0.00	0.00	0	195.20	90.30	105	46.26%
Mileage Reimbursement	43010	250.00	128.40	122	1,000.00	128.40	872	12.84%
Per Diem (Meals, Lodging, etc)	43020	750.00	2,458.13	(1,708)	9,000.00	5,428.38	3,572	60.32%
Maint-Building & Structure	44010	1,800.00	0.00	1,800	15,700.00	727.09	14,973	4.63%
Maint-Vehicle/furn/fixt/equip	44040	250.00	0.00	250	2,500.00	1,814.56	685	72.58%
Attorney Fees and Settlements	45020	8,750.00	0.00	8,750	105,000.00	53,491.68	51,508	50.94%
Professional Service - Engineers	45030	0.00	0.00	0	20,000.00	0.00	20,000	0.00%
Professional Service - Computer Support	45150	2,500.00	3,419.86	(920)	30,000.00	11,768.06	18,232	39.23%
Professional Service - Appraisals	45155	0.00	0.00	0	5,200.00	0.00	5,200	0.00%
Professional Service - Water rights	45165	0.00	0.00	0	0.00	0.00	0	0.00%
Contract Svc-Physicals	45910	300.00	0.00	300	1,200.00	353.69	846	29.47%
Contract Svc-Temp Labor	45911	4,400.00	0.00	4,400	52,800.00	25,817.02	26,983	48.90%
Contract Services A-AAA Self Storage	45915	4,835.00	0.00	4,835	58,020.00	16,997.48	41,023	29.30%
Supplies	46010	2,165.00	35.83	2,129	25,980.00	13,727.79	12,252	52.84%
Los Ranchos Merchandise	46015	125.00	0.00	125	500.00	0.00	500	0.00%
Miscellaneous	46090	500.00	499.64	0	6,000.00	3,022.35	2,978	50.37%
Employee Training	47040	600.00	0.00	600	7,200.00	1,225.00	5,975	17.01%
Insurance-Non employee	47060	0.00	0.00	0	60,329.00	57,136.01	3,193	94.71%
Postage & Mail Service	47070	1,150.00	0.00	1,150	10,325.00	4,893.65	5,431	47.40%
Printing, publishing & advertising	47080	1,250.00	590.98	659	15,000.00	7,643.08	7,357	50.95%
Printing, Pub/Advert-LR News	47081	5,066.00	6,264.30	(1,198)	40,528.00	17,234.11	23,294	42.52%
Rent of Equipment & Machinery	47120	955.00	511.96	443	11,460.00	4,657.12	6,803	40.64%
Subscriptions & Memberships	47140	0.00	0.00	0	2,637.00	249.00	2,388	9.44%
Telephone	47150	1,500.00	135.92	1,364	18,000.00	8,174.84	9,825	45.42%
Utilities	47160	3,550.00	393.46	3,157	48,391.00	21,949.26	26,442	45.36%
Workers' Compensation Insurance	47210	0.00	0.00	0	14,500.00	18,219.00	(3,719)	125.65%
Total Department Expenditures		53,218.39	22,078.07	31,140	723,173.19	337,625.74	385,547	46.69%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
1920 - Police								
Department Expenditures								
Contract services - Public safety	45904	1,200.00	2,046.62	(847)	14,400.00	9,154.00	5,246	63.57%
Total Department Expenditures		1,200.00	2,046.62	(847)	14,400.00	9,154.00	5,246	63.57%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
1960 - Public Facilities								
Department Expenditures								
Wages-Full Time	41020	13,105.60	12,385.62	720	170,372.80	71,058.70	99,314	41.71%
Wages-Temporary	41040	2,080.00	0.00	2,080	27,040.00	3,490.50	23,550	12.91%
FICA Regular	42010	884.27	710.78	173	9,115.50	4,302.62	4,813	47.20%
FICA Medicare	42020	206.80	166.24	41	2,688.42	1,006.30	1,682	37.43%
Retirement Contributions	42030	2,331.16	2,203.10	128	30,305.08	12,210.07	18,095	40.29%
Health Care	42050	1,720.09	0.00	1,720	20,641.08	8,686.48	11,955	42.08%
Transportation Exp. (Gas, Oil, etc.)	43030	375.00	415.85	(41)	4,500.00	3,120.16	1,380	69.34%
Maint-Building & Structure	44010	450.00	0.00	450	5,400.00	909.65	4,490	16.85%
Maintenance - Grounds/Roadways	44030	3,000.00	0.00	3,000	36,000.00	9,087.39	26,913	25.24%
Maint-Vehicle/fum/fixt/equip	44040	1,500.00	587.35	913	18,000.00	5,427.69	12,572	30.15%
Prof. Service - Animal Control	45140	835.00	0.00	835	10,020.00	217.13	9,803	2.17%
Supplies	46010	1,666.00	1,394.00	272	23,792.00	8,353.27	15,439	35.11%
Miscellaneous Expensw	46090	0.00	0.00	0	0.00	44.01	(44)	0.00%
Safety Equipment	47050	0.00	0.00	0	2,500.00	0.00	2,500	0.00%
Rent of Equipment & Machinery	47120	150.00	0.00	150	1,800.00	0.00	1,800	0.00%
Utilities	47160	3,750.00	1,637.90	2,112	45,000.00	16,987.71	28,012	37.75%
Total Department Expenditures		32,053.92	19,500.84	12,553	407,174.88	144,901.68	262,273	35.59%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
101 - General Fund								
1970- Agricultural Enterprises								
Department Expenditures								
Wages-Full Time	41020	4,972.80	6,036.80	(1,064)	64,646.40	23,416.80	41,230	36.22%
FICA Regular	42010	298.88	364.84	(66)	3,885.42	1,414.08	2,471	36.39%
FICA Medicare	42020	69.90	85.33	(15)	839.70	330.73	509	39.39%
Retirement Contributions	42030	884.54	884.54	0	11,499.02	3,486.02	8,013	30.32%
Health Care	42050	1,978.24	0.00	1,978	41,543.88	1,140.54	40,403	2.75%
Transportation Exp. (Gas, Oil, etc.)	43030	400.00	16.18	384	4,800.00	85.79	4,714	1.79%
Maint-Building & Structure	44010	450.00	0.00	450	5,400.00	1,008.05	4,392	18.67%
Maintenance - Grounds/Roadways	44030	1,175.00	0.00	1,175	14,100.00	5,025.00	9,075	35.64%
Maint-Vehicle/fum/fixt/equip	44040	584.00	0.00	584	7,008.00	58.10	6,950	0.83%
Supplies	46010	1,010.00	0.00	1,010	12,120.00	2,492.35	9,628	20.56%
Agricultural Program Support	46020	0.00	0.00	0	45,000.00	2,109.61	42,890	4.69%
Safety Equipment	47050	0.00	0.00	0	1,000.00	0.00	1,000	0.00%
Printing, Publishing & Advertising	47080	0.00	0.00	0	0.00	479.14	(479)	0.00%
Rent of equipment & machinery	47120	150.00	0.00	150	1,800.00	0.00	1,800	0.00%
Utilities	47160	1,086.76	102.89	984	13,041.12	2,909.07	10,132	22.31%
Total Department Expenditures		13,060.12	7,490.58	5,570	226,683.54	43,955.28	182,728	19.39%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
 From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
101 - General Fund							
2000 - Fire							
Department Expenditures							
IGA for Fire Protection & EMS Services 45928	0.00	0.00	0	453,200.00	113,300.00	339,900	25.00%
Total Department Expenditures	0.00	0.00	0	453,200.00	113,300.00	339,900	25.00%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
101 - General Fund							
Summary of General Fund Revenues and Expenses							
Beginning cash and cash equivalents	1,950,780.73	3,386,973.29	1,436,193	4,236,844.99	4,236,844.99	0	
Revenues							
General Fund Revenues	298,721.50	304,430.15	5,709	3,717,484.00	1,666,831.45	(2,050,653)	44.84%
Expenditures							
Executive Legislative	15,030.27	13,335.05	1,695	205,160.62	85,416.30	119,744	41.63%
Judicial	589.75	411.40	178	11,664.76	3,529.43	8,135	30.26%
Elections	0.00	0.00	0	0.00	0.00	0	0.00%
Financial Administration	9,707.92	11,146.45	(1,439)	138,026.94	62,932.42	75,095	45.59%
Planning and Zoning	43,590.65	31,732.46	11,858	377,094.70	108,393.66	268,701	28.74%
General Administration	53,218.39	22,078.07	31,140	723,173.19	337,625.74	385,547	46.69%
Police	1,200.00	2,046.62	(847)	14,400.00	9,154.00	5,246	63.57%
Public Facilities	32,053.92	19,500.84	12,553	407,174.88	144,901.68	262,273	35.59%
Agricultural Enterprises	13,060.12	7,490.58	5,570	226,683.54	43,955.28	182,728	19.39%
Fire	0.00	0.00	0	453,200.00	113,300.00	339,900	25.00%
Total Fund Expenditures	168,451.02	107,741.47	60,710	2,556,578.63	909,208.51	1,647,370	35.56%
Excess/(deficiency) of revenues over expenditures	130,270.48	196,688.68	66,418	1,160,905.37	757,622.94	(403,282)	65.26%
Capital Expenditures							
Capital Buildings & Structures 48010	0.00	0.00	0	50,000.00	2,356.25	47,644	4.71%
Capital equipent & machinery 48020	0.00	0.00	0	68,605.00	0.00	68,605	0.00%
Capital Roadways, Bridges, & Culverts 48080	586,887.00	323,620.40	263,267	2,934,435.00	1,732,070.11	1,202,365	59.03%
Total Capital Expenditures	586,887.00	323,620.40	263,267	3,053,040.00	1,734,426.36	1,318,614	56.81%
Other financing sources (uses)							
Agricultural Committee Special Fund 52001	0.00	0.00	0	0.00	0.00	0	0.00%
Purchase Real Property Reserve Fund 52001	0.00	0.00	0	0.00	0.00	0	0.00%
Law Enforcement Protection Fund 52001	0.00	0.00	0	(42,000.00)	0.00	42,000	0.00%
General Obligatoin Bonds Reserve 52001	0.00	0.00	0	0.00	0.00	0	0.00%
Fire Protection Fund 52001	0.00	0.00	0	0.00	0.00	0	0.00%
Total other financing sources (uses)	0.00	0.00	0	(42,000.00)	0.00	42,000	0.00%
Excess/(deficiency) after capital expenditures & other financing sources	(456,616.52)	(126,931.72)	329,685	(1,934,134.63)	(976,803.42)	957,331	50.50%
Ending cash and cash equivalents	1,494,164.21	3,260,041.57	1,765,877	2,302,710.36	3,260,041.57	957,131	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
201 - Correction							
0200 - Judicial							
Beginning cash and cash equivalents	1,020.00	900.00	(120)	900.00	900.00	0	
Revenues							
Corrections fee	0.00	0.00	0	240.00	0.00	(240)	0.00%
	0.00	0.00	0	240.00	0.00	(240)	0.00%
Expenditures							
Correction costs	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures	0.00	0.00	0	240.00	0.00	(240)	0.00%
Ending cash and cash equivalents	1,020.00	900.00	(120)	1,140.00	900.00	(240)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
206 - Emergency Medical Service Fund							
9206 - Emergency Medical Service Fund							
Beginning cash and cash equivalents	0.00	0.00	0	0.00	0.00	0	
Revenues							
State Grant - EMS 37090	0.00	0.00	0	0.00	0.00	0	0.00%
	0.00	0.00	0	0.00	0.00	0	0.00%
Expenditures							
IGA for Fire Protection & EMS Services 45928	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Ending cash and cash equivalents	0.00	0.00	0	0.00	0.00	0	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
209 - Fire Protection Fund							
9209 - Fire Protection Fund							
Beginning cash and cash equivalents	0.40	0.00	(0)	0.00	0.00	0	
Revenues							
State Grant - Fire Protection Distribution 37120	0.00	0.00	0	93,121.60	73,302.60	(19,819)	78.72%
	0.00	0.00	0	93,121.60	73,302.60	(19,819)	78.72%
Expenditures							
IGA for Fire Protection & EMS Services 45928	0.00	0.00	0	93,120.00	73,302.60	19,817	78.72%
Total Fund Expenditures	0.00	0.00	0	93,120.00	73,302.60	19,817	78.72%
Excess/(deficiency) of revenues over expenditures	0.00	0.00	0	1.60	0.00	(2)	0%
Other financing sources (uses)							
Operating transfers in 51001	0.00	0.00	0	0.00	0.00	0	0.00%
Total other financing sources (uses)	0.00	0.00	0	0.00	0.00	0	0.00%
Excess (deficiency) after other financing sources (uses)	0.00	0.00	0	1.60	0.00	(2)	0%
Ending cash and cash equivalents	0.40	0.00	(0)	1.60	0.00	(2)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
211 - Law Enforcement Protection Fund								
9211 - Law Enforcement Protection Fund								
Beginning cash and cash equivalents	0.00	20,000.00	20,000	0.00	0.00	0		
Revenues								
Law Enforcement Grant	35010	0.00	0.00	0	20,000.00	20,000.00	0	100.00%
		0.00	0.00	0	20,000.00	20,000.00	0	100.00%
Expenditures								
Maintenance - vehicle/furniture/fixtures/equi	44040	0.00	0.00	0	5,000.00	0.00	5,000	0.00%
MOU for Public Safety Services	45929	0.00	0.00	0	52,000.00	0.00	52,000	0.00%
Training	47040	0.00	0.00	0	5,000.00	0.00	5,000	0.00%
Total Fund Expenditures		0.00	0.00	0.00	62,000.00	0.00	62,000	0.00
Excess/(deficiency) of revenues over expenditures		0.00	0.00	0	(42,000.00)	20,000.00	62,000	-47.62%
Other financing sources (uses)								
Operating transfers in	51001	0.00	0.00	0	42,000.00	0.00	(42,000)	0.00%
Reversion	52010	0.00	0.00	0	(20,000.00)	0.00	20,000	0.00%
Total other financing sources (uses)		0.00	0.00	0	22,000.00	0.00	(22,000)	0.00%
Excess (deficiency) after other financing sources (uses)		0.00	0.00	0	(20,000.00)	20,000.00	40,000	-100.00%
Ending cash and cash equivalents		0.00	20,000.00	20,000	(20,000.00)	20,000.00	40,000	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
216 - Municipal Street Fund							
9216 - Municipal Street Fund							
Beginning cash and cash equivalents	269,199.03	265,113.13	(4,086)	193,821.03	193,821.03	0	
Revenues							
Gross Receipts (Infra)	31240 15,761.00	13,677.06	(2,084)	173,210.00	69,256.99	(103,953)	39.98%
Gasoline Tax-Street	32310 2,600.00	2,166.91	(433)	31,200.00	8,562.53	(22,637)	27.44%
Motor Vehicle Registration	32610 1,500.00	0.00	(1,500)	18,000.00	9,316.55	(8,683)	51.76%
Total Fund Revenue	19,861.00	15,843.97	(4,017)	222,410.00	87,136.07	(135,274)	39.18%
Expenditures							
Road Improvements	48080 0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures	19,861.00	15,843.97	(4,017)	222,410.00	87,136.07	(135,274)	-39.18%
Ending cash and cash equivalents	289,060.03	280,957.10	(8,103)	416,231.03	280,957.10	(135,274)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
299 - Special - Other Funds								
3000 - Fine Arts								
Beginning cash and cash equivalents	4,514.13	4,082.71	(431)	6,224.13	6,224.13	0		
Revenues								
Arts & Crafts Market Revenue	34997	0.00	0.00	0	4,865.00	120.00	(4,745)	2.47%
		0.00	0.00	0	4,865.00	120.00	(4,745)	2.47%
Department Expenditures								
Supplies	46010	0.00	0.00	0	1,100.00	489.65	610	44.51%
Miscellaneous Expense	46090	270.00	0.00	270	1,050.00	0.00	1,050	0.00%
Postage & Mail Service	47070	0.00	0.00	0	25.00	0.00	25	0.00%
Printing, Publishing & Advert.	47080	760.00	0.00	760	3,175.00	1,771.77	1,403	55.80%
Subscriptions & Memberships	47140	0.00	0.00	0	25.00	0.00	25	0.00%
Total Department Expenditures		1,030.00	0.00	1,030	5,375.00	2,261.42	3,114	42.07%
Excess/(deficiency) of revenues over expenditures		(1,030.00)	0.00	1,030	(510.00)	(2,141.42)	(1,631)	419.89%
Other financing sources (uses)								
Operating transfers out	52001	0.00	0.00	0	(4,500.00)	0.00	4,500	0.00%
Total other financing sources (uses)		0.00	0.00	0	(4,500.00)	0.00	4,500	0.00%
Excess (deficiency) after other financing sources (uses)		(1,030.00)	0.00	1,030	(5,010.00)	(2,141.42)	2,869	42.74%
Ending cash and cash equivalents		3,484.13	4,082.71	599	1,214.13	4,082.71	2,869	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
299 - Special - Other Funds								
3001 - Agricultural Committee								
Beginning cash and cash equivalents	(3,134.68)	(3,845.53)	(711)	1,360.32	1,360.32	0		
Revenues								
Farmers' Market Revenue	34995	0.00	0.00	0	3,340.00	160.00	(3,180)	4.79%
		0.00	0.00	0	3,340.00	160.00	(3,180)	4.79%
Department Expenditures								
Supplies	46010	0.00	0.00	0	700.00	0.00	700	0.00%
Miscellaneous	46090	0.00	0.00	0	50.00	0.00	50	0.00%
Insurance-Non Employee	47060	0.00	0.00	0	375.00	0.00	375	0.00%
Printing, Publishing & Advert.	47080	500.00	497.31	3	10,100.00	5,863.16	4,237	58.05%
Rent of Equipment & Machinery	47120	0.00	0.00	0	475.00	0.00	475	0.00%
Subscriptions & Memberships	47140	0.00	0.00	0	0.00	0.00	0	0.00%
Total Department Expenditures		500.00	497.31	3	11,700.00	5,863.16	5,837	50.11%
Excess/(deficiency) of revenues over expenditures		(500.00)	(497.31)	3	(8,360.00)	(5,703.16)	2,657	68.22%
Other financing sources (uses)								
Operating transfers in	51001	0.00	0.00	0	4,500.00	0.00	(4,500)	0.00%
Total other financing sources (uses)		0.00	0.00	0	4,500.00	0.00	(4,500)	0.00%
Excess (deficiency) after other financing sources (uses)		(500.00)	(497.31)	3	(3,860.00)	(5,703.16)	(1,843)	147.75%
Ending cash and cash equivalents		(3,634.68)	(4,342.84)	(708)	(2,499.68)	(4,342.84)	(1,843)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
299 - Special - Other Funds							
3002 - Scenic Byways & MainStreet							
Beginning cash and cash equivalents	459.64	459.64	0	459.64	459.64	0	
Revenues							
Grants	0.00	0.00	0	0.00	0.00	0	0.00%
	0.00	0.00	0	0.00	0.00	0	0.00%
Department Expenditures							
Supplies	0.00	0.00	0	0.00	0.00	0	0.00%
Total Department Expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Ending cash and cash equivalents	459.64	459.64	0	459.64	459.64	0	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
299 - Special - Other Funds							
3003 - Agri-Nature Center							
Beginning cash and cash equivalents	15,000.00	15,000.00	0	15,000.00	15,000.00	0	
Revenues							
Contributions - Other	36019 0.00	0.00	0	0.00	0.00	0	0.00%
	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Department Expenditures							
Improvements	48900 0.00	0.00	0	0.00	0.00	0	0.00%
Total Department Expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Ending cash and cash equivalents	<u>15,000.00</u>	<u>15,000.00</u>	<u>0</u>	<u>15,000.00</u>	<u>15,000.00</u>	<u>0</u>	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
299 - Special - Other Funds							
Summary of Special - Other Funds Revenues and Expenses							
Beginning cash and cash equivalents	16,839.09	15,696.82	(1,142)	23,044.09	23,044.09	0	
Revenues							
Fine Arts	0.00	0.00	0	4,865.00	120.00	(4,745)	2.47%
Agricultural Committee	0.00	0.00	0	3,340.00	160.00	(3,180)	4.79%
Scenic Byways	0.00	0.00	0	0.00	0.00	0	0.00%
Agri-Nature Center	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Revenues	0.00	0.00	0	8,205.00	280.00	(7,925)	3.41%
Expenditures							
Fine Arts	1,030.00	0.00	1,030	5,375.00	2,261.42	3,114	42.07%
Agricultural Committee	500.00	497.31	3	11,700.00	5,863.16	5,837	50.11%
Scenic Byways	0.00	0.00	0	0.00	0.00	0	0.00%
Agri-Nature Center	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures	1,530.00	497.31	1,033	17,075.00	8,124.58	8,950	47.58%
Excess/(deficiency) of revenues over expenditures	(1,530.00)	(497.31)	1,033	(8,870.00)	(7,844.58)	1,025	0.00%
Other financing sources (uses)							
Operating transfers in	0.00	0.00	0	4,500.00	0.00	(4,500)	0.00%
Operating transfers out	0.00	0.00	0	(4,500.00)	0.00	4,500	0.00%
Total other financing sources (uses)	0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) after other financing sources (uses)	(1,530.00)	(497.31)	1,033	(8,870.00)	(7,844.58)	1,025	0.00%
Ending cash and cash equivalents	15,309.09	15,199.51	(110)	14,174.09	15,199.51	1,025	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
 From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
311 - Capital Project Infrastructure								
3111 - Improvements 4th Street - CN 3131828 (Reversion Date 06/30/2019)								
Revenues								
State Grant - Other	37230	0.00	0.00	0	0.00	0.00	0	0.00%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Expenditures								
Capital Expenditure - Roadway	48080	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
 From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
311 - Capital Project Infrastructure								
3113 - Improvements 4th Street - CN C3150909 (Reversion Date 06/30/2019) - CLOSED								
Revenues								
State Grant - Other	37230	0.00	0.00	0	0.00	0.00	0	0.00%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Expenditures								
Capital Expenditure - Roadway	48080	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
 From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
311 - Capital Project Infrastructure								
3115 - Improvements 4th Street - CN C3182619								
Revenues								
State Grant - Other	37230	0.00	0.00	0	0.00	31,301.31	31,301	0.00%
		0.00	0.00	0	0.00	31,301.31	31,301	0.00%
Expenditures								
Capital Expenditure - Roadway	48080	0.00	0.00	0	0.00	732.72	(733)	0.00%
Total Fund Expenditures		0.00	0.00	0	0.00	732.72	(733)	0.00%
Excess/(deficiency) of revenues over expenditures		0.00	0.00	0	0.00	30,568.59	30,569	0.00%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
311 - Capital Project Infrastructure								
3116 - Improvements 4th Street - (Reversion Date 06/30/2022)								
Revenues								
State Grant - Other	37230	180,000.00	0.00	(180,000)	900,000.00	0.00	(900,000)	0.00%
		<u>180,000.00</u>	<u>0.00</u>	<u>(180,000)</u>	<u>900,000.00</u>	<u>0.00</u>	<u>(900,000)</u>	<u>0.00%</u>
Expenditures								
Capital Expenditure - Roadway	48080	180,000.00	0.00	180,000	900,000.00	248,284.96	651,715	27.59%
Total Fund Expenditures		<u>180,000.00</u>	<u>0.00</u>	<u>180,000</u>	<u>900,000.00</u>	<u>248,284.96</u>	<u>651,715</u>	<u>27.59%</u>
Excess/(deficiency) of revenues over expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>(248,284.96)</u>	<u>(248,285)</u>	<u>0.00%</u>

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
311 - Capital Project Infrastructure							
Beginning cash and cash equivalents	(31,301.31)	(249,017.68)	(217,716)	(31,301.31)	(31,301.31)	0	
Revenues							
Improvements 4th Street - CN C3182619	0.00	0.00	0.00	0.00	31,301.31	31,301.31	0.00%
Improvements 4th St	180,000.00	0.00	(180,000)	900,000.00	0.00	(900,000)	0.00%
	<u>180,000.00</u>	<u>0.00</u>	<u>#####</u>	<u>900,000.00</u>	<u>31,301.31</u>	<u>(868,698.69)</u>	<u>3.48%</u>
Expenditures							
Improvements 4th Street - CN C3182619	0.00	0.00	0.00	0.00	732.72	(732.72)	0.00%
Improvements 4th St	180,000.00	0	180,000	900,000.00	248,284.96	651,715	27.59%
Total Fund Expenditures	<u>180,000.00</u>	<u>0.00</u>	<u>180,000.00</u>	<u>900,000.00</u>	<u>249,017.68</u>	<u>650,982.32</u>	<u>27.67%</u>
Excess/(deficiency) of revenues over expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>(217,716.37)</u>	<u>(217,716)</u>	<u>0.00%</u>
Ending cash and cash equivalents	(31,301.31)	(249,017.68)	(217,716)	(31,301.31)	(249,017.68)	(217,716)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
 From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
312 - Capital Project Buildings								
3121 - Agri-Nature Center Improvements - ID 15-0734 (Reversion Date 06/30/2019)								
Revenues								
State Grant - Other	37230	0.00	0.00	0	0.00	61,638.02	61,638	0.00%
		0.00	0.00	0	0.00	61,638.02	61,638	0.00%
Expenditures								
Capital Expenditure - Buildings	48010	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures		0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures		0.00	0.00	0	0.00	61,638.02	61,638	0.00%

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
312 - Capital Project Buildings								
3122 - Agri-Nature Center Improvements - ID 16-A2397 (Reversion Date 06/20/2020)								
Revenues								
State Grant - Other	37230	0.00	0.00	0	0.00	0.00	0	0.00%
		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>
Expenditures								
Capital Expenditure - Buildings	48010	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures		<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00%</u>

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
312 - Capital Project Buildings								
3123 - Agri-Nature Center Improvements - NEW 2020 Appropriation (Reversion Date 06/20/2022)								
Revenues								
State Grant - Other	37230	25,456.00	0.00	(25,456)	480,000.00	0.00	(480,000)	0.00%
		<u>25,456.00</u>	<u>0.00</u>	<u>(25,456)</u>	<u>480,000.00</u>	<u>0.00</u>	<u>(480,000)</u>	<u>0.00%</u>
Expenditures								
Capital Expenditure - Buildings	48010	17,728.00	0.00	17,728	195,000.00	0.00	195,000	0.00%
Land Improvement Expenditures - land	48020	5,000.00	0.00	5,000	55,000.00	0.00	55,000	0.00%
Total Fund Expenditures		<u>22,728.00</u>	<u>0.00</u>	<u>22,728</u>	<u>250,000.00</u>	<u>0.00</u>	<u>250,000</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures		<u>2,728.00</u>	<u>0.00</u>	<u>(2,728)</u>	<u>230,000.00</u>	<u>0.00</u>	<u>(230,000)</u>	<u>0.00%</u>

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
312 - Capital Project Buildings							
Beginning cash and cash equivalents	6,294.73	(251.25)	(6,546)	(61,889.27)	(61,889.27)	0	
Revenues							
Improvements Agri-Nature ID 15-0734	0.00	0.00	0	0.00	61,638.02	61,638	0.00%
Improvements Agri-Nature ID 16-A2397	0.00	0.00	0	0.00	0.00	0	0.00%
Improvements NEW 2020 Appropriation	25,456.00	0.00	(25,456)	480,000.00	0.00	(480,000)	0.00%
	<u>25,456.00</u>	<u>0.00</u>	<u>(25,456)</u>	<u>480,000.00</u>	<u>61,638.02</u>	<u>(418,362)</u>	<u>12.84%</u>
Expenditures							
Improvements Agri-Nature ID 15-0734	0.00	0.00	0	0.00	0.00	0	0.00%
Improvements Agri-Nature ID 16-A2397	0.00	0.00	0	0.00	0.00	0	0.00%
Improvements NEW 2020 Appropriation	22,728.00	0.00	22,728	250,000.00	0.00	250,000	0.00%
Total Fund Expenditures	<u>22,728.00</u>	<u>0.00</u>	<u>22,728</u>	<u>250,000.00</u>	<u>0.00</u>	<u>250,000</u>	<u>0.00%</u>
Excess/(deficiency) of revenues over expenditures	<u>2,728.00</u>	<u>0.00</u>	<u>(2,728)</u>	<u>230,000.00</u>	<u>61,638.02</u>	<u>(168,362)</u>	<u>26.80%</u>
Ending cash and cash equivalents	9,022.73	(251.25)	(9,274)	168,110.73	(251.25)	(168,362)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
380 - Purchase Real Property Reserve Fund								
3801 - Purchase Real Property Fund								
Beginning cash and cash equivalents	<u>159,238.25</u>	<u>459,238.25</u>	<u>300,000</u>	<u>459,238.25</u>	<u>459,238.25</u>	<u>0</u>		
Expenditures								
Property Purchase	48040	0.00	0.00	0	500,000.00	0.00	500,000	0.00%
Total Fund Expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>500,000.00</u>	<u>0.00</u>	<u>500,000</u>	<u>0.00%</u>	
Excess/(deficiency) of revenues over expenditures	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>(500,000.00)</u>	<u>0.00</u>	<u>500,000</u>	<u>0.00%</u>	
Other financing sources (uses)								
Operating transfers in	51001	0.00	0.00	0	200,000.00	0.00	(200,000)	0.00%
Total other financing sources (uses)	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>200,000.00</u>	<u>0.00</u>	<u>(200,000)</u>	<u>0.00%</u>	
Excess/(deficiency) after other financing sources (uses)	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>(300,000.00)</u>	<u>0.00</u>	<u>300,000</u>	<u>0.00%</u>	
Ending cash and cash equivalents	<u>159,238.25</u>	<u>459,238.25</u>	<u>300,000</u>	<u>159,238.25</u>	<u>459,238.25</u>	<u>300,000</u>		

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
399 - Capital Project - Other							
3900 - Park Land and Plaza Reserve							
Beginning cash and cash equivalents	31,111.81	31,111.81	0	31,111.81	31,111.81	0	
Revenues							
Cash in Lieu of Land Dedication	36015 0.00	0.00	0	0.00	0.00	0	0.00%
	0.00	0.00	0	0.00	0.00	0	0.00%
Expenditures							
Other Capital Purchase	48900 0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures	0.00	0.00	0	0.00	0.00	0	0.00%
Ending cash and cash equivalents	31,111.81	31,111.81	0	31,111.81	31,111.81	0	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
401 - General Obligation Bonds								
1830 - General Obligation Bonds								
Beginning cash and cash equivalents	(257,327.00)	(256,177.14)	1,150	0.00	0.00	0		
Revenues								
Property Taxes - Current	31500	0.00	0.00	0	261,147.00	0.00	(261,147)	0.00%
Property Taxes - Delinquent	31510	0.00	865.50	866	8,076.00	10,093.56	2,018	124.98%
Total Revenue		0.00	865.50	866	269,223.00	10,093.56	(259,129)	3.75%
Expenditures								
Debt Service Principal	49010	0.00	0.00	0	200,000.00	210,000.00	(10,000)	105.00%
Debt Service Interest	49020	0.00	0.00	0	116,291.00	55,405.20	60,886	47.64%
Total Fund Expenditures		0.00	0.00	0	316,291.00	265,405.20	50,886	83.91%
Excess/(deficiency) of revenues over expenditures		0.00	865.50	866	(47,068.00)	(255,311.64)	(208,244)	542.43%
Other financing sources (uses)								
Operating transfers in	51001	0.00	0.00	0	47,067.00	0.00	(47,067)	0.00%
Total other financing sources (uses)		0.00	0.00	0	47,067.00	0.00	(47,067)	0.00%
Excess (deficiency) after other financing sources (uses)		0.00	865.50	866	(1.00)	(255,311.64)	(255,311)	0.00%
Ending cash and cash equivalents		(257,327.00)	(255,311.64)	2,015	(1.00)	(255,311.64)	(255,311)	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
410 - General Obligation Bonds Reserve Fund							
4101 - General Obligation Bonds Reserve							
Beginning cash and cash equivalents	901,102.00	901,102.00	0	901,102.00	901,102.00	0	
Other financing sources (uses)							
Operating transfers in	51001	0.00	0.00	0	0.00	0.00	0
Operating transfers out	52001	0.00	0.00	0	(47,067.00)	0.00	47,067
Total other financing sources (uses)		0.00	0.00	0	(47,067.00)	0.00	47,067
Excess/(deficiency) after other financing sources (uses)		0.00	0.00	0	(47,067.00)	0.00	47,067
Ending cash and cash equivalents	901,102.00	901,102.00	0	854,035.00	901,102.00	47,067	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date				
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget	
505 - Agri-Nature Center Farm Camps								
1500 - Farm Camps								
Beginning cash and cash equivalents	55,910.86	63,910.86	8,000	55,910.86	55,910.86	0		
Revenues								
Farm camp revenue	36065	0.00	0.00	0	0.00	8,000.00	8,000	0.00%
Total Revenue		0.00	0.00	0	0.00	8,000.00	8,000	0.00%
Expenditures								
Wages-Temporary	41040	0.00	0.00	0	0.00	0.00	0	0.00%
FICA regular	42010	0.00	0.00	0	0.00	0.00	0	0.00%
FICA medicare	42020	0.00	0.00	0	0.00	0.00	0	0.00%
Worker's Comp. Assessment	42080	0.00	0.00	0	0.00	0.00	0	0.00%
Supplies	46010	0.00	0.00	0	0.00	0.00	0	0.00%
Miscellaneous Expense	46090	0.00	0.00	0	0.00	0.00	0	0.00%
Training	47040	0.00	0.00	0	0.00	0.00	0	0.00%
Printing, Publishing, & Advert.	47080	0.00	0.00	0	0.00	0.00	0	0.00%
Insurance Workers' Compensation	47210	0.00	0.00	0	0.00	0.00	0	0.00%
Total Fund Expenditures		0.00	0.00	0	0.00	0.00	0	0.00%
Excess/(deficiency) of revenues over expenditures		0.00	0.00	0	0.00	8,000.00	8,000	0.00%
Ending cash and cash equivalents		55,910.86	63,910.86	8,000	55,910.86	63,910.86	8,000	

Village of Los Ranchos de Albuquerque
Statement of Revenues and Expenditures
From 7/1/2019 Through 11/30/2019

Account No.	Current Period			Year - to -Date			
	Current PTD Budget	Cash Basis PTD Actual	Current PTD Variance	2019/2020 Original Budget	Cash Basis YTD Actual	YTD Budget Variance	% of Total Budget
Summary of Revenues and Expenditures							
Beginning cash and cash equivalents	3,102,868.59	4,638,600.09	1,535,732	5,808,782.45	5,808,782.45	0	
Revenues							
General Fund	298,721.50	304,430.15	5,709	3,717,484.00	1,666,831.45	(2,050,653)	44.84%
Correction	0.00	0.00	0	240.00	0.00	(240)	0.00%
Emergency Medical Service Fund	0.00	0.00	0	0.00	0.00	0	0.00%
Fire Protection Fund	0.00	0.00	0	93,121.60	73,302.60	(19,819)	78.72%
Law Enforcement Fund	0.00	0.00	0	20,000.00	20,000.00	0	100.00%
Municipal Street Fund	19,861.00	15,843.97	(4,017)	222,410.00	87,136.07	(135,274)	39.18%
Special - Other Funds	0.00	0.00	0	8,205.00	280.00	(7,925)	3.41%
Capital Project Infrastructure	180,000.00	0.00	(180,000)	900,000.00	31,301.31	(868,699)	3.48%
Capital Project Buildings	25,456.00	0.00	(25,456)	480,000.00	61,638.02	(418,362)	12.84%
Purchase Real Property Reserve Fund	0.00	0.00	0	0.00	0.00	0	0.00%
Capital Project - Other	0.00	0.00	0	0.00	0.00	0	0.00%
General Obligation Bonds	0.00	865.50	866	269,223.00	10,093.56	(259,129)	3.75%
General Obligation Bonds Reserve Fund	0.00	0.00	0	0.00	0.00	0	0.00%
Agri-Nature Center Farm Camps	0.00	0.00	0	0.00	8,000.00	8,000	0.00%
General Long Term Debt	0.00	0.00	0	0.00	0.00	0	0.00%
Total Revenues	524,038.50	321,139.62	(202,899)	5,710,683.60	1,958,583.01	(3,752,101)	34.30%
Expenditures							
General Fund	755,338.02	431,361.87	323,976	5,609,618.63	2,643,634.87	2,965,984	47.13%
Correction	0.00	0.00	0	0.00	0.00	0	0.00%
Emergency Medical Service Fund	0.00	0.00	0	0.00	0.00	0	0.00%
Fire Protection Fund	0.00	0.00	0	93,120.00	73,302.60	19,817	78.72%
Law Enforcement Protection Fund	0.00	0.00	0	62,000.00	0.00	62,000	0.00%
Municipal Street Fund	0.00	0.00	0	0.00	0.00	0	0.00%
Special - Other Funds	1,530.00	497.31	1,033	17,075.00	8,124.58	8,950	47.58%
Capital Project Infrastructure	180,000.00	0.00	180,000	900,000.00	249,017.68	650,982	27.67%
Capital Project Buildings	22,728.00	0.00	22,728	250,000.00	0.00	250,000	0.00%
Purchase Real Property Reserve Fund	0.00	0.00	0	500,000.00	0.00	500,000	0.00%
Capital Project - Other	0.00	0.00	0	0.00	0.00	0	0.00%
General Obligation Bonds	0.00	0.00	0	316,291.00	265,405.20	50,886	83.91%
Agri-Nature Center Farm Camps	0.00	0.00	0	0.00	0.00	0	0.00%
Total Expenditures	959,596.02	431,859.18	527,737	7,748,104.63	3,239,484.93	4,508,620	41.81%
Excess/(deficiency) of revenues over expenditures	(435,557.52)	(110,719.56)	324,838	(2,037,421.03)	(1,280,901.92)	756,319	62.87%
Other financing sources (uses)							
Operating transfers in	0.00	0.00	0	293,567.00	0.00	(293,567)	0.00%
Operating transfers out	0.00	0.00	0	(93,567.00)	0.00	93,567	0.00%
Reversion	0.00	0.00	0	(20,000.00)	0.00	20,000	0.00%
	0.00	0.00	0	180,000.00	0.00	(180,000)	0.00%
Excess/(deficiency) after other financing sources (uses)	(435,557.52)	(110,719.56)	324,838	(1,857,421.03)	(1,280,901.92)	576,319	68.96%
Ending cash and cash equivalents	2,667,311.07	4,527,880.53	1,860,569	3,951,361.42	4,527,880.53	576,519	

Ending cash and cash equivalents
\$4,527,880.53

Village of Los Ranchos de Albuquerque
Check/Voucher Register
From 11/1/2019 Through 11/30/2019

Payee	Date	Check No.	Amount
Abila	11/20/2019	43469	<u>161.63</u>
Total Abila			161.63
Accountemps	11/15/2019	46440	1,017.03
Accountemps	11/15/2019	46440	<u>1,078.40</u>
Total Accountemps			2,095.43
Administrative Office of the	11/20/2019	43471	<u>6.00</u>
Total Administrative Office of the			6.00
Albuquerque Bernalillo County	11/15/2019	46438	<u>365.28</u>
Total Albuquerque Bernalillo County			365.28
Albuquerque Power Equipment	11/20/2019	43470	<u>31.05</u>
Total Albuquerque Power Equipment			31.05
Albuquerque Publishing Co.	11/15/2019	46439	<u>590.98</u>
Total Albuquerque Publishing Co.			590.98
Bank of America	11/20/2019	495596	<u>92.62</u>
Total Bank of America			92.62
Bank of America Merchant SVRS	11/15/2019	54395	<u>132.90</u>
Total Bank of America Merchant SVRS			132.90
Bank of America, N.A.	11/15/2019	50000001	<u>716.60</u>
Total Bank of America, N.A.			716.60

Village of Los Ranchos de Albuquerque
Check/Voucher Register
From 11/1/2019 Through 11/30/2019

Payee	Date	Check No.	Amount
Belknap Publishing Inc	11/15/2019	46441	<u>76.59</u>
Total Belknap Publishing Inc			76.59
Bernalillo County Fire Dept	11/20/2019	43472	<u>60.00</u>
Total Bernalillo County Fire Dept			60.00
Bernalillo County Planning &	11/15/2019	46442	<u>17,500.00</u>
Total Bernalillo County Planning &			17,500.00
Bradbury Stamm Construction	11/15/2019	46443	<u>323,620.40</u>
Total Bradbury Stamm Construction			323,620.40
CenturyLink	11/15/2019	46444	<u>32.56</u>
Total CenturyLink			32.56
Christian's Automotive, Inc.	11/20/2019	43473	<u>556.30</u>
Total Christian's Automotive, Inc.			556.30
Comcast	11/20/2019	43474	103.36
Comcast	11/20/2019	43474	<u>154.80</u>
Total Comcast			258.16
Cumulus	11/20/2019	43475	323.63
Cumulus	11/20/2019	43475	<u>97.09</u>
Total Cumulus			420.72
De Lage Landen	11/20/2019	43476	<u>511.96</u>
Total De Lage Landen			511.96

Village of Los Ranchos de Albuquerque
Check/Voucher Register
From 11/1/2019 Through 11/30/2019

Payee	Date	Check No.	Amount
Desert Dog Techonology Inc.	11/15/2019	46445	<u>1,933.88</u>
Total Desert Dog Techonology Inc.			1,933.88
Donald T. Lopez	11/20/2019	43468	65.29
Donald T. Lopez	11/15/2019	43432	<u>170.04</u>
Total Donald T. Lopez			235.33
Fergus K Whitney	11/20/2019	43484	<u>42.22</u>
Total Fergus K Whitney			42.22
Firebird Fuel	11/15/2019	46446	<u>147.12</u>
Total Firebird Fuel			147.12
Fred K Radosevich	11/15/2019	46450	<u>2,046.62</u>
Total Fred K Radosevich			2,046.62
G & T Auto	11/15/2019	46447	<u>284.91</u>
Total G & T Auto			284.91
Highway Supply LLC	11/20/2019	43477	161.81
Highway Supply LLC	11/20/2019	43477	<u>1,212.19</u>
Total Highway Supply LLC			1,374.00
Internal Revenue Service	11/8/2019	83032669	6,896.86
Internal Revenue Service	11/22/2019	40666136	<u>6,614.71</u>
Total Internal Revenue Service			13,511.57
Mary Homan	11/15/2019	46437	<u>2,297.16</u>
Total Mary Homan			2,297.16

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 11/1/2019 Through 11/30/2019

Payee	Date	Check No.	Amount
McDowell Engineering, Inc.	11/20/2019	43478	<u>279.40</u>
Total McDowell Engineering, Inc.			279.40
Middle Rio Grande Conservancy	11/20/2019	43479	398.61
Middle Rio Grande Conservancy	11/20/2019	43479	716.81
Middle Rio Grande Conservancy	11/20/2019	43479	20.64
Middle Rio Grande Conservancy	11/20/2019	43479	21.07
Middle Rio Grande Conservancy	11/20/2019	43479	35.69
Middle Rio Grande Conservancy	11/20/2019	43479	<u>28.38</u>
Total Middle Rio Grande Conservancy			1,221.20
Millers Feed & Supply	11/15/2019	46448	<u>20.00</u>
Total Millers Feed & Supply			20.00
myIT	11/15/2019	46449	<u>1,169.55</u>
Total myIT			1,169.55
New Mexico Gas Company	11/20/2019	43480	32.48
New Mexico Gas Company	11/20/2019	43480	27.84
New Mexico Gas Company	11/20/2019	43480	102.89
New Mexico Gas Company	11/20/2019	43480	41.64
New Mexico Gas Company	11/20/2019	43480	56.78
New Mexico Gas Company	11/20/2019	43480	234.72
New Mexico Gas Company	11/20/2019	43480	<u>51.42</u>
Total New Mexico Gas Company			547.77
New Mexico Judicial Education	11/20/2019	43481	<u>3.00</u>
Total New Mexico Judicial Education			3.00

Village of Los Ranchos de Albuquerque
Check/Voucher Register
 From 11/1/2019 Through 11/30/2019

Payee	Date	Check No.	Amount
NM State Treasurer-PERA	11/8/2019	43431	5,401.58
NM State Treasurer-PERA	11/22/2019	43467	<u>5,401.58</u>
Total NM State Treasurer-PERA			10,803.16
Starline Printing	11/20/2019	43482	<u>6,264.30</u>
Total Starline Printing			6,264.30
Tim McDonough	11/15/2019	43435	116.01
Tim McDonough	11/15/2019	43434	<u>323.63</u>
Total Tim McDonough			439.64
Report Total			389,850.01
Payroll	11/8/2019		20,913.47
Payroll	11/22/19		20,033.79
Payroll accruals			<u>1,061.91</u>
			42,009.17
Expenditure Cash Report			<u><u>431,859.18</u></u>

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 10/1/2019 Through 10/31/2019

Payee	Date	Check No.	Amount
Albuquerque Bernalillo County	10/9/2019	43318	36.63
Albuquerque Bernalillo County	10/31/2019	43398	36.63
Albuquerque Bernalillo County	10/9/2019	43318	68.43
Albuquerque Bernalillo County	10/31/2019	43398	70.65
Albuquerque Bernalillo County	10/9/2019	43318	849.56
Albuquerque Bernalillo County	10/31/2019	43398	869.79
Albuquerque Bernalillo County	10/9/2019	43318	36.82
Albuquerque Bernalillo County	10/31/2019	43398	40.80
Albuquerque Bernalillo County	10/9/2019	43318	131.43
Albuquerque Bernalillo County	10/31/2019	43398	148.03
Albuquerque Bernalillo County	10/9/2019	43318	36.39
Albuquerque Bernalillo County	10/31/2019	43398	32.44
Albuquerque Bernalillo County	10/9/2019	43318	140.05
Albuquerque Bernalillo County	10/31/2019	43398	133.36
Albuquerque Bernalillo County	10/31/2019	43398	19.88
Albuquerque Bernalillo County	10/9/2019	43318	36.76
Albuquerque Bernalillo County	10/31/2019	43398	38.88
Albuquerque Bernalillo County	10/9/2019	43318	434.10
Albuquerque Bernalillo County	10/31/2019	43398	486.71
Albuquerque Bernalillo County	10/9/2019	43318	2,199.62
Albuquerque Bernalillo County	10/31/2019	43398	783.41
Albuquerque Bernalillo County	10/9/2019	43318	862.33
Albuquerque Bernalillo County	10/31/2019	43398	525.77
Albuquerque Bernalillo County	10/9/2019	43318	140.18
Albuquerque Bernalillo County	10/9/2019	43318	29.73
Albuquerque Bernalillo County	10/31/2019	43398	29.73
Total Albuquerque Bernalillo County			8,218.11
Academy Reprographics	10/28/2019	43357	17.80
Total Academy Reprographics			17.80
Accountemps	10/31/2019	43399	596.19
Total Accountemps			596.19
Albuquerque Power Equipment	10/9/2019	43319	74.39
Albuquerque Power Equipment	10/28/2019	43354	86.08
Total Albuquerque Power Equipment			160.47
Albuquerque Publishing Co.	10/28/2019	43355	382.57
Total Albuquerque Publishing Co.			382.57
Albuquerque Sign Print	10/28/2019	43356	51.92
Total Albuquerque Sign Print			51.92
AutoZone, Inc.	10/28/2019	43359	49.98
Total AutoZone, Inc.			49.98

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 10/01/2019 Through 10/31/2019

Payee	Date	Check No.	Amount
Bank of America Total Bank of America	10/9/2019	43320	11,020.94 11,020.94
Bank of America Merchant SVRS Total Bank of America Merchant SVRS	10/2/2019	7500750495	104.24 104.24
Bank of America, N.A. Total Bank of America, N.A.	10/15/2019	BoA-10152019	759.25 759.25
Barela Landscaping Materials Total Barela Landscaping Materials	10/28/2019	43360	1,030.00 1,030.00
Belknap Publishing Inc Total Belknap Publishing Inc	10/31/2019	43400	112.01 112.01
Bernalillo County Total Bernalillo County	10/28/2019	43361	24,434.20 24,434.20
Bills Lock & Key Total Bills Lock & Key	10/28/2019	43362	63.66 63.66
Bob Johnson Builders, Inc. Total Bob Johnson Builders, Inc.	10/9/2019	43333	4,700.00 4,700.00
Brazas Fire & Safety Total Brazas Fire & Safety	10/28/2019	43363	378.10 378.10
CenturyLink CenturyLink CenturyLink Total CenturyLink	10/9/2019 10/31/2019 10/9/2019	43321 43401 43321	180.61 341.41 160.48 682.50
Christian's Automotive, Inc. Total Christian's Automotive, Inc.	10/28/2019	43364	1,384.93 1,384.93
City of Albuquerque HR Div. Total City of Albuquerque HR Div.	10/9/2019	43322	6,475.79 6,475.79
Comcast Total Comcast	10/28/2019	43365	659.48 659.48
Corrales Comment Total Corrales Comment	10/28/2019	43366	90.56 90.56
Cumulus Total Cumulus	10/28/2019	43367	701.19 701.19

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 10/01/2019 Through 10/31/2019

Payee	Date	Check No.	Amount
De Lage Landen	10/28/2019	43368	511.96
Total De Lage Landen			511.96
Delta Dental of New Mexico	10/28/2019	43369	412.96
Delta Dental of New Mexico	10/31/2019	43402	476.24
Total Delta Dental of New Mexico			889.20
Desert Dog Techonology Inc.	10/9/2019	43331	202.11
Total Desert Dog Techonology Inc.			202.11
Document Solutions, Inc.	10/28/2019	43370	868.77
Total Document Solutions, Inc.			868.77
Donald T. Lopez	10/28/2019	43353	153.69
Donald T. Lopez	10/28/2019	43352	65.62
Donald T. Lopez	10/31/2019	43412	253.86
Donald T. Lopez	10/31/2019	43411	66.27
Donald T. Lopez	10/31/2019	43214	2.19
Total Donald T. Lopez			541.63
Fergus K Whitney	10/9/2019	43334	96.43
Total Fergus K Whitney			96.43
Firebird Fuel	10/28/2019	43371	339.94
Total Firebird Fuel			339.94
First Data Merchant Services	10/21/2019	91010082316	92.62
Total First Data Merchant Services			92.62
Flying Fortress Locksmith LLC	10/31/2019	43403	41.91
Flying Fortress Locksmith LLC	10/28/2019	43372	37.59
Total Flying Fortress Locksmith LLC			79.50
Fred K Radosevich	10/9/2019	43327	1,399.94
Total Fred K Radosevich			1,399.94
G & T Auto	10/28/2019	43373	516.16
Total G & T Auto			516.16
Herman Pedroncelli	10/28/2019	43382	1,200.00
Total Herman Pedroncelli			1,200.00
Highway Supply LLC	10/28/2019	43374	752.58
Total Highway Supply LLC			752.58

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 10/01/2019 Through 10/31/2019

Payee	Date	Check No.	Amount
Home Depot Credit Services	10/28/2019	43375	165.31
Total Home Depot Credit Services			165.31
Internal Revenue Service	10/11/2019	70470861	6,911.22
Internal Revenue Service	10/25/2019	34697573	6,899.82
Total Internal Revenue Service			13,811.04
Kaufman Fire Protection	10/9/2019	43324	376.03
Total Kaufman Fire Protection			376.03
Kelly Jo Designs	10/31/2019	43404	471.38
Total Kelly Jo Designs			471.38
Maria G Castillo-Rinaldi	10/28/2019	43386	3,170.07
Maria G Castillo-Rinaldi	10/9/2019	43328	2,752.04
Total Maria G Castillo-Rinaldi			5,922.11
McDowell Engineering, Inc.	10/31/2019	43405	239.48
Total McDowell Engineering, Inc.			239.48
MCT Industries, Inc.	10/28/2019	43376	1,117.20
Total MCT Industries, Inc.			1,117.20
Millers Feed & Supply	10/28/2019	43377	10.25
Total Millers Feed & Supply			10.25
MNM Drafting & Construction	10/31/2019	43406	204.13
Total MNM Drafting & Construction			204.13
Mutual of Omaha Insurance Comp	10/28/2019	43378	40.49
Total Mutual of Omaha Insurance Comp			40.49
myIT	10/9/2019	43325	1,169.55
Total myIT			1,169.55
New Mexico Gas Company	10/28/2019	43379	23.25
New Mexico Gas Company	10/28/2019	43379	23.93
New Mexico Gas Company	10/28/2019	43379	26.03
New Mexico Gas Company	10/28/2019	43379	27.68
New Mexico Gas Company	10/28/2019	43379	23.93
New Mexico Gas Company	10/28/2019	43379	41.73
New Mexico Gas Company	10/28/2019	43379	29.68
Total New Mexico Gas Company			196.23

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 10/01/2019 Through 10/31/2019

Payee	Date	Check No.	Amount
NM State Treasurer-PERA	10/11/2019	43316	5,393.49
NM State Treasurer-PERA	10/25/2019	43351	5,401.58
Total NM State Treasurer-PERA			10,795.07
Office Depot	10/9/2019	43326	75.67
Office Depot	10/28/2019	43380	565.48
Office Depot	10/9/2019	43326	165.56
Total Office Depot			806.71
Pamela Armbrecht	10/28/2019	43358	302.55
Total Pamela Armbrecht			302.55
Plant World, Inc.	10/28/2019	43383	288.91
Total Plant World, Inc.			288.91
PNM	10/28/2019	43385	56.82
PNM	10/28/2019	43385	53.75
PNM	10/28/2019	43385	40.23
PNM	10/28/2019	43385	17.85
PNM	10/28/2019	43385	43.78
PNM	10/28/2019	43385	153.49
PNM	10/28/2019	43385	167.39
PNM	10/28/2019	43385	43.78
PNM	10/28/2019	43385	381.89
PNM	10/28/2019	43385	43.89
PNM	10/28/2019	43385	36.39
PNM	10/28/2019	43385	17.79
PNM	10/28/2019	43385	167.69
PNM	10/28/2019	43385	129.79
PNM	10/28/2019	43385	65.17
PNM	10/28/2019	43385	21.51
PNM	10/28/2019	43385	18.85
PNM	10/28/2019	43385	35.21
PNM	10/28/2019	43385	133.11
PNM	10/28/2019	43385	766.80
PNM	10/28/2019	43385	158.93
PNM	10/28/2019	43385	45.80
PNM	10/28/2019	43385	31.95
PNM	10/28/2019	43385	940.24
Total PNM			3,572.10
Robert J Maw	10/31/2019	43413	257.24
Total Robert J Maw			257.24
Sprinkler Irrigation Supply Co	10/31/2019	43407	27.46
Total Sprinkler Irrigation Supply Co			27.46

Village of Los Ranchos de Albuquerque

Check/Voucher Register

From 10/01/2019 Through 10/31/2019

Payee	Date	Check No.	Amount
Stelzner, Winter, Warburton	10/31/2019	43408	59.22
Stelzner, Winter, Warburton	10/31/2019	43408	14,619.42
Stelzner, Winter, Warburton	10/31/2019	43408	11,578.95
Total Stelzner, Winter, Warburton			26,257.59
Taxation & Revenue	10/31/2019	43387	1,790.50
Total Taxation & Revenue			1,790.50
The OutSource Ltd Company	10/28/2019	43381	3,304.59
Total The OutSource Ltd Company			3,304.59
US Postal Service	10/9/2019	43332	2,500.00
Total US Postal Service			2,500.00
Verizon Wireless	10/9/2019	43329	373.20
Verizon Wireless	10/31/2019	43409	373.17
Total Verizon Wireless			746.37
Waste Management of New Mexico	10/9/2019	43330	419.79
Waste Management of New Mexico	10/31/2019	43410	419.79
Total Waste Management of New Mexico			839.58
Report Total			144,776.60
Payroll	10/11/19		20,993.54
Payroll	10/25/19		20,811.35
Payroll Accruals			<u>180.60</u>
			41,985.49
Expenditure Cash Report			186,762.09

7. **PUBLIC HEARINGS AND APPLICATIONS FOR APPEAL**

- A. **SDP 19-03** – A REQUEST BY TOM WHITE FOR FINAL APPROVAL OF A COMMERCIAL SITE DEVELOPMENT PLAN FOR A REDEVELOPMENT IN THE FOURTH STREET CORRIDOR AND CHARACTER AREA. THE PROPERTY IS LOCATED AT 8225 FOURTH STREET NW AND IS LEGALLY KNOWN AS LOT 1 OF BUSCH ADDITION, A TRACT OF LAND LYING AND SITUATED WITHIN SECTION 16, T. 11 N., R. 3 E., N.M.P.M., VILLAGE OF LOS RANCHOS DE ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY ON AUGUST 1, 1972. THE PROPERTY CONTAINS 0.500 ACRES MORE OR LESS.

BOARD OF TRUSTEES PLANNING REPORT

Village of Los Ranchos ♦ 6718 Rio Grande Blvd. NW ♦ (505) 344-6582 Fax 344-8978

DATE ISSUED: November 25, 2019

REPORT NO. PZ-19-37
File: SDP-19-03

ATTENTION: Village of Los Ranchos Board of Trustees

SUBJECT: A request for final approval of a Commercial Site Development Plan for a redevelopment in the Fourth Street Corridor and Character Area.

APPLICANT: Tom White (TW Wellness)

AGENT: Richard Burd (Renaissance Man Construction)

LOCATION AND LEGAL:

The property is located at 8225 Fourth Street NW and is legally known as Lot 1 of Busch Addition, a tract of land lying and situated within Section 16, T. 11 N., R. 3 E., N.M.P.M., Village of Los Ranchos de Albuquerque, Bernalillo County, New Mexico, filed in the Office of the County Clerk of Bernalillo County on August 1, 1972. The property contains 0.500 acres more or less.

PROJECT:

The applicant desires to develop an addition to the existing building with additional parking on the west side of the lot. The existing building is the location of the business "TW Wellness" and the addition is for this business.

A Sketch Plat review is not necessary for this property as it is an existing commercial development with no alterations to the property boundaries.

The Preliminary Plat review was held at the Planning and Zoning Commission meeting on November 12, 2019.

SURROUNDING AREA:

North – C-1

East – C-1

South – SU-1 for Auto Sales and Repair

West – A-1 on the other side of the Chamisal Lateral

The Village C-1 zone allows for no side setback when the lot does not abut a residentially zoned property. The west side of the property abuts a residential property and is setback from that property 80.3 feet, beyond the minimum requirement for a 15 feet setback. The SU-1 Zoned property to the south is a commercial use.

RELEVANT CODE LANGUAGE

§9.2.12 C-1 RETAIL COMMERCIAL ZONE

(B) USES.

Office	P
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(D) AREA REGULATIONS.

(1) Commercial buildings. All commercial buildings and/or structures with the exception of signs must comply with the following setback requirements.

(a) Except as provided in §9.2.12(E)(2)(b), minimum setbacks when the lot does not abut a residentially zoned property shall be:

Front	five (5) feet minimum
Side	zero (0) feet minimum
Rear	zero (0) feet minimum

(b) Where a C-1 lot abuts a residentially zoned lot, the minimum setback, on the side abutting the residentially zoned property, shall be;

Front	five (5) feet minimum
Side	ten (10) feet minimum
Rear	fifteen (15) feet minimum

(E) HEIGHT LIMITATIONS.

(1) Height of commercial buildings shall be limited to thirty-nine (39) feet from the predevelopment grade to the top of the pitch, top of the parapet or top of the mansard roof line.

(5) Other Structures.

(a) Chimneys must not exceed forty-two (42) feet in height.

(I) OFF STREET PARKING REGULATIONS.

(2) The minimum requirements for off-street parking spaces for property shall be as follows:

Use	Required off street parking spaces
Retail, office	Two (2) spaces per one thousand (1,000) square feet of gross floor area

§9.2.25 APPLICATION AND APPROVAL PROCESS

(4) Site Development Plan

(b) Applications.

- (1) The application for Site Development Plan shall include a document package with the following:
- a. The application form as designed by the Planning and Zoning Department, which includes but is not limited to a Zone Classification and Permissive Uses, Character Area and proposed land use.
 - b. Grant/Warranty Deed or Letter of Agent. Verification of proof of ownership – Legal description.
 - c. Current property tax record from Bernalillo County Assessor.
 - d. Required Site Development elements of §9.2.25(E)(3) below.

(f) Site Development Plans shall include the following: (data sheets may be combined)

1. Existing Conditions Plan requirements

- a. Address of Property (Los Ranchos de Albuquerque);
- b. Site Map;
- c. Existing buildings and disposition;
- d. Existing contour elevations and spot elevations at access points;
- e. Existing trees, landscaping, outcroppings, etc.;
- f. Existing utilities, power poles, transformers, right-of-ways and easements;
- g. Adjacent street names;

- h. Other appurtenances that exist which impact the development (wells, walls, ditches etc.); and
- i. Archeological or historical data and clearance if required from State Historic Preservation Office;

2. Site Plan

- a. Vicinity map with north arrow;
- b. Lot dimensions, setbacks, and easements;
- c. Data for total site area, disturbed area, and total impervious area;
- d. Ingress/egress to the property and access to proposed structures thereon, with particular reference to automobile and pedestrian safety;
- e. Pedestrian walkways.

3. Sign Requirements

- a. Placement of all signs.
- b. Size and type of signs (must be permitted separately and follow §9.2.22 for Signs)

4. Exterior lighting locations, type of lighting

5. Mailbox locations;

6. Bike rack locations;

7. Building plans/elevations;

- a. Total proposed square footage for all structures;
 - i. Individual square footage per structure marked on plans. (Heated and unheated, covered patios and walkways).
- b. Proposed use of space;
 - i. Restaurants must meet State Environmental Health requirements.
- c. Four direction exterior elevation plans;
- d. Height from final grade – marked on plans;
- e. Exterior materials and colors; and
- f. Exterior equipment (including roof mounted).

(g) Grading and Drainage Plan – NPDES Stormwater Management Plan

- 1. Vicinity map and north arrow;
- 2. FEMA Floodplain data, benchmark data and legend;
- 3. A complete Grading and Drainage Plan (EPA NPDES Stormwater Management Plan) which will be forwarded to the building permitting process as follows:
 - a. A topographic survey and grading plan with final elevation contours to be achieved by grading.
 - i. All grade and spot elevations at access points.
 - b. Stormwater management measures;
 - i. Selected to best accommodate the specific geologic, hydrologic, and topographic features of the land to be developed.
 - c. Stormwater runoff peak flow rate;
 - i. Determined by the one hundred (100) year, six (6) hour storm event.
 - ii. Calculation of the runoff peak flow rate may approximate the event from available data.
 - d. On-site control measures;
 - i. These may include, but are not limited to, the use of detention or retention basins and active and passive water harvesting techniques including swales, berms,

- cisterns, check dams, vegetative ground cover, and other techniques appropriate for retaining and infiltrating water on-site.
- e. All water containment in structures that have water open to the air;
 - i. Shall empty within twenty four (24) hours through approved outlet structures designed to ensure a controlled release of water that will not cause flooding or erosion or shall empty within ninety-six (96) hours through percolation or natural infiltration.
 - ii. Percolation tests or other means of demonstrating that containment structures will empty within ninety-six (96) hours may be required.
- f. Infiltration, detention, and retention basins;
 - i. Shall provide a means of controlling and removing sediment.
 - ii. Methods may include sedimentation settling ponds, sediment traps, filters on drop inlets, or other methods.
 - iii. All basins shall be designed to empty within no more than 24 hours with approved outlet, or within 96 hours as per §9.2.25(E)(3)(g)(3)(e)(1). Vector control for mosquitoes, other insects and rodents shall be maintained.
- g. Wherever possible, retention water shall be used for the irrigation of vegetation for landscaping;
- h. No stormwater runoff shall be routed into public irrigation ditches, canals, acequias or private ditches;
 - i. No stormwater runoff shall be permitted to enter streets, public or private or public or private adjacent property.
- i. A roof run-off drainage plan;
- j. In-flow of runoff from adjacent properties; and
- k. A post construction maintenance plan.

(h) Roadway Standards

1. Traffic control mechanisms;
 - a. Traffic Impact Study may be required.
2. The Village retains the right to limit access to major arterials from private drive ways and proposed developments when:
 - a. The house does not front on a major arterial (Rio Grande Blvd., Fourth Street, Montano, Osuna, Guadalupe Trail, etc.) as designated by the Village.
 - b. The house is part of a subdivision with internal streets used for ingress and egress by the subdivision.
 - c. Right of way can be obtained via a subsidiary street.
 - d. Granting right-of-way constitutes a safety hazard, would contribute to congestion and is contrary to the public welfare.
3. **Roadway Specifications**
 - a. Standard curbs and gutters are not allowed, in order to maintain the rural, agricultural nature of the Village, except when:
 - i. The Grading and Drainage Stormwater Management plan requires curb and gutter as a necessary part of the plan; or
 - ii. The streets are part of a state, federal or local infrastructure improvement.
 - b. Public roadways shall meet Urban Residential Street specifications per Attachment §9.2.25(E)(4)(h)(3)(b).
 - c. Private paved roadways shall meet Paved Private Way specifications per Attachment §9.2.25(E)(4)(h)(3)(b); or approved alternative.
 - d. Private graveled roadways shall meet Graveled Private Way specification per Attachment §9.2.25(E)(4)(h)(3)(d).
 - e. Rolled curb and gutter may be approved on a case by case basis.

(i) Parking Requirements and parking lot design

1. Required number of parking spaces and dimensions;
2. Required number of handicapped parking spaces and dimensions;

(j) Loading and docking areas;

(k) Paved parking lots meeting the Paved Private Way specifications of Attachment 1; and

(l) Unpaved parking lots meeting the Graveled Private Way specification of Attachment 2.

(m) Trash receptacles

1. Dumpsters must be placed on a concrete pad and be enclosed and gated, away from abutting neighborhoods or special considerations for the neighborhood, such as screening, must be employed.

(n) Landscaping Plan

1. Must meet Section 19 Landscaping.

(o) Utilities Plan.

1. Sewer and water availability statement from ABCWUA; and
2. Location of existing and proposed fire hydrants approved by the Fire Department.

(p) Lighting Plan

1. Must meet current provisions in Section 20 for Dark Skies.

(q) Signage Plan (separate permit required)

1. Must meet current provisions in Section 22 for Signs.

(r) Site Development Plan must meet all Fire Department requirements.

(s) Additional Requirements. Any change in use which would require additional parking and/or any alteration or addition to the site of any structure upon the site, shall require the re-submittal of an application and approval as required by this Section.

1. The Planning Director/Commission/Board may require additional information on the economic, noise, glare or odor effects of the proposed use on adjoining properties and the overall health and safety of the community.

ANALYSIS:

The property has the required 10 parking spaces and 1 is ADA accessible.

The Grading and Drainage Plan was approved by the Village Designated Engineer.

The proposed uses in the site development plan are compliant with the C-1 Zone permissive uses as retail and office are permissive uses.

The height of the building and chimney are within §9.2.12(E) Height Limitations as the building is one-story, about 17 feet high.

The design of the proposed addition matches the existing building, appearing to be Northern New Mexico style compliant with §9.2.21 Design Regulations.

§9.2.25(4)(b)(1) Site Development Plan Application

- a. Attached.

- b. Grant/Warranty Deed
- c. Attached.
- d. See below.

§9.2.25(4)(f) Site Development Plan

- (1) The existing conditions of the site are shown on the Site Plan. Requirement i is not necessary.
- (2) The requirements for the site plan are included.
- (3) Existing signage is noted. No additional signage is proposed. Any future signage will be required to comply with the Sign Ordinance §9.2.22 and will require separate permits.
- (4) All outdoor lighting will have to comply with the Dark Skies Ordinance §9.2.20.
- (5) The mailbox location is not shown on the site plan but exists on the front southeast corner, accessible to USPS.
- (6) There do not appear to be any proposed bike racks.
- (7) The building plans show the necessary requirements except for the east elevation as that is the part attached to the existing building.

§9.2.25(4)(g) NPDES Grading and Drainage Plan

The site plan shows a detention pond on the west side of the property behind the parking spaces. The existing pond will be filled in. The Grading and Drainage Plan was done by a Licensed Professional Engineer and approved by the Village Designated Engineer.

§9.2.25(4)(h) Roadway Standards

There are no proposed roads through the site.

§9.2.25(4)(i) Parking Requirements and Parking Lot Design

Per C-1 Zone requirements in §9.2.12(l)(2), the parking requirements for this site are as follows:

Retail, Office: 2 spaces per 1,000 square feet of gross floor area
4,993.86 square feet → 10 parking spaces required

Site plan shows 10 parking spaces with required dimensions. One parking space is ADA accessible, in compliance with §9.2.18(G) Parking for Physically Challenged Motorists:

2% of non-residential parking spaces but not less than one (1) space shall be set aside for the physically challenged.

The length and width requirements for the ADA spaces are met.

§9.2.25(4)(j) Loading and docking areas are not specified but appear to be available on site if necessary at the storage area.

§9.2.25(4)(k) is not applicable and **§9.2.25(4)(l)** is met in the NPDES Grading and Drainage Plan and elevation of the site.

§9.2.25(4)(m) Trash Receptacles

The applicant currently wheels out trash and recycling bins to the front of the property for collection and will continue doing so.

§9.2.25(4)(n) Landscape Plan

The landscape plan complies with §9.2.19 Landscaping through existing and proposed xeriscape (plants include Russian Sage, Feather Reed Grass, and Pin Cushion Flowers), outdoor furniture, and decoration. Though not on the property, trees on the north, south, and west sides overhang onto the property. The narrow width of the lot coupled with vehicle access requirements limit the

landscaping that can be added to the property outside of the built and landscaped areas shown on the plan.

§9.2.25(4)(o) Utilities Plan

The property currently has access to water and sewer.

§9.2.25(4)(p) Lighting Plan

All future exterior lighting for the site must be compliant with the Dark Skies Ordinance §9.2.20.

§9.2.25(4)(q) Signage Plan

No additional signage is proposed. All future signs on the site must be compliant with the Sign Ordinance §9.2.22 and will require separate permits.

§9.2.25(4)(r) The applicant meets Bernalillo County Fire Department requirements (see Bernalillo County Fire Department Letter of Conditional Approval).

§9.2.25(4)(s) For future changes in use that require additional parking, alter or add to the structures on the site will require resubmittal of an application and approval.

DEPARTMENT RECOMMENDATION AND FINDINGS:

The Planning and Zoning Department recommends **approval** of a Commercial Site Development Plan for a redevelopment in the Fourth Street Corridor and Character Area. The Planning and Zoning Commission voted 7-0 to recommend approval to the Board of Trustees.

With the following conditions:

1. All the requirements of the Albuquerque/Bernalillo County Water Utility Authority shall be met in the installation of the utilities and governing rules and regulations adhered to by the development.
2. The existing Grading and Drainage Plan meets the stormwater management ordinance as installed and shall be maintained.
3. Landscaping shall be maintained according to the Site Development Plan.
4. Future signage must comply with the Sign Ordinance and sign permits must be obtained.
5. Exterior lighting must comply with the Dark Skies Ordinance §9.2.20.
6. Construction shall meet all current Village, County, and State Codes.
7. The final site development plan must be executed by the applicant.

Findings:

2035 Master Plan

9.1 Economic Development Goal

9.1.1 Objectives

- Support the business community and create a business climate in which businesses can flourish
- Focus commercial activities along the Fourth Street Corridor while recognizing and supporting commercial activities throughout the Village

Policy B: Strongly support Village businesses, both current and potential.

Action Steps:

- Encourage commercial development within Village character to prevent the “big box” effect

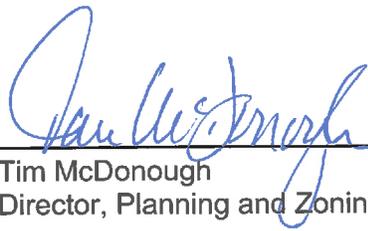
Policy C

Actions Steps:

- Enforce zoning and Ordinance requirements in commercial and mixed-use areas.

The proposed development meets the requirements of §9.2.12 C-1 Retail Commercial Zone.

Public notice requirements have been met by publication in the Albuquerque Journal on November 27, 2019. The Public Notice was sent by mail to all neighbors within 300 feet of the property on November 22, 2019.



Tim McDonough
Director, Planning and Zoning Department

Date: Nov. 26, 2019

Attachments:

Application

Ortho

Zone Map

Plans

Tax Record (Bernalillo County Assessor)

Bernalillo County Fire Department Letter of Conditional Approval

Landscape Plan

Existing Landscaping Photos

Village of Los Ranchos de Albuquerque
6718 Rio Grande Boulevard NW
Los Ranchos de Albuquerque, NM 87107
Phone: (505) 344-6582 Fax: (505) 344-8978

FOR OFFICIAL USE
Zone C1 SDP # 19-03
Special Conditions
receipt 607201, 10/2/19

APPLICATION FOR SITE DEVELOPMENT PLAN - FINAL
(Heard by the Board of Trustees)

All fees generated by this application are the responsibility of the applicant and are due and payable upon application submittal. The Village of Los Ranchos de Albuquerque does not take responsibility for information on or enforcement of, restrictive covenants on said property.

SDP- 19-03

Address of Property 8225 4th Street NW Los Ranchos NM 87114
Closest Cross Streets 4th & El Pueblos
Subdivision 0001 BUSCH ADDN TRS Block _____ Lot No. _____
Tract No. _____ MRGCD Map No. _____ Acreage _____

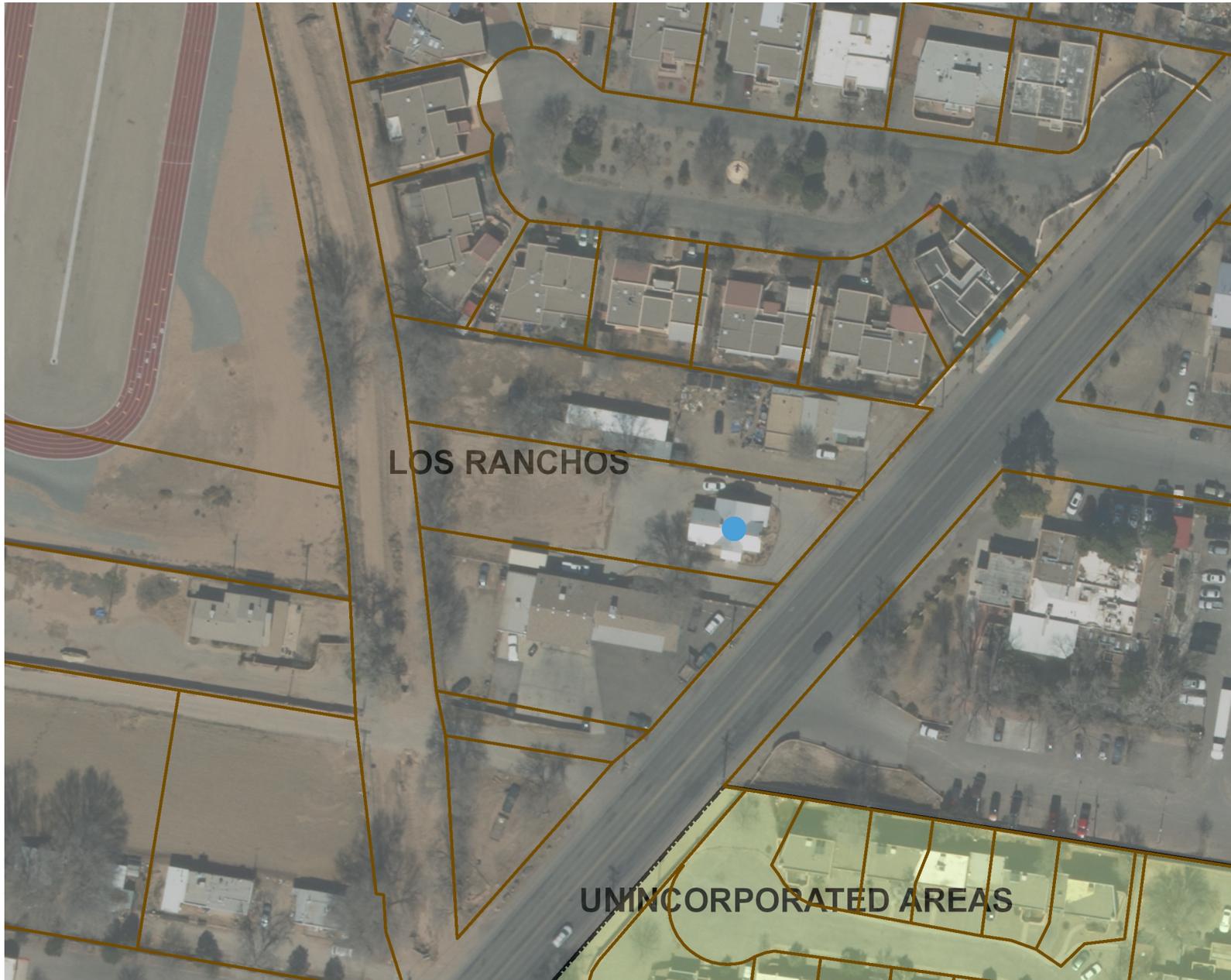
REQUIREMENTS:
P & Z Commission approved packet.

Property Owner TOM WHITE TW WELLNESS
Print Name
Address: 8225 4th Street Los Ranchos NM 87114
City State Zip
Phone: (505) 710-8333 Cell () _____
Email address: Tom white @ TW.WELLNESS.COM
SIGNATURE PROPERTY OWNER (Tom White)

Contractor/Agent Renaissance Man Construction / Richard Burd
Print Name
Firm: Renaissance Man Construction Inc.
Mailing Address: P.O. Box 90118 Albuquerque NM 87199
Phone: (505) 235-5986 Cell () _____
Email address: rnc118nm@gmail.com
SIGNATURE AGENT (Richard Burd)



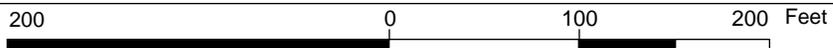
8225 Fourth Street



Legend

- Bernalillo County Parcels
- Municipal Limits**
- Corrales
- Edgewood
- Los Ranchos
- Rio Rancho
- Tijeras
- UNINCORPORATED

Notes

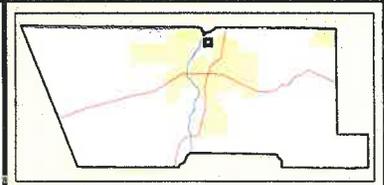
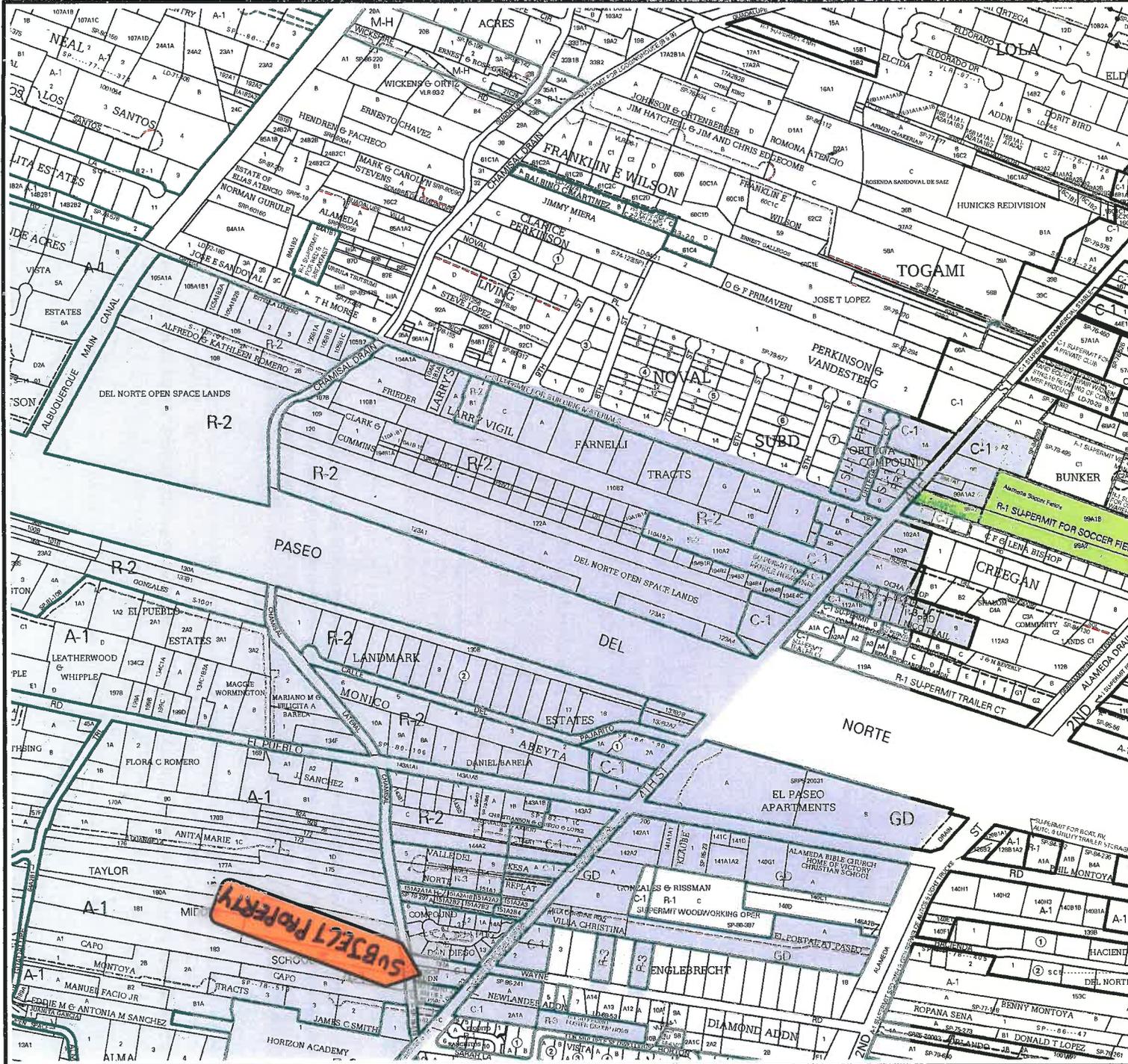


WGS_1984_Web_Mercator_Auxiliary_Sphere
10/25/2019 © City of Albuquerque

1: 1,200

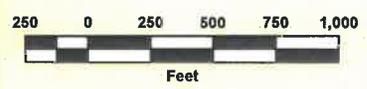
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THIS MAP IS NOT TO BE USED FOR NAVIGATION



LEGAL DESCRIPTION
 T11N
 R3E
 SEC 16

UNIFORM PROPERTY CODE
 1-015-064



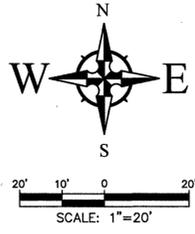
Map amended through July 2014



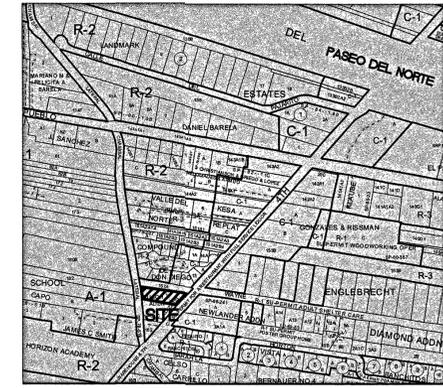
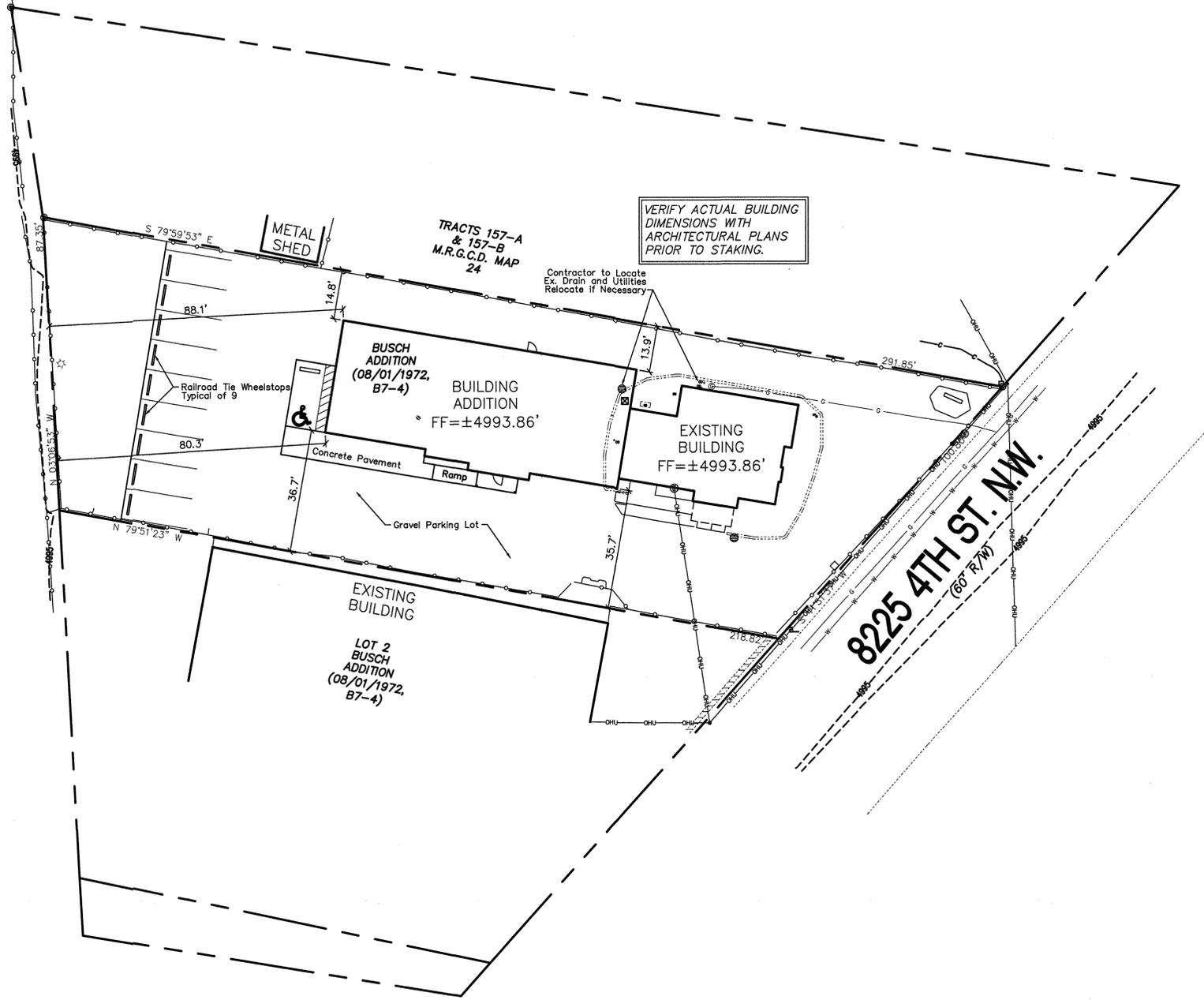
PUBLIC WORKS DIVISION
 GIS PROGRAM

This information is for reference only. Bernalillo County assumes no liability for errors associated with the use of these data. Users are solely responsible for confirming data accuracy when necessary. Source data are from Bernalillo County and the City of Albuquerque. For current information visit www.bernmco.gov/gis-program.

C-15-Z



Chamisal Lateral



VICINITY MAP - Zone Map C-15-Z
LEGAL DESCRIPTION:
 Lot 1, Plat of Busch Addition, Bernalillo County, New Mexico.

NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	

DESIGNED BY: JW
 DRAWN BY: RG
 CHECKED BY: JW

DATE:
 DATE:
 JOB NO.: 2018045
 DATE:



Wooten Engineering
 1005 21st St SE, Suite 13
 Rio Rancho, N.M. 87124
 Phone: (505) 980-3560



TW Wellness Addition
 8225 4th St NW
 Los Ranchos De Albuquerque, NM 87114

Site Plan

C-101

1103.2.3 Employee Work Areas
 Spaces and Elements within employee work areas shall only be required to comply with Sections 9075.2.3.2 and 1104.3.1 and shall be constructed so that disabilities can approach, enter and exit the work area. Work areas, or portions of work areas that are less than 300 sf in area or more than 7 inches above finish floor shall be exempt from all requirements.

ROOF - New Metal Roof to Match Existing

INSULATION
 Roof - R-38
 Ext Wall - Existing
 New Wall - R-19

WINDOWS
 U = 0.35 Max

DESIGN CRITERIA
 IBC 2015, UMC 2009, UPC 2009, NEC 2014
 Seismic Category - C
 Occupancy - B (No Change in Use)
 Construction Type - V-B

OCCUPANT LOAD

New Addition		Existing Building	
Heated Area	2030 sf	Heated Area	1481 sf
Storage	990 sf	Covered Porch	72 sf
Portal	58 sf		
TOTAL	3078 sf	TOTAL	1553 sf

SEE REVISED CALCULATION LETTER WEB# 6/3/19

OCCUPANT LOAD CALCULATION

New Addition	2030 sf / 100	20.30 =	21
Heated Area	990 sf / 500	1.98 =	2
Storage			
OCCUPANT LOAD			23
Existing Building			
Occupant Load	1553 SF / 100		16
TOTAL OCCUPANT LOAD			39

2 Toilet Rooms Required - 1 ADA, 1 Non-ADA Provided

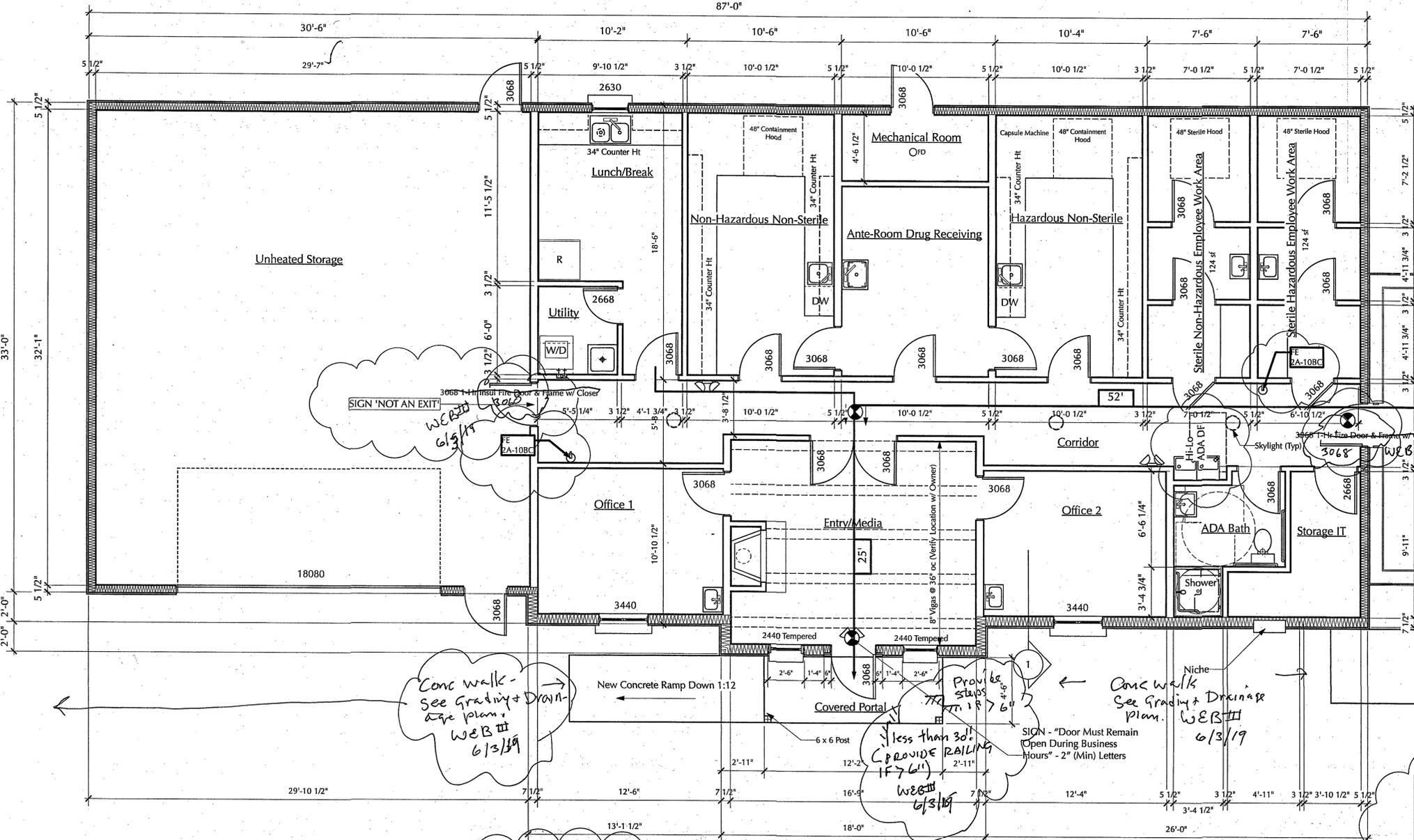
MINIMUM PLUMBING FIXTURES (Table 2902.1)
 Occupant Load = 25 (12 Men, 11 Women)

CLASS	Occupant Load	W/C		LAV		SERVICE SINK	Drinking Fountain
		Men	Women	Men	Women		
B	23	1 per 25	1 per 25	1 per 40	1 per 40	1	1
Provided		1	1	1	1	1	1

ROOM FINISH SCHEDULE

ROOM	CEILING	HT	WALL	BASE	FLOOR	REMARKS
Entry/media	Paint on 5/8 Gyp Bd Type 'X'	10'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	8" Vigas @ 36" oc
Office 1	Paint on 5/8 Gyp Bd Type 'X'	10'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	
Office 2	Paint on 5/8 Gyp Bd Type 'X'	10'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	
ADA Bath	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Resilient	
Storage/IT	Paint on 5/8 Gyp Bd Type 'X'	8'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Resilient	
Utility	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Resilient	
Lunch/Break	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Resilient	
Non-Hazardous Non-Sterile	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Resilient	
Mechanical Room	Paint on 5/8 Gyp Bd Type 'X'	10'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Resilient	
Ante-Room Drug Receiving	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	
Hazardous Non-Sterile Employee Work Area	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	
Hazardous Sterile Employee Work Area	Epoxy Paint on 5/8 Gyp Bd Type 'X'	8'	Epoxy Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	
Corridor	Paint on 5/8 Gyp Bd Type 'X'	10'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	2-1/4" Oak Plank	
Unheated Storage	Paint on 5/8 Gyp Bd Type 'X'	10'	Paint on 5/8 Gyp Bd Type 'X'	4" Vinyl	Sealed Concrete	

NOTES: All Finishes shall be Class C Min



CONC WALK - See Grading & Drainage Plan WEB# 6/3/19

PROVIDE RAILING LESS THAN 30" HIGH WEB# 6/3/19

CONC WALK - See Grading & Drainage Plan WEB# 6/3/19

APPROVED
 Village of Los Ranchos
 Planning and Zoning Department
 6718 Rio Grande Blvd. NW
 Los Ranchos de Albuquerque, NM 87107
 ZONING PERMIT NO: 3253
 DATE: 5/15/19
 STAFF: J. Schilling
 Reviewed for zoning and FCC Compliance

SITE PLAN
 Scale: 1/4" = 1'-0"

NOTE: This is an addition to an Existing Medical Compounding Business
 There is No Change of Use
 Non-Rated Corridor when Occupancy Load <30

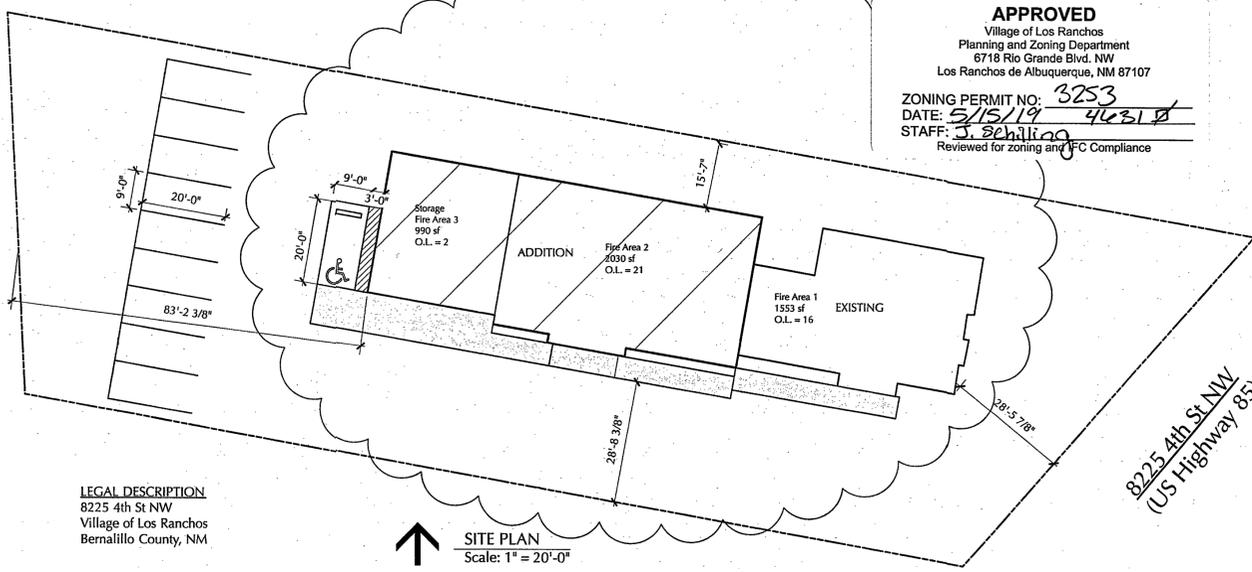
APPROVED
 VILLAGE OF LOS RANCHOS
 PLANNING & ZONING DEPARTMENT
 6718 Rio Grande Blvd., NW
 Los Ranchos de Albuquerque, NM 87107

Bernalillo County REVISED
 5-10-19 MB

Sheet List

ARCH001	SITE PLAN FLOOR PLAN
ARCH002	EXTERIOR ELEVATIONS
STRUCT001	STRUCTURAL
ELEC001	ELECTRICAL

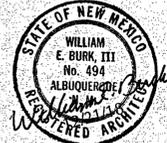
Bernalillo County REVISED
 6/4/19 MB



LEGAL DESCRIPTION
 8225 4th St NW
 Village of Los Ranchos
 Bernalillo County, NM

SITE PLAN
 Scale: 1" = 20'-0"

SEE GRADING & DRAINAGE FOR PARKING LAYOUT



Date	Revision	Project ID	Drawing Code	Author	Wg Dwg. v.wk	Issue Notes
1/2/19	Chris Burk	#18-26		Bill Burk		
6/3/19	Per Barne Comments					
7/25/19	Per Item City Review Comments					

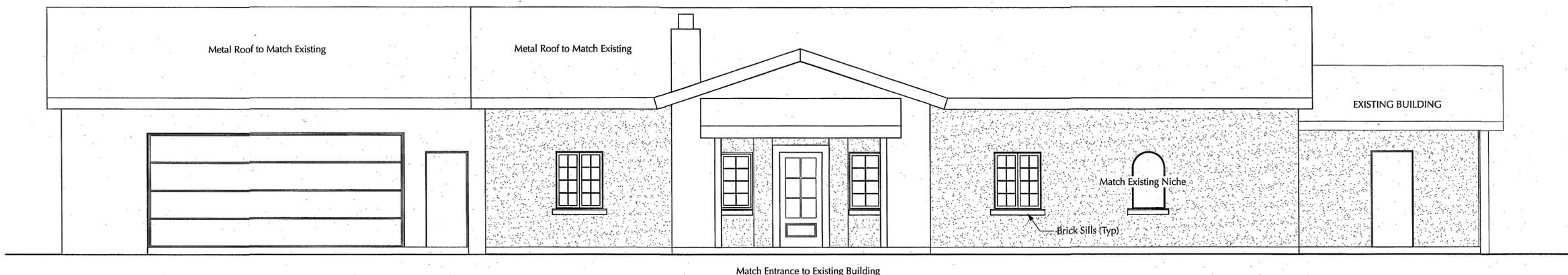
Date	Revision	Project ID	Drawing Code	Author	Wg Dwg. v.wk	Issue Notes
1/2/19	Chris Burk	#18-26		Bill Burk		

Contractors to Verify Dimensions & Existing Conditions • Call 811 Before You Dig

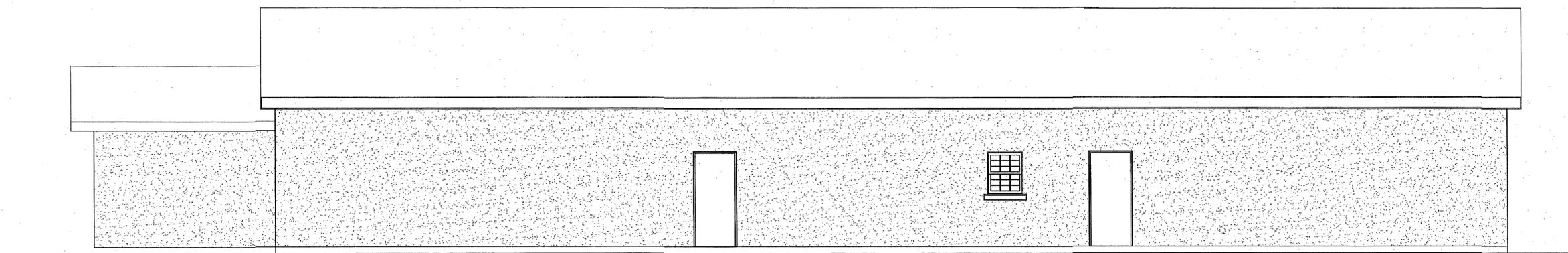
APPROVED
 Bernalillo County

ADDITION TO
 TW WELLNESS Compounding Pharmacy
 8225 4th St NW, ABO NM
 BILL BURK, THIRD, ARCHITECT
 9617 La Playa NE, ABO, NM 87111
 505-292-6566 • Fax 505-294-7132
 BillBurk@questoffice.net • NM #494

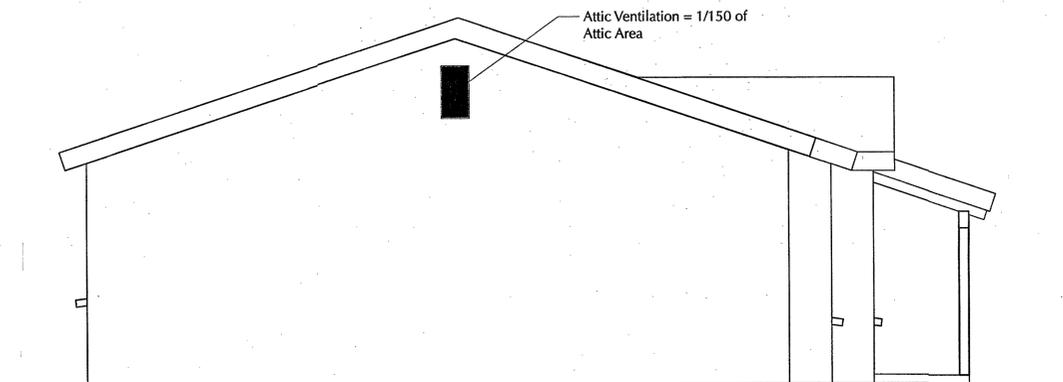
ARCH001
 of 4



SOUTH ELEVATION
Scale: 1/4" = 1'-0"



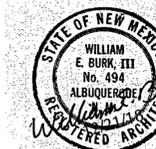
NORTH ELEVATION
Scale: 1/4" = 1'-0"



WEST ELEVATION
Scale: 1/4" = 1'-0"

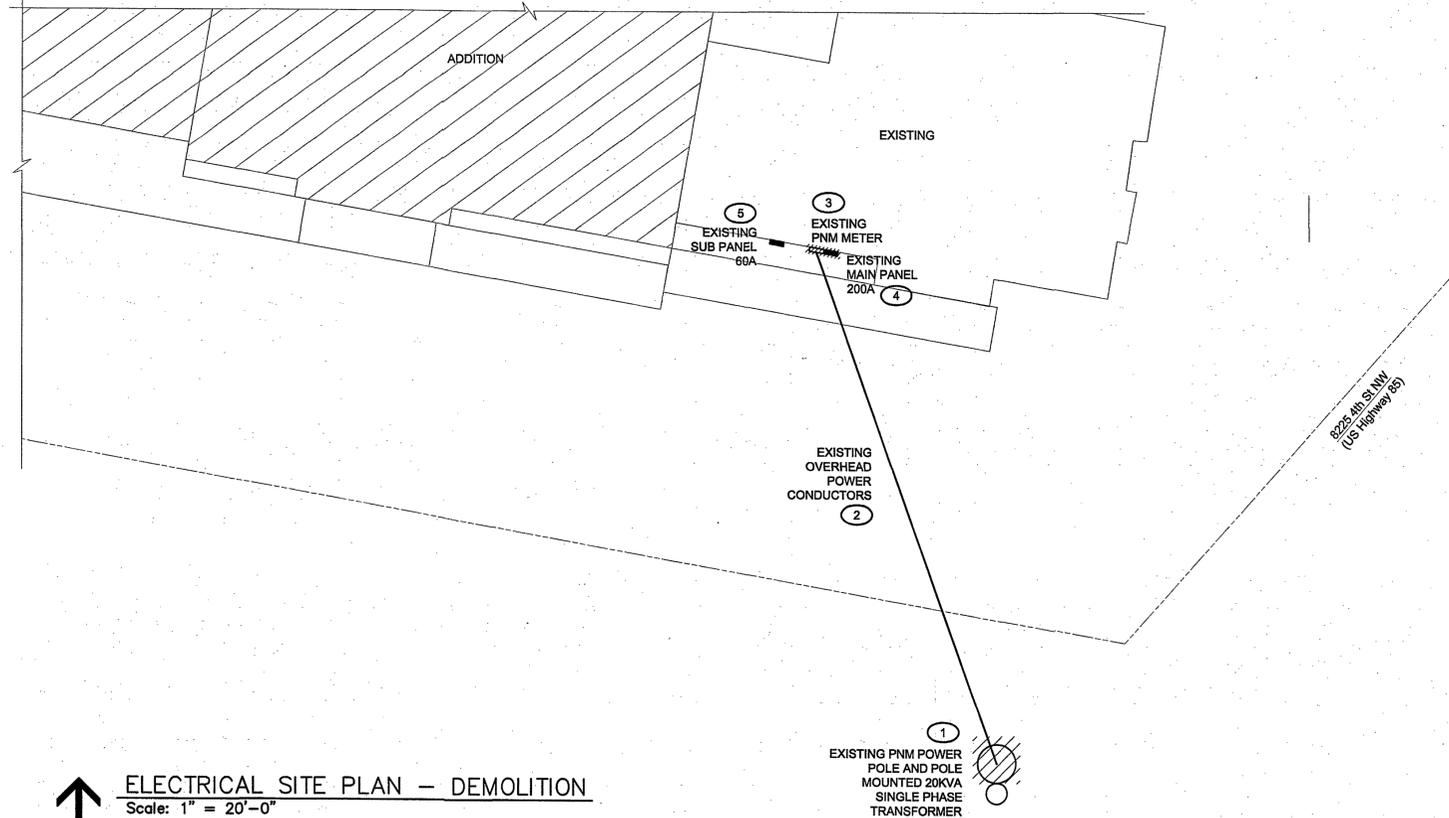
5-16-19
Bernalillo County
REVISED

APPROVED
VILLAGE OF LOS RANCHOS
PLANNING & ZONING DEPARTMENT
6718 Rio Grande Blvd., NW
Los Ranchos de Albuquerque, NM 87107

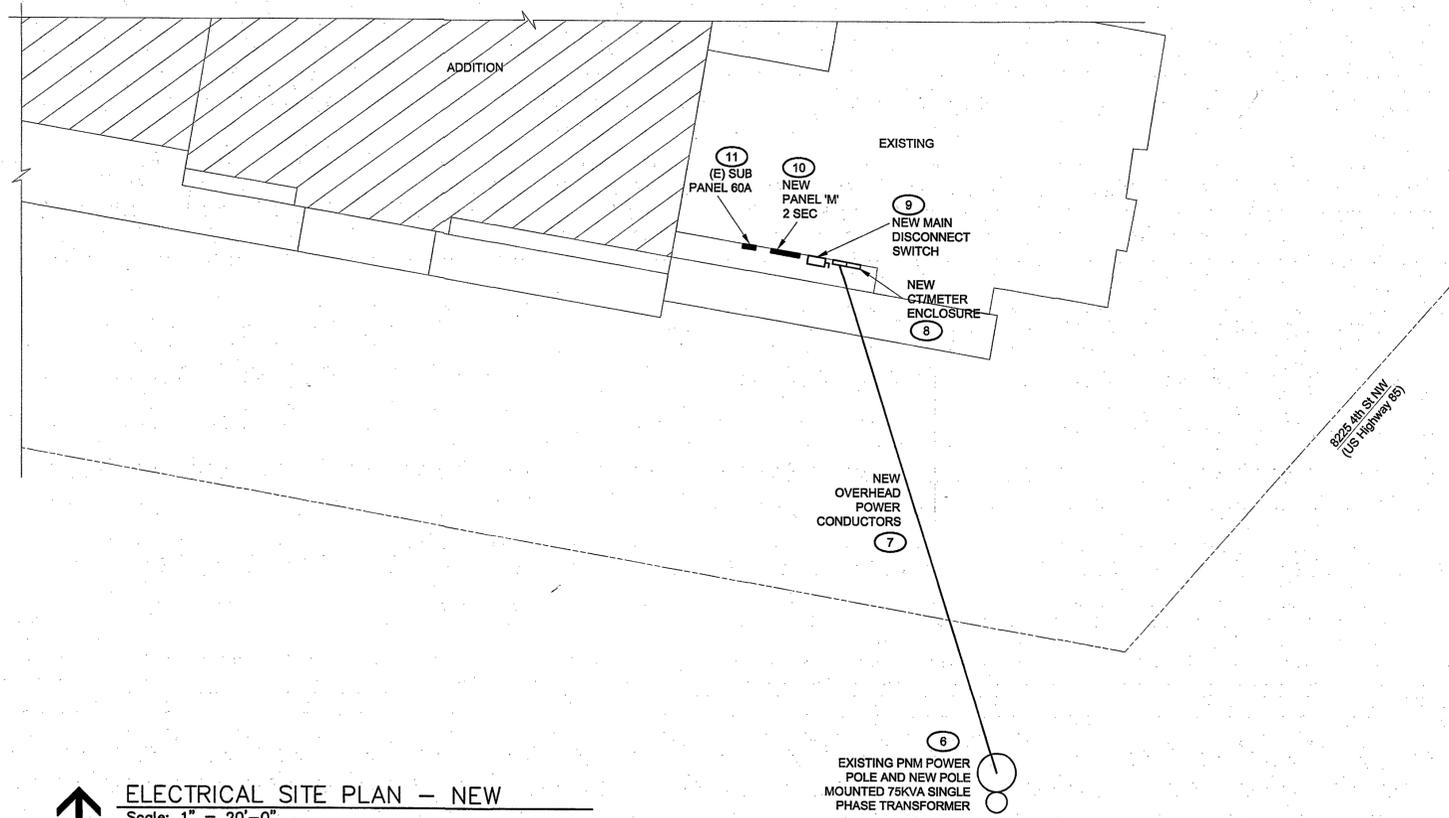


Bernalillo County
APPROVED

Contractors to Verify Dimensions & Existing Conditions • Call 811 Before You Dig		Project No.	Issue Notes
Project Name	ADDITION TO TW WELLNESS Compounding Pharmacy 8225 4th St NW, ABQ NM	Project No.	
Scale	As Shown	Date	
Design Firm	BILL BURK, THIRD, ARCHITECT 9617 La Playa NE, ABQ NM 87111 505-292-6566 • Fax 505-294-72132 Billburk@questoffice.net • NM #494	Drawn By	Issue Notes
Client	TW WELLNESS Compounding Pharmacy	Checked By	
Sheet Title	EXTERIOR ELEVATIONS	Project Manager	
Design Date	1/4/19	Project Manager	
Designer	Chris Burk	Project Manager	
Project ID	# 18-26	Project Manager	
Drawing Code		Project Manager	
City File	Wig Dwg.vwx	Project Manager	
File Date		Project Manager	



↑ ELECTRICAL SITE PLAN - DEMOLITION
Scale: 1" = 20'-0"



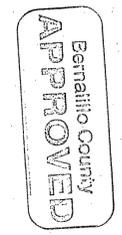
↑ ELECTRICAL SITE PLAN - NEW
Scale: 1" = 20'-0"

GENERAL NOTES

- A REFER TO SHEET E-001 FOR ADDITIONAL NOTING.
- B REFER TO SHEET E-601 FOR ELECTRICAL RISER AND PANEL SCHEDULES.

KEYED NOTES

- 1 REMOVE EXISTING POLE MOUNTED TRANSFORMER. CONTRACTOR TO COORDINATE ALL WORK WITH PNM. CONTRACTOR TO VERIFY REQUIREMENTS AND RESPONSIBILITIES WITH PNM.
- 2 EXISTING OVERHEAD FEEDERS. CONTRACTOR TO COORDINATE WITH PNM.
- 3 REMOVE EXISTING METER
- 4 REMOVE MAIN PANEL. SECURE AND IDENTIFY ALL CONDUCTORS FOR RECONNECTING TO NEW PANEL.
- 5 EXISTING PANEL TO REMAIN.
- 6 NEW POLE MOUNTED TRANSFORMER, SIZE PER PNM.
- 7 NEW OVERHEAD FEEDERS TO CT/METER ENCLOSURE.
- 8 NEW CT/METER ENCLOSURE.
- 9 NEW MAIN DISCONNECT SWITCH.
- 10 NEW MAIN PANEL. REFER TO RISER AND PANEL SCHEDULE ON SHEET E-601.
- 11 EXISTING SUB-PANEL.



5-16-19
Bernalillo County
REVISED

APPROVED
VILLAGE OF LOS RANCHOS
PLANNING & ZONING DEPARTMENT
6718 Rio Grande Blvd., NW
Los Ranchos de Albuquerque, NM 87107

TESTUDO ENGINEERING
4015 Carlisle Blvd NE Suite E
Albuquerque, NM 87107
WWW.TESTUDOENG.COM
PH 505-554-1282

DAW R. FARRIS
NEW MEXICO
8092
06/14/2019
PROFESSIONAL ENGINEER
Dan R. Farris

MAY 22 2019
BUILDING DEPT

PROJECT:
ADDITION TO TW WELLNESS
COMPOUNDING PHARMACY
8225 4TH ST NW
ALBUQUERQUE, NEW MEXICO

NO.	DATE	REVISION

DWG FILE: 19032_ES101
DATE: 05/15/19
DRAWN BY: D. PRYSAK
CHECKED BY: D. FARRIS
SHEET TITLE

ELECTRICAL
SITE PLANS
ES-101
SHEET ___ OF ___

November 11, 2019

Mr. Tim McDonough
Director, Planning & Zoning Department
Village of Los Ranchos
6718 Rio Grande Blvd. NW
Los Ranchos de Albuquerque, NM 87107

RE: REVIEW OF TW WELLNESS ADDITION, 8225 4TH STREET NW, LOS RANCHOS DE ALBUQUERQUE, NM 87114 GRADING & DRAINAGE POND REVISION PLAN BY AUGUSTINE GRACE, ACG ENGINEERING CONSTRUCTION DATED 10-31-19

Dear Mr. McDonough:

I received the referenced grading and drainage plan via email in pdf format on November 8, 2019 and offer the following comments. I have attached calculations prepared to assist in the review the plan.

1. There appears to be a typo in the low elevation at the pond. It reads 4984, but I believe it should read 4991.
2. The calculations attached and used to compare against the calculations provided on the plan coincide within reason.
3. The pond volume calculated using a top of pond elevation of 4992.5 provided adequate volume for the development of the site in accordance with the plan.

Please note that the owner shall comply with the EPA National Pollutant Discharge Elimination System Requirements (NPDES), if applicable.

If you have any questions, please do not hesitate to call me.

Sincerely,

MCDOWELL ENGINEERING, INC.



Jackie S. McDowell, P.E.

Precipitation Zone = 2

Depth at 100-year, 6-hour storm: (Table A-2)

P(360) = 2.35 inches
P(10 day) = 3.95 inches

Areas: (acres)	Existing	Proposed
Treatment A	0.30	0.10
Treatment B	0.05	0.05
Treatment C	0.10	0.20
Treatment D	0.05	0.15
Total (acres) =	0.50	0.50

POND VOL. CALCS:			
W. POND	ELEV	AREA	VOL
	4992.5	5142	1868.25
	4992	2331	1390
	4991	449	
		SUB-TOTAL	3258.25

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.035	0.053	0.014	0.028	0.005	0.012
Volume (cubic feet) =	1,514	2,309	624	1,205	201	543

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.47	0.16	0.11	0.04	0.00	0.00
Treatment B	0.11	0.11	0.05	0.05	0.00	0.00
Treatment C	0.31	0.63	0.17	0.34	0.06	0.12
Treatment D	0.24	0.71	0.16	0.47	0.09	0.28
Total Q (cfs) =	1.13	1.60	0.49	0.90	0.16	0.40

$$V(10 \text{ day}) = V(360) + A(D) * (P_{10\text{day}} - P_{360}) / 12 \text{ in/ft} = 0.0548 \text{ ac-ft}$$

$$= 2385 \text{ cu-ft}$$

PROPERTY ADDRESS AND DESCRIPTION PARCEL
 8225 4TH ST NW
 *0001 BUSCH ADDN COMPRISING TRS 160 & 161
 MRGCD MAP 24 CONT
 0.50 AC

2018

PARCEL NUMBER: 101506419801930202



TREASURER BERNALILLO
 COUNTY
 PO BOX 627
 ALBUQUERQUE, N.M. 87103-0627
 (505) 468-7031
 TREASURERS OFFICE
 E-MAIL: TREAS@BERNCO.GOV

2018 TAX BILL

AFC MRGB

1 015 064 198 019 30202
 CHRISTINE THOMAS LLC
 610 PASEO DEL BOSQUE NW
 ALBUQUERQUE NM 87114 2277

THIS TAX BILL IS THE
ONLY NOTICE YOU WILL
 RECEIVE FOR PAYMENT
 OF BOTH INSTALLMENTS
 OF YEAR 2018
 PROPERTY TAX

LIAM TAX DISTRICT

PROPERTY	CODE	VALUE	AGENCIES	TAX RATE	NET TAXABLE VALUE	AMOUNT DUE
ASSESSED VALUE LAND		81,700	STATE	1.360	44,696	60.79
ASSESSED VALUE IMPROVEMENTS		52,400	COUNTY	12.224	44,696	546.36
ASSESSED VALUE PERS PROP		0	LOS RANCHO	1.000	44,696	44.70
TAXABLE VALUE LAND		27,231	SCHOOL APS	11.329	44,696	506.36
TAXABLE VALUE IMPROVEMENTS		17,465	CNM	4.000	44,696	178.78
TAXABLE VALUE PERS PROP		0	UNMH	6.400	44,696	286.05
TOTAL VALUATION		44,696	AMAFCA	1.152	44,696	51.49
STATUTORY EXEMPTION		0	MRGCD	6.334	44,696	283.11
VETERAN EXEMPTION		0				
NET TAXABLE VALUE		44,696	TOTAL RATE	43.799	2018 TAX >>	1,957.64

1st half payment becomes delinquent after Dec 10, 2018
 2nd half payment becomes delinquent after May 10, 2019
 Postmark by these dates for each half is on time...

[CLICK HERE TO SEE TAX & PAYMENT HISTORY](#)

OTHER TAX DUE:

YEAR	TAX	INTEREST	PENALTY	FEES	AMOUNT DUE
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Old Republic National Title Insurance Company
Order Number: 1503018 LO

WARRANTY DEED

P.J.S. Properties, LLC, a New Mexico limited liability Company, for consideration paid, grants to Christine Thomas LLC, a New Mexico limited liability company, whose address is: 610 Paeso Del Bosque NW, Albuquerque, NM 87114, the following described real estate in Bernalillo County, New Mexico,

Lot numbered One (1), Plat of **BUSCH ADDITION**, Bernalillo County, New Mexico, as the same is shown and designated on the plat of said Subdivision, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 1, 1972, in Plat Book B7, folio 4.

INCLUDING ANY AND ALL WATER RIGHTS APPURTENANT TO THE SUBJECT PROPERTY THAT WHICH SELLER MAY OWN.

SUBJECT TO all matters shown on Exhibit B attached hereto;

with warranty covenants.

Dated: May 26, 2015

P.J.S. Properties, LLC, a New Mexico limited liability company



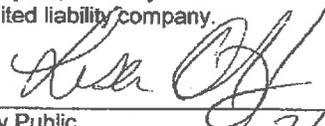
By: Patricia J. Schenck, Managing Member

ACKNOWLEDGMENT

STATE OF New Mexico

COUNTY OF Bernalillo

This instrument was acknowledged before me on May 26, 2015 by Patricia J. Schenck, as Managing Member of P.J.S. Properties, LLC, a New Mexico limited liability company.


Notary Public

My Commission expires: 8/12/2017

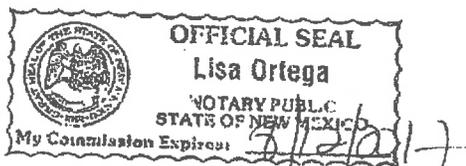


EXHIBIT "B"

- Reservations contained in Patent from United States of America, recorded in Book 80, Page 353, records of Bernalillo County, New Mexico.
- Easements and notes as shown on the plat recorded August 1, 1972, in Plat Book B7, folio 4, records of Bernalillo County, New Mexico.
- Any and all rights, claims, liens, easements or equities in favor of the Middle Rio Grande Conservancy District which may affect the insured premises.



BERNALILLO COUNTY FIRE DEPARTMENT
 FIRE PREVENTION BUREAU
 6840 SECOND ST., NW SUITE 302
 ALBUQUERQUE, N.M. 87107
 505-468-1310



Letter of Conditional Approval

To: RENAISSANCE MAN CONSTRUCTION INC
From: Lt. Joshua S. Allen
Date: 1/23/2019

Business/Building Name: TW Wellness
 Project Address: 8225 4th St NW

Building Permit Number: BCBP2019-0007
 Fire Permit Number: FDCP2019-0016

The Bernalillo County Fire Marshal's Office has reviewed the construction documents you have provided for the above project based on the 2009 edition of the International Fire Code, Bernalillo County Fire Code, and NFPA. During our review we have found the following deficiencies.

No	Description	Location	Code Section
1	Knox Box needs to be detailed on the plans near the front entry and to the left of the entry (when facing the entry), the Knox Box should be mounted about 6ft above ground level or as required by fire official.	Bernalillo County Fire Code	506.1
2	Medical gases, quantity, location and room construction are provided and detailed and complete the appropriate worksheet if medical gases are going to be used and or stored.	Bernalillo County Fire Code	3001.1
3	Fire Extinguisher location type, size, mounting height, and travel distance needs to be detailed in plans.	Bernalillo County Fire Code	906
	Shop drawings must be submitted to the fire marshal's office for review and approval on any installation or modification to the current fire sprinkler systems, fire alarm system, or any other fire related systems.	Bernalillo County Fire Code	901.2

Additional Comments:

You are required to make the above corrections prior to project completion. Resubmitting plans is NOT required. If you have any questions or would like to discuss the deficiencies in further detail please contact the Bernalillo County Fire Marshal's Office.

Sincerely

Lt. Joshua S. Allen

8225 4th Street NW

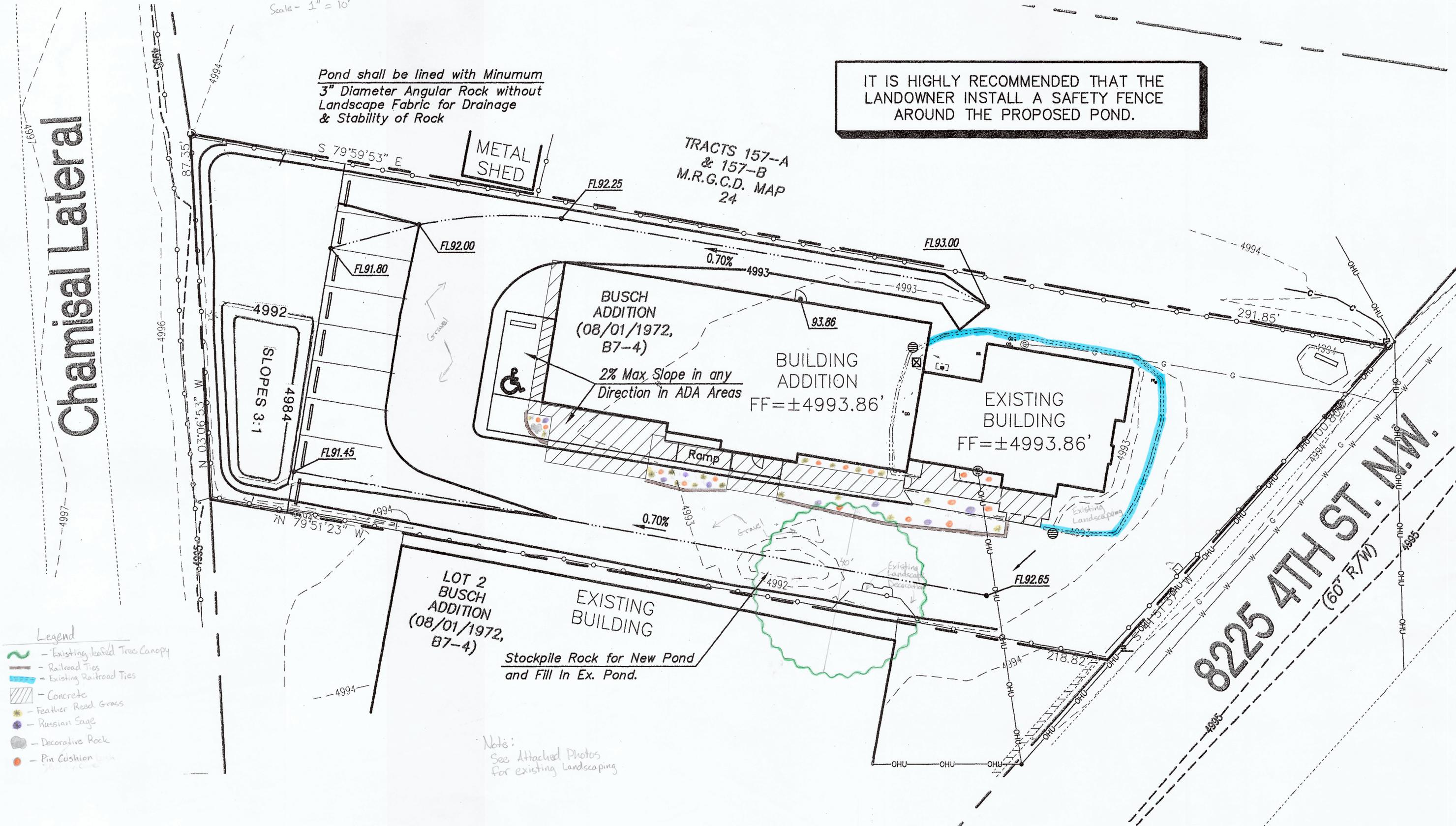
Landscape Plan

Scale - 1" = 10'

Pond shall be lined with Minimum 3" Diameter Angular Rock without Landscape Fabric for Drainage & Stability of Rock

IT IS HIGHLY RECOMMENDED THAT THE LANDOWNER INSTALL A SAFETY FENCE AROUND THE PROPOSED POND.

Chamisal Lateral



TRACTS 157-A & 157-B
M.R.G.C.D. MAP 24

METAL SHED

BUSCH ADDITION
(08/01/1972, B7-4)

BUILDING ADDITION

EXISTING BUILDING

SLOPES 3:1

2% Max Slope in any Direction in ADA Areas

FF = ±4993.86'

FF = ±4993.86'

Ramp

LOT 2 BUSCH ADDITION
(08/01/1972, B7-4)

EXISTING BUILDING

Stockpile Rock for New Pond and Fill In Ex. Pond.

8225 4TH ST. NW.
(60' R/W)

- Legend
- Existing leafed Tree Canopy
 - Railroad Ties
 - Existing Railroad Ties
 - Concrete
 - Feather Reed Grass
 - Russian Sage
 - Decorative Rock
 - Pin Cushion

Note:
See Attached Photos for existing Landscaping



10. NEW BUSINESS

- A. DISCUSSION AND MODIFICATION OF THE RATES FOR RECYCLING SERVICES IN THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE-WASTE MANAGEMENT.



**Recycling options
for discussion**



OPTION 1... Pass on a recycling increase to the rate payers

- Current Rate - \$16.47/month
- Recycling Increase - \$0.94/month
- Rate Post Increase - \$17.41/month (5.7%)
- Effective date of January - Re-evaluated periodically (TBD by Board)



OPTION 2... The Albuquerque Model - City Funded Absorption

- It appears the Cities of Albuquerque & Santa Fe are discussing absorbing the recycling increase for their residents
- Should the Village want to absorb these costs as well, the costs would be:
- **\$1,811.24** per month, or;
- **\$21,734.88** per year



OPTION 3... Collect Recycling, but Landfill in Lieu of Processing

- Continue EOW recycling, but instead of processing it, simply landfill it. This would be \$60.78/ton (RCY) - \$31.09/ton (LF) = a savings of \$29.69/ton.
- Current Rate - \$16.47/month
- Landfill Savings - \$0.46/month
- Rate Would Go To - \$16.93/month (2.8%)



OPTION 4... Discontinue the Curbside Recycling Program

- Discontinuing curbside recycling in Los Ranchos. Costs would go away altogether; processing for Friedman would increase (due to loss of volume)
- Current Rate - \$16.47 /month
- Recycling Costs - **(\$4.35)/month**
- Rate Trash only - \$12.12/month **(26.4%)**



OPTION 4.5 ... Replace Curbside Single Stream with a Source Separated Drop Off Collection System

- Move to a Source Separated Recycling Drop Off System.
- We would anticipate the participation rate would drop significantly as it would become much more inconvenient (could be cut in half)
- And there is significant costs to setting up a new drop off system
- The costs would need to be added back into the rates, decreasing the savings



Summary

- Current Rate – **\$16.47/month**
- Option 1– **\$17.41/month (5.7%)** *Rate Increase*
- Option 2 – **\$16.47/month (0%)** *Absorb Costs*
- Option 3 – **\$16.93/month (2.8%)** *Landfill*
- Option 4 – **\$12.12 (26.4%)** *Discontinue*
 - Option 4.5 - cost unknown (add to Option 4) *Drop Off*



Discussion???





CONSERVATION

YOUR WASTE MANGEMENTSUPPORTTEAM

 DAN DARNELL New Mexico Manager, Public Sector Solutions	 JULIE BARREDA Director, Public Sector Solutions	 JARRED MCDONALD District Manager Hauling	 LAILA AMERMAN Recycling Communications Specialist	 JENNIFER RIVERA Area Communications Director
505 - 811-6978 ODarnell@wm.com	505 - 235- 3794 lBarreda@wm.com	928- 525 6649 Jmcciona8@wm .com	303-486-6216 LAmermdn@wm.com	480 -272 -0382 IR1ver34@wm.com



WASTE MANAGEMENT
02017 Waste Management

10. NEW BUSINESS

- B. DISCUSSION AND APPROVAL OF THE SECOND AMENDMENT TO THE MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE AND PALINDROME COMMUNITIES, LLC, A NEVADA LIMITED LIABILITY COMPANY.**

**SECOND AMENDMENT TO THE
MEMORANDUM OF UNDERSTANDING**

THIS SECOND AMENDMENT TO THE MEMORANDUM OF UNDERSTANDING (this "Amendment"), effective as of December 15, 2019 (the "Effective Date"), is by and between the Village of Los Ranchos de Albuquerque (the "Village"), and Palindrome Communities, LLC, a Nevada limited liability company (the "Developer") (together, the "Parties" and individually, a "Party").

On November 14, 2018, the Parties entered into that certain Memorandum of Understanding (the "MOU") pursuant to which the Developer was designated as the Village Center developer.

In May 2019, the Parties agreed to extend the Term of the MOU nine (9) months to December 15, 2019 (the "Extension Period").

Pursuant to Section III of the MOU, the Parties desire to once again extend the Term of the MOU to June 30, 2020.

The Parties represent, warrant, and covenant that the Village and Developer have full power, authority, and legal right to execute this Amendment and to keep and observe all of the terms of this Amendment on Village's and Developer's part to be observed and performed.

This Amendment may be executed in counterparts, which, together, shall constitute the original Amendment.

All capitalized terms in this amendment have the meaning set forth in the MOU, unless otherwise indicated. All other provisions of the MOU remain in full force and effect.

IN WITNESS WHEREOF, the Parties have executed this Amendment to the Memorandum of Understanding effective this 11th day of December, 2019.

THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE

By: _____
Donald T. Lopez, Mayor

DEVELOPER: PALINDROME COMMUNITIES, LLC, a Nevada limited liability company

By: _____
Chad Rennaker, President

10. NEW BUSINESS

- C. DISCUSSION AND APPROVAL OF RESOLUTION 2019-12-1; A RESOLUTION ADOPTING THE VILLAGE OF LOS RANCHOS DE ALBUQUERQUE “BUY LOCAL”, IN AN EFFORT TO SUPPORT LOCAL BUSINESSES.

STATE OF NEW MEXICO
VILLAGE OF LOS RANCHOS DE ALBUQUERQUE
RESOLUTION NO. 2019-12-1

**A RESOLUTION ADOPTING THE VILLAGE OF LOS RANCHOS DE
ALBUQUERQUE “BUY LOCAL”**

WHEREAS; the Village of Los Ranchos de Albuquerque is proud of its commercial and home businesses located within the village and join with WeConnectNM in celebrating the Village’s local-independent businesses and the positive impacts they have on the Village’s culture, economy and character; and

WHEREAS, as of October 2019, Los Ranchos de Albuquerque has over 350 commercial businesses and 137 home occupations; and

WHEREAS, by buying local in Los Ranchos de Albuquerque, Village residents embrace this unique, vibrant community and recognize that it is these one-of-a-kind businesses that keep a community’s unique cultural identities strong and encourage a multi-generational sense of pride-of-place; and

WHEREAS, when buying local, Los Ranchos de Albuquerque Village residents create prosperity for all as the “multiplier effect” of locals choosing locals creates diverse job opportunities, maintains and grows the community population, and creates financial resiliency during economic downturns; and

WHEREAS, by buying local, Village residents help improve and protect the environment as purchasing habits in a central location leaves a smaller carbon footprint, which, results in less pollution and congestion; and

WHEREAS, when Village residents support local businesses and “buy local” more money is kept in circulation in the local economy, as every \$100 spent at a local-independent business, \$45 goes back into the community, versus only \$14 when spent at a national chain store; and

WHEREAS, by buying local, Village residents support businesses that support the local community; and

WHEREAS, by influencing purchasing habits of local consumers to think “local” first and buy local, the Village of Los Ranchos de Albuquerque supports businesses that create jobs, boost our local economy, and preserve our communities.

BE IT FURTHER RESOLVED BY THE Board of Trustees, the Governing Body of the Village of Los Ranchos de Albuquerque that this “Buy Local” Resolution is hereby adopted and approved.

PASSED, APPROVED, AND ADOPTED by the Village of Los Ranchos de Albuquerque Board of Trustees on this 11th day of December 2019.

ATTEST:

Donald T. Lopez, Mayor

Danielle Sedillo-Molina, Village Clerk