

*Designed for you—
with living your life
in mind*

PLEASANT VALLEY MODULAR HOMES INC



*Superior
Construction*

*Award-Winning
Design*

*Unparalleled
Experience*

www.pvmhi.com

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OWNERS' WELCOME

A Message from Wayne and Lee Fanelli

On behalf of the entire team at Pleasant Valley, thank you for your interest in our company and the homes that we build. Pleasant Valley Homes is a leading maker of exceptional modular homes, and is among the most respected in the factory-built housing industry. We own and operate every day with our exceptional team of designers, engineers, and craftsmen and women. Our experience -- and our founding principals of unsurpassed craftsmanship, trusted relationships, and unrivaled innovation -- have served us well for over three decades, and we are confident that they will continue to prove as valuable as they ever have.

Our homes have a look and feel that speaks to exceptional quality, combined with unique touches and uncharacteristic attention to detail. We work hard to build and maintain fluid and flexible relationships with our material suppliers and our network of authorized, independent builders and retailers in order to provide the highest quality home at a price within reach. Because we are an independent, family company, we answer to no corporate authority; however, we operate with a long-term perspective and unparalleled financial stability that ensures that we will be here for many years to come.

We invite you to take a closer look at our company and our homes. We believe that Pleasant Valley's craftsmanship and quality will stand out when you step into your new Pleasant Valley home. Each home comes with unsurpassed building standards, state of the art construction practices, thirty years of experience, and life-focused design. We look forward to building your new home.

Sincerely,

Wayne A. Fanelli
President & CEO
Pleasant Valley Modular Homes, Inc.

Lee E. Fanelli
Vice President
Pleasant Valley Modular Homes, Inc.



ABOUT US

Pleasant Valley Modular Homes, Inc., based in Pine Grove, Pennsylvania, is one of the largest modular home manufacturers in the country. Owned and operated since 1982, we combine our unrivaled industry expertise, our stable financial position, and the ability of our dedicated team to deliver the best modular building solutions to today's home-buyers.

Each home we build is designed, engineered and constructed in our state-of-the-art manufacturing facility, built in 2004. While most manufacturers offer a tiered approach to construction specifications, all Pleasant Valley Homes include our *Strength – Far Beyond The Standard* construction specifications. We combine these unparalleled standards with innovative design, the latest technology and skilled craftsmanship to provide homebuyers with a home that is simply constructed with superior quality and the utmost comfort and value.

Learn more at www.pvmhi.com.



All floors, walls, and roofs are built on a laser-leveled factory floor.



The roof is constructed with engineered roof trusses on a square and level jig, and hoisted onto the home with a 3-ton crane.

STATE-OF-THE-ART CONSTRUCTION FACILITIES

When it comes to choosing a modular manufacturer, it can be tough to distinguish one from another. After more than three decades of experience, we can tell you that your new home is as good as the specs to which it is built and the factory in which it is constructed.

Every home is built with each floor joist, wall stud, and roof truss 16" on-center. Each roof is built to a 100-pound ground snow load (more than double the minimum requirement in most of the northeast USA), and the entire home -- including the marriage walls -- is wrapped in OSB sheathing. In addition, hundreds of additional construction features are standard on every Pleasant Valley home.

While many modular home manufacturers operate from old structures re-commissioned as modular home production facilities, all Pleasant Valley Homes are built in our new, advanced manufacturing facility, designed and built for one purpose: to build the highest-quality modular home possible. Our manufacturing facility is supported by an experienced in-house engineering and design team that can work with our plans, your plans, or a combination of both.

For more information, please visit www.pvmhi.com.

Modules move along the assembly line, completing electrical, drywall, and other finishes.



Each model is lifted within one quarter-inch of level by eight independent hydraulic lifts and gently set on a heavy-duty transport carrier.



THE MODULAR PROCESS

Modular home construction combines the best practices of traditional site-built construction with the technological, economical and environmental advantages of making a product in a controlled environment. The components in any home (for example, a faucet or a roof truss) are manufactured in a controlled environment according to precise specifications and tested to ensure that they meet applicable standards. Pleasant Valley homes are no different – we build homes using similar techniques for the design, manufacture and assembly of your new home as do the makers of each of the high-quality components in the home, from plumbing and electrical components to flooring, cabinetry and lighting fixtures. The modular process – and specifically many of Pleasant Valley’s proprietary design and construction techniques – result in a home that is built better, greener, faster, and with a fraction of the headaches presented by traditional site construction.

BUILT BETTER

Our 140,000 square foot manufacturing center was constructed in 2004, and is one of the newest and most advanced of its kind. With precise temperature controls and a laser-leveled factory floor, all floors, walls and roofs are built square and simultaneously. Building materials are not adversely exposed to the weather for extended periods of time. Additionally, each module must be strong enough to be transported to a home site and lifted by a crane onto the foundation, as compared to site-built homes that are rarely built to exceed minimum code specifications.

BUILT GREENER

Pleasant Valley’s centralized assembly and proprietary manufacturing techniques are more environmentally friendly than traditional, site-built construction, and the homes that leave our factory are more energy efficient, too. Because we operate from one central location, there is no need for craftsmen to travel to and from isolated job sites each day. Much of the lumber we use is pre-cut to the exact size necessary for the application, resulting in less waste. Instead of a drawn-out period of disruption to the surrounding area, a modular home can be erected and finished in a matter of weeks, resulting in decreased debris, traffic and noise. Moreover, Pleasant Valley homes are more energy efficient than most site-built homes. Every Pleasant Valley home is built Energy Star® ready with insulation values and energy-efficient windows, doors and appliances that comply with the EPA’s Energy Star certification guidelines.

BUILT FASTER

On-site, stick-by-stick construction can take, on average, six to ten months. Moreover, waiting for a home can present a number of complications, including the need for a place to live in the interim, storage of your belongings, and the like. During this time period, costs on materials fluctuate, which can result in cost overruns. With a Pleasant Valley home, delays and cost overruns are never an issue. While the factory has a backlog that varies with the building season, it runs everyday and you will be able to know when your home can ship when you order it. Pleasant Valley Homes, along with your local authorized, independent builder or retailer, can construct your new home in a third of the time required by traditional construction.



1. Modules are shipped from the factory on super-strength steel carriers.



2. Your new home is being built in the factory while your site is being prepared.



3. On the day of set, each module is lifted into place with a crane.

FEWER HEADACHES

While we can't promise that building a new home will be completely stress-free (and it never is), building a Pleasant Valley home presents fewer headaches than traditional construction. Because your home is built in a controlled environment, there are no contractor no-shows, nor any delay on account of rain or snow. Moreover, costly and fragile materials are not left out, exposed to weather and the possibility of material theft. Finally, the inconvenience that is naturally a result of building a new home is condensed into a few short weeks during erection and final completion, instead of a traditional, extended building time.



4. The roof sections are set and sealed.



5. Weeks later, a completed home.

GREEN BUILDING

Keeping energy costs low and preserving the environment is an important consideration when building your new home. Pleasant Valley Homes has been a long-time supporter of the EPA's Energy Star® program, building energy-efficient and environmentally sound homes.

Below is a list of "green" features standard in every Pleasant Valley Home:

- Tyvek® Vapor Barrier
- Eaveguard Ice Shield
- Vanguard PEX Plumbing Lines
- Radon Exhausting Pipe Prep
- Moisture - Resistant Drywall in Wet Areas
- 100% Indoor, Smoke-Free Construction
- Low-E Windows, Argon Filled
- R-19 Insulation in 2"x6" Exterior Walls (green guard certified)
- Low Flow Toilets
- Insulated Exterior Doors
- OSB Sheathing on All Floors, Walls, Roofs
- Low-V.O.C. Paint (Vapor Barrier)
- Engineered Trusses and LVL Beams
- Recycled Cellulose Blown-in Insulation
- Formaldehyde-free Fiberglass Insulation
- CRI Green Label Plus Certified Factory-Installed, Recycled-Content Carpet Pad
- CRI Green Label Plus Certified Factory-Installed Carpet
- Double-Layered Weather Stripping Between Walls and Floor/Ceiling
- Foaming (Sealing) Around All Exterior Wall Penetrations
- Low V.O.C. Adhesives
- Water Saving Fixtures at 2.5 GPM
- Engineered Heating & Cooling Systems to Minimize Energy Use and Leakage (With Full House Package Option)
- All Homes Are Built To Current Energy Codes

Add Green Energy Efficiency with:

- R-50 Ceiling Insulation
- Tank-less Water Heating Systems
- Webbed Floor Joists (stronger while using less material)

Pleasant Valley Exclusive *Energy Wall* (Optional):

- Resists all three types of heat transfer (conduction, convection, and – most importantly – radiant)
- Thermos® Bottle effective design
- Reflective insulation resists convective currents, provides excellent air barrier against outside air infiltration; also a vapor retarder
- Does not absorb moisture, unlike other types of mass insulation
- If installed with mass insulation, it can help them stay drier and warmer, eliminating dew points in mass insulation
- Reflects and stops up to 97 percent of radiant heat
- Resistant to moisture, mold, fungi, and rodent nesting
- Effective year-round, in all seasons
- Works 24 hours a day
- Fiber-free
- Provides R-27 exterior wall insulation value



Construction of exterior wall, featuring 2"x6" wall studs, 16" on-center, with optional *Energy Wall* insulation package.



A module moves down the production line, showing exterior wall with optional *Energy Wall* insulation package.

KITCHEN AND BATH GALLERY



The galley-style Hearth Wall Kitchen shown in optional Olde Town Bisque hard maple cabinetry. Photo depicts other optional features.

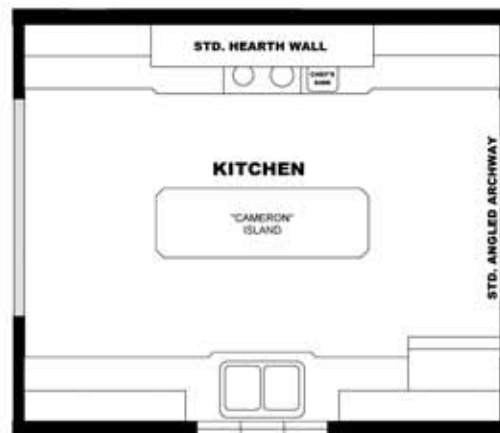
The Original *Hearth Wall Kitchen*

Kitchen Features Shown:

- Blue Mountain Cabinet Works factory-crafted, custom cabinetry
- KCMA and ANSI-certified cabinets
- Pull-out spice shelf cabinets on each side of range
- Six curio cabinets w/ drawers, chef's sink and pot & pan drawers
- Designer island w/ pendant down lights
- Angled archway openings
- Seven (7) recessed down lights over cabinet areas
- Hand-laid ceramic tile backsplash behind range
- Whirlpool appliances

Options Shown:

- Olde Town Bisque Rub on Hard Maple w/ raised panel, roman arch
- 9' walls, 42" overhead cabinets
- Dentil crown molding, Tuscan glass with designer leading in curio cabinets
- Corian® solid-surface countertop w/ undermount sink
- Whirlpool® Stainless steel appliances
- Elliptical archway openings and hardwood floors



BLUE MOUNTAIN
CABINET WORKS



This kitchen is featured in a number of models, and you can add these options or this layout to most Pleasant Valley homes. Variations of this kitchen have been designed for use in different spaces. Refer to our website for more information and additional layouts.



Cafe Italiano Style Hearth Wall Kitchen shown in optional Honey-Stained Hard Maple Cabinetry.
Photo depicts other optional features.

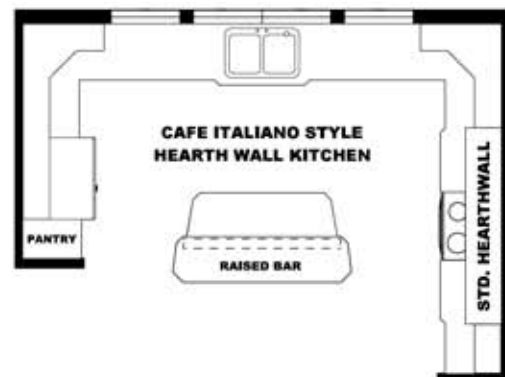
The Cafe Italiano Style *Hearth Wall Kitchen*

Kitchen Features Shown:

- Blue Mountain Cabinet Works factory-crafted, custom cabinetry
- KCMA and ANSI-certified cabinets
- Four (4) Windows at Kitchen Sink for light-filled space
- Pull-out spice shelf cabinets on each side of range
- Appliance garages on each side of the hearth; staggered overhead cabinets
- Designer island w/ lighting
- Recessed down lights over cabinet areas
- Hand-laid ceramic tile backsplash behind range
- Whirlpool appliances

Options Shown:

- Honey Stain on Hard Maple w/ raised panel door, cathedral arch
- Dentil crown molding
- Solid wood beveled edge



BLUE MOUNTAIN
CABINET WORKS



This kitchen is featured in a number of models, and you can add these options or this layout to most Pleasant Valley homes. Variations of this kitchen have been designed for use in different spaces. Refer to our website for more information and additional layouts.



Venetian Spa Bath shown in optional Honey-Stained Hard Maple Cabinetry with optional Delta® Victorian faucets. Photo depicts other optional features.

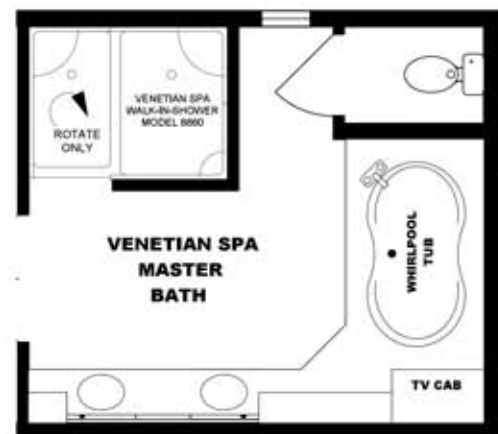
Venetian Spa Bath

Bath Features Shown:

- Blue Mountain Cabinet Works factory-crafted, custom cabinetry
- KCMA and ANSI-certified cabinets
- 12' double vanity with over-sized, framed mirror
- 12 bath drawers and 12 separate open shelves
- 8 large bath cabinets
- private water closet
- 5 recessed down lights and 2 wet-area recessed down lights in shower

Options Shown:

- Honey Stain on Hard Maple w/ raised panel door, cathedral arch
- Six-jet whirlpool tub
- Jetted faucet and body spray



This bathroom layout is featured in a number of models, and you can add these options or this layout to most Pleasant Valley homes. Refer to our website for more information and additional layouts.



Tranquility Spa Bath shown in optional Cinnamon Hard Maple Cabinetry with optional Delta® Brilliance faucets. Photo depicts other optional features.

Tranquility Spa Bath

Bath Features Shown:

- Blue Mountain Cabinet Works factory-crafted, custom cabinetry
- KCMA and ANSI-certified cabinets
- 61" 12-jet circuitous Tranquility tub
- 48" x 60" Romantica shower w/ clear glass doors
- Book case at tub platform
- Separate his & her vanities; ladies' makeup center
- Decorative wooden tub surround
- Recessed down lights, wet-area recessed down light in shower
- Private water closet

Options Shown:

- Cinnamon Stain on Hard Maple w/ raised panel door, cathedral arch
- Swedish Iron cabinet hardware
- Delta® Brilliance bath faucets and hardware



BLUE MOUNTAIN
CABINET WORKS



This bathroom layout is featured in a number of models, and you can add these options or this layout to most Pleasant Valley homes. Refer to our website for more information and additional layouts.

PERSONALIZE YOUR NEW HOME

On the following pages, you will find ranch, cape, chalet, colonial and other home styles, in plans that range from just under 1,000 square feet to over 3,000 square feet. Within these pages, most new homebuyers will find a style and size that meets their needs and fits their budget. From there, feel free to personalize your home. Move walls, add a family room or an all-seasons room and an attic, and increase or decrease room sizes. If you haven't quite found what you're looking for, visit our website to review even more plans. As a custom modular manufacturer, we can build our plan, your plan or a combination of both.

Learn more at www.pvmhi.com.



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PAGE	MODEL	FLOORS	SQ. FT.	BEDROOMS	BATHROOMS
14	Adams	1	1,066	3	2
14	Monroe	1	1,205	3	2
15	Coolidge	1	1,316	3	2
15	Buchannon	1	1,323	3	2
16	Edgewood C	1	1,425	3	2
16	Bridgeport B	1	1,535	3	2
16	Richmond	1	1,535	3	2
17	Chadsford	1	1,425	3	2
17	Manchester	1	1,645	3	2
17	Chesapeake C	1	1,755	3	2
18	Lakeport	1	1,755	3	2
18	Gettysburg	1	1,755	3	2
18	Darlington	1	1,755	3	2
19	Fenwick	1	1,755	3	2
19	Brighton A	1	1,755	3	2
19	Portsmouth	1	1,919	3	2
20	Mayfield	1	1,555	3	2
20	Clearfield	1	1,617	3	2
20	Amesbury	1	1,757	3	2
21	Sunridge	1	2,020	3	2
21	Elkridge	1	1,987	3	2
21	Briarcrest	1	1,851	3	2
22	Coventry	1	1,995	3	2
22	Woodbury	1	1,878	3	2
22	Canterbury	1	2,155	3	2.5
23	Cape Cornwall	1.5	987 (1,491)	2 (4)	1 (2)
23	Cape Ann	1.5	1,097 (1,657)	2 (4)	2
24	Cape Bayshore	1.5	1,261 (1,905)	2 (3)	2 (3)
24	Cape Vincent	1.5	1,250 (2,006)	3 (5)	2 (3)
25	Cape Henery	1.5	1,465 (2,249)	2 (4)	2 (3)
25	Cape Elizabeth	1.5	1,824 (2,468)	3 (5)	2 (3)
26	Cape Chidley	2	1,736 (2,100)	3	2.5
26	Cape Byron	2	1,217 (2,059)	3	2.5
27	Lake Placid	1	1,535	3	2
27	Lake Tahoe	1.5	1,205 (1,562)	2 (3)	2 (3)
28	Lake Anna	1.5	1,425 (1,904)	2 (3)	2 (3)
28	Lake Victoria	1.5	1,097 (1,433)	2 (3)	2 (3)
29	Lake Claire	1.5	1,535 (2,074)	3 (4)	2 (3)
29	Lake Alice	1.5	2,138 (2,978)	3 (5)	2 (4)
30	Beaumont	2	1,645	3	2.5
30	Shirley	2	1,974	3	2.5
31	Peachfield	2	1,974	4	2.5
31	Astoria	2	2,200	4	2.5
32	Felicity	2	2,200	4	2.5
32	Chelsea	2	2,420	4	2.5
33	Evelynnton	2	2,520	3	2.5
33	Berkeley	2	2,750	3	2.5
34	Stockbridge	2	2,774	4	2.5
34	Brandon	2	2,772	4	2.5



Depicted: Adams with 5.0/12 pitch roof, optional shake siding, and site-built porch.



ADAMS:
 3 Bedrooms, 2 Baths
 1,066 sq. ft.
 39'4" x 33'0"



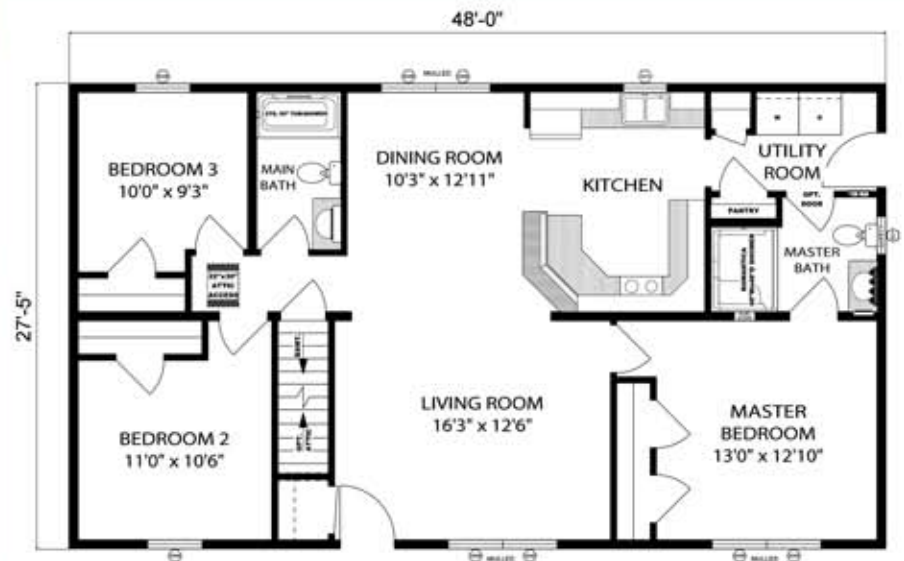
MONROE:
 3 Bedrooms, 2 Baths
 1,205 sq. ft.
 27'5" x 44'0"



Depicted: Coolidge with 5.0/12 pitch roof, optional garage, and site-built porch.

COOLIDGE:

3 Bedrooms, 2 Baths
1,066 sq. ft.
27'5" x 48'



BUCHANNON:

3 Bedrooms, 2 Baths
1,205 sq. ft.
27'5" x 52'0"





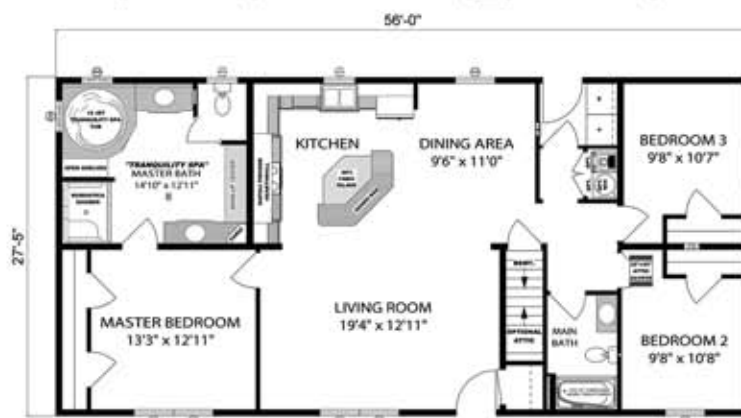
Depicted: Edgewood with 5.0/12 pitch roof and optional saddle roof with site-built porch.



EDGEWOOD C:
3 Bedrooms, 2 Baths
1,426 sq. ft.
27'5" x 52'0"



BRIDGEPORT B:
3 Bedrooms, 2 Baths
1,525 sq. ft.
27'5" x 56'0"



RICHMOND:
3 Bedrooms, 2 Baths
1,525 sq. ft.
27'5" x 56'0"



Depicted: Chesapeake with optional 8.0/12 pitch roof, bump-out, reverse gable dormer, site-built garage.

CHADSFORD:

3 Bedrooms, 2 Baths
1,425 sq. ft.
27'5" x 56'0"



MANCHESTER:

3 Bedrooms, 2 Baths
1,645 sq. ft.
27'5" x 60'0"



CHESAPEAKE C:

3 Bedrooms, 2 Baths
1,755 sq. ft.
27'5" x 64'0"





Depicted: Gettysburg with optional 8'8" walls, 9.0/12 pitch roof, 6' extension module with box bay window at family room, prairie windows, shake siding, garage, and site-built porch. Other optional items shown.



LAKEPORT:
3 Bedrooms, 2 Baths
1,425 sq. ft.
27'5" x 64'0"



GETTYSBURG:
3 Bedrooms, 2 Baths
1,645 sq. ft.
27'5" x 64'0"



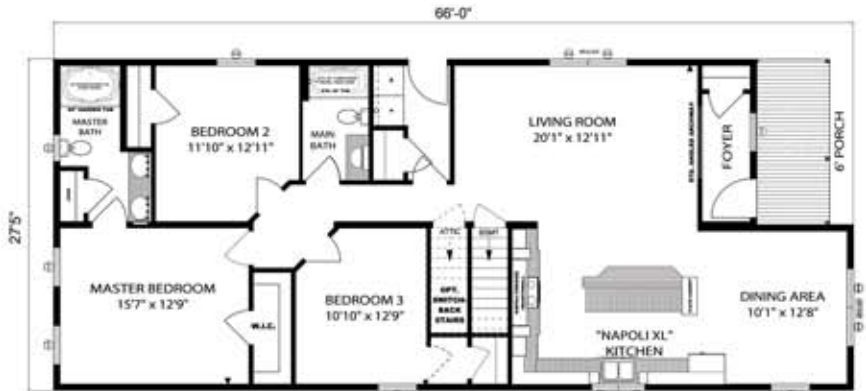
DARLINGTON:
3 Bedrooms, 2 Baths
1,755 sq. ft.
27'5" x 64'0"



Depicted: Fenwick with optional 10.0/12 pitch roof, 6.0/12 pitch porch roof, shake siding, site-built garage.

FENWICK:

3 Bedrooms, 2 Baths
1,694 sq. ft.
27'5" x 66'0"



BRIGHTON A:

3 Bedrooms, 2 Baths
1,755 sq. ft.
27'5" x 64'0"



PORTSMOUTH:

3 Bedrooms, 2 Baths
1,919 sq. ft.
27'5" x 70'0"





Depicted: Mayfield with optional 8.0/12 pitch roof, attached garage, 4' doghouse dormer, site-built porch.



MAYFIELD:

3 Bedrooms, 2 Baths
 1,555 sq. ft.
 41'3" x 44'0"

CLEARFIELD:

3 Bedrooms, 2 Baths
 1,617 sq. ft.
 53'6" x 34'0"

AMESBURY:

3 Bedrooms, 2 Baths
 1,906 sq. ft.
 41'2" x 60'



Depicted: Briarcrest with optional 12/12 Pitch Roof, 7' doghouse dormers, fireplace bump-out, and box-bay window. Other optional features shown.

SUNRIDGE:

3 Bedrooms, 2 Baths
1,906 sq. ft.
41'2" x 60'



ELKRIDGE:

3 Bedrooms, 2 Baths
1,987 sq. ft.
42'6" x 58'



BRIARCREST:

3 Bedrooms, 2 Baths
1,851 sq. ft.
40' x 55'6"





Depicted: Woodbury with optional 8.0 pitch roof, site-built garage, site-finished brick facade. Other optional features shown.



COVENTRY

3 Bedrooms, 2 Baths
1,995 sq. ft.
41'3" x 52'0"



WOODBURY:

3 Bedrooms, 2 Baths
1,878 sq. ft.
42'0" x 54'8"

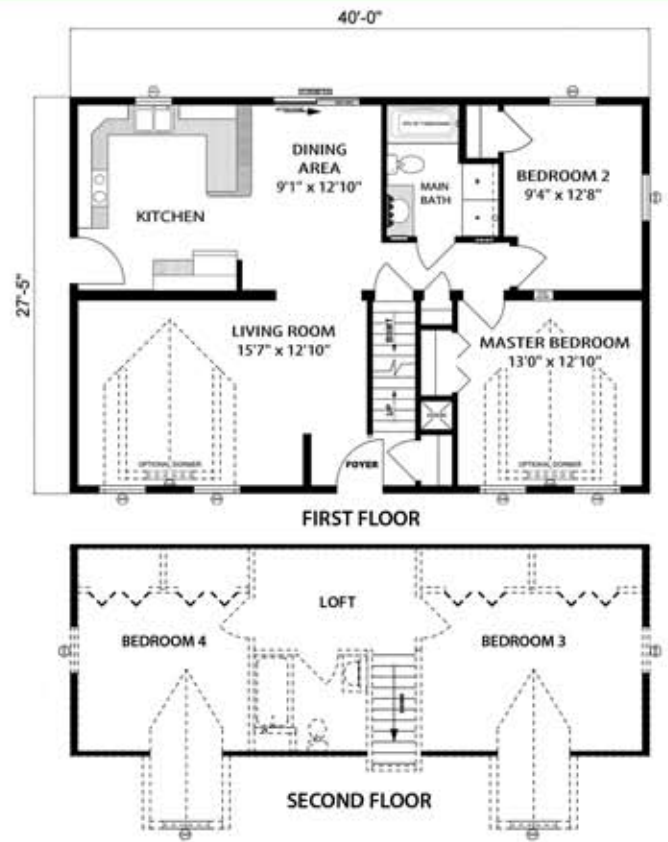
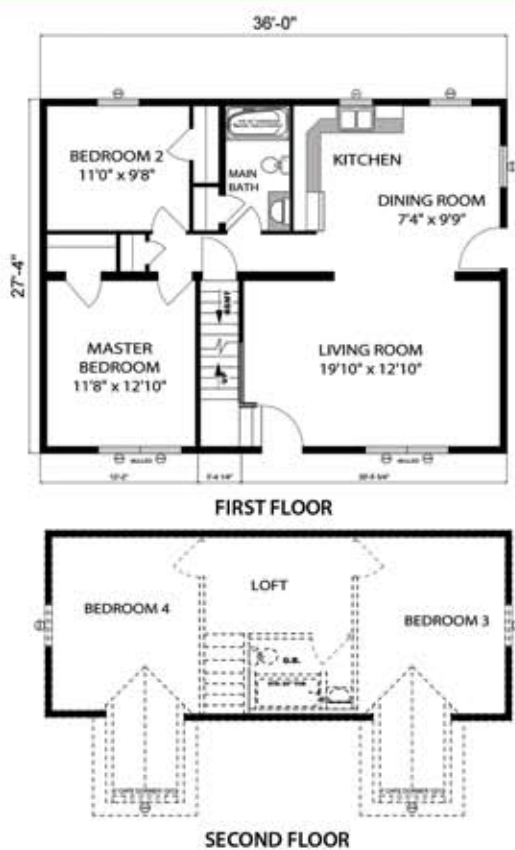


CANTERBURY:

3 Bedrooms, 2 Baths
2,155 sq. ft.
47'0" x 54'8"



Depicted: Cape Ann with optional 6' doghouse dormers, attached garage, site-built, full-length porch.



CAPE CORNWALL:
 2(4) Bedrooms, 1(2) Baths
 1,491 sq. ft.
 (987 sq. ft. first floor)
 27'5" x 36'0"

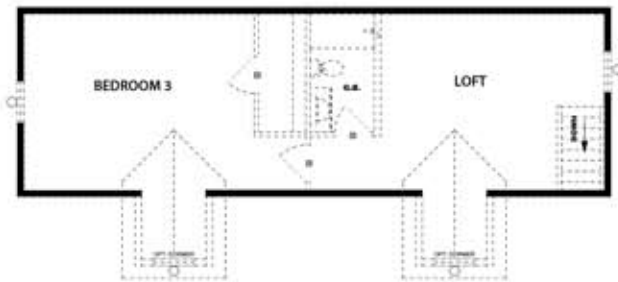
CAPE ANN:
 2(4) Bedrooms, 1(2) Baths
 1,657 sq. ft.
 (1,097 sq. ft. first floor)
 27'5" x 40'0"



Depicted: Cape Vincent with Optional 7' Doghouse Dormers Cladded in Vinyl Shakes. Other Optional Features Shown



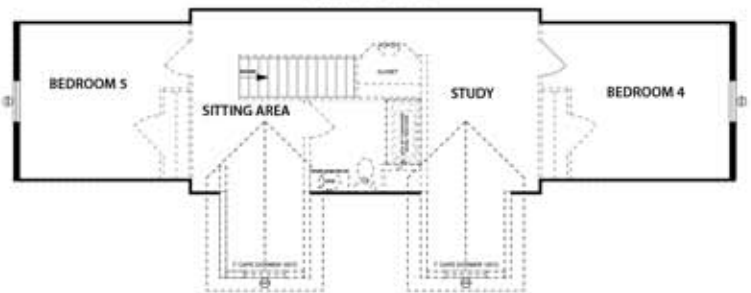
FIRST FLOOR



SECOND FLOOR



FIRST FLOOR



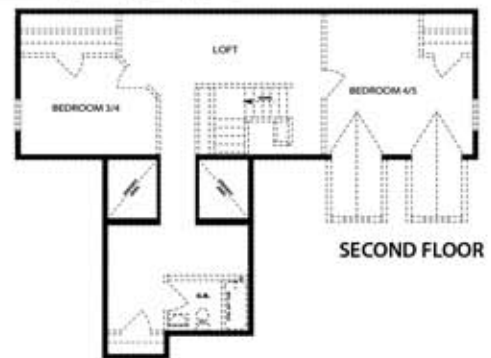
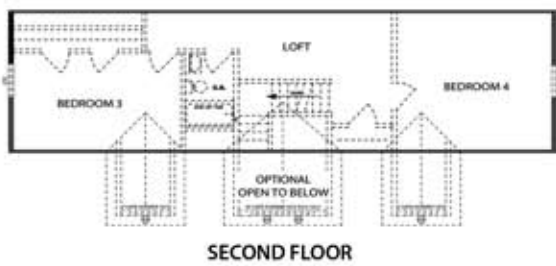
SECOND FLOOR

CAPE BAYSHORE:
 2(2) Bedrooms, 2(3) Baths
 1,905 sq. ft.
 (1,261 sq. ft. first floor)
 27'5" x 46'0"

CAPE VINCENT:
 3(5) Bedrooms, 2(3) Baths
 2,053 sq. ft.
 (1,329 sq. ft. first floor)
 27'5" x 56'0"



Depicted: Cape Henery with optional (2) 7' doghouse dormers, 10' doghouse dormer, site-built porch, chimney. Other optional features shown.



CAPE HENERY:
 2(4) Bedrooms, 2(3) Baths
 2,249 sq. ft.
 (1,465 sq. ft. first floor)
 27'5" x 56'0"

CAPE ELIZABETH:
 3(5) Bedrooms, 2(3) Baths
 2,468 sq. ft.
 (1,824 sq. ft. first floor)
 41'0" x 60'0"



Depicted: Cape Chidley with optional transoms, 12' doghouse dormer.



CAPE CHIDLEY:
 3 Bedrooms, 2.5 Baths
 2,450 sq. ft.
 (2,100 sq. ft. first floor and
 second floor finished area)
 45'8" x 41'0"

CAPE BYRON:
 3(5) Bedrooms, 2(3) Baths
 2,059 sq. ft.
 (1,217 sq. ft. first floor)
 27'5" x 44'0"



Depicted: Lake Placid w/ 5.0/12 pitch roof w/ site-built stone fireplace chimney.

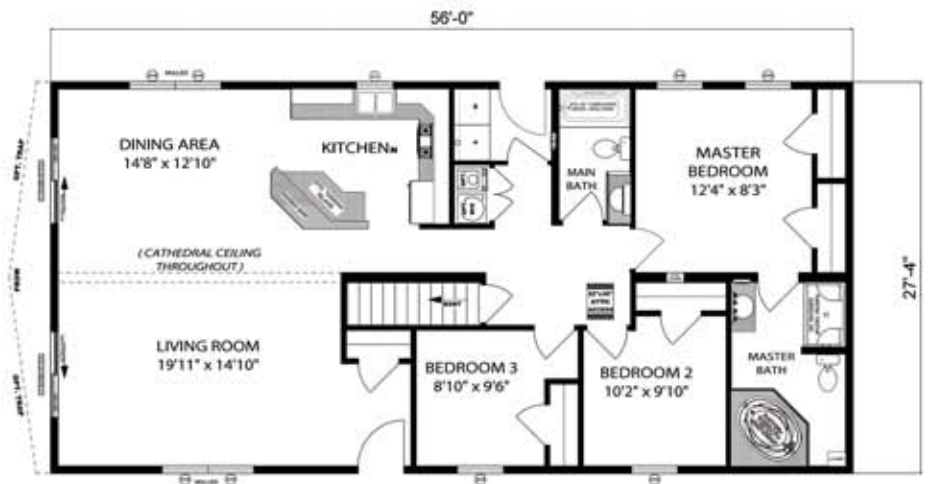
LAKE PLACID:

3 Bedrooms, 2 Baths

1,535 sq. ft.

27'5" x 56'0"

Cathedral Ceilings Throughout



LAKE TAHOE:

2 Bedrooms, 2 Baths

1,682 (1,206 sq. ft. first floor)

27'5" x 44'0"

Vaulted Living Areas



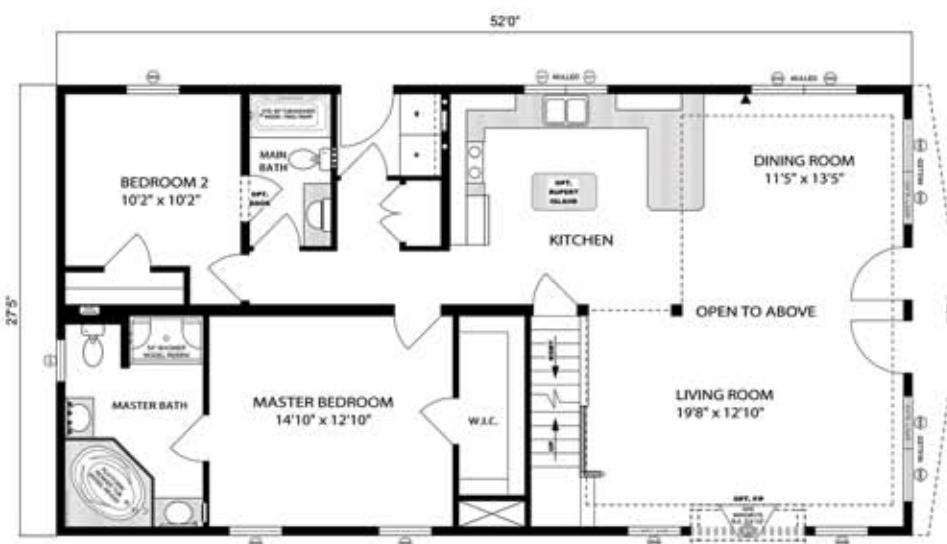


Depicted: Lake Victoria w/ 12.0/12 pitch roof w/ optional shed dormer and optional western red cedar siding, site built porch, deck and fireplace chimney.



LAKE ANNA:

2 Bedrooms, 2 Baths
 1,535 sq. ft. (1,097 sq. ft. first floor)
 27'5" x 40'0"
 Vaulted Living Areas



LAKE VICTORIA:

2 Bedrooms, 2 Baths
 1,873 sq. ft. (1,425sq. ft. first floor)
 27'5" x 52'0"
 Vaulted Living Areas



Depicted: Lake Alice with (2) 7' doghouse dormers, site-built deck, masonry façade.

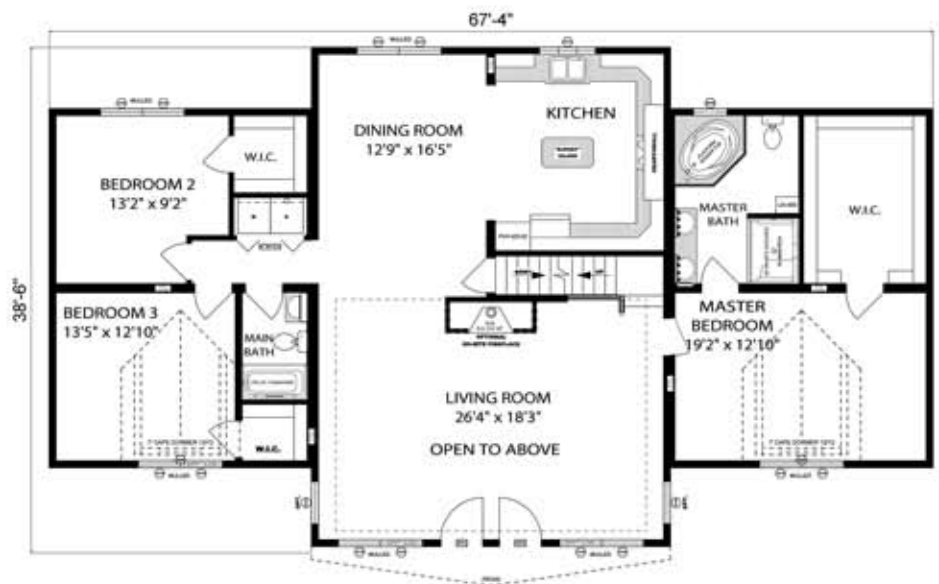
LAKE CLAIRE

3 Bedrooms, 2 Baths
 2,109 sq. ft. (1,535 sq. ft. first floor)
 27'5" x 56'0"
 Vaulted Living Areas



LAKE ALICE:

2 Bedrooms, 2 Baths
 2,923 (2,139 sq. ft. first floor)
 67'7" X 38'0"
 Vaulted Living Areas





Depicted: Shirley with optional 7.0/12 pitch roof and reverse gable dormer, optional garage, and site-built porch. Other optional features shown.



FIRST FLOOR



SECOND FLOOR

BEAUMONT:
3 Bedrooms, 2.5 Baths
1,645 sq. ft.
27'5" x 30'0"



FIRST FLOOR



SECOND FLOOR

SHIRLEY:
3 Bedrooms, 2.5 Baths
1,974 sq. ft.
27'5" x 36'0"



Depicted: Astoria with optional 7.0/12 pitch roof, second floor bump-out with dormers, attached garage, site-built porch.. Other optional features shown.



FIRST FLOOR



SECOND FLOOR

PEACHFIELD:
 3 Bedrooms, 2.5 Baths
 1,974 sq. ft.
 27'5" x 36'0"



FIRST FLOOR



SECOND FLOOR

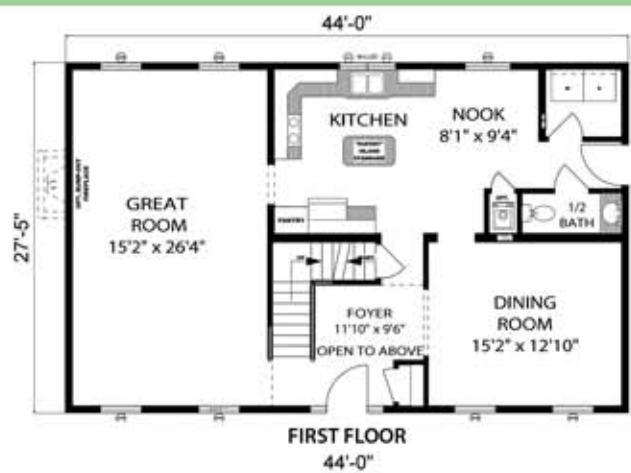
ASTORIA:
 3 Bedrooms, 2.5 Baths
 1,974 sq. ft.
 27'5" x 40'0"



Depicted: Chelsea with optional 9' first floor ceilings, optional 12/12 pitch, center bump-out with reverse gable dormers, optional garage, and site-built porch and masonry facade. Other optional features shown.



FELICITY:
4 Bedrooms, 2.5 Baths
2,200 sq. ft.
27'5" x 40'0"



CHELSEA:
4 Bedrooms, 2.5 Baths
2,420 sq. ft.
27'5" x 44'0"



Depicted: Berkeley with optional 8.0/12 pitch roof, bay window with copper roof, 3-car detached garage with (3) 6' doghouse dormers, site-built porch and site-built masonry façade. Other optional features shown.



FIRST FLOOR



SECOND FLOOR



FIRST FLOOR



SECOND FLOOR

EVELYNTON:
3 Bedrooms, 2.5 Baths
2,513 sq. ft.
27'5" x 50'0"

BERKELEY:
3 Bedrooms, 2.5 Baths
2,738 sq. ft.
43'8" x 40'0"



Depicted: Stockbridge with optional 9' first floor ceilings, optional 8/12 pitch hip roof with 2nd floor bump-out and reverse gable dormer, optional garage, and site-built porch and masonry facade. Other optional features shown.



FIRST FLOOR



SECOND FLOOR

STOCKBRIDGE:
4 Bedrooms, 2.5 Baths
2,774 sq. ft.
27'5" x 50'0"



FIRST FLOOR



SECOND FLOOR

BRANDON:
4 Bedrooms, 2.5 Baths
2,774 sq. ft.
41'0" x 34'0"

CONSTRUCTION RENDERING

A. Solid 2" x 10" SPF #2 Floor Joists, 16" On-Center

~ Benefit: Reduces squeaks and adds structural rigidity to floor system.

B. Joist Hanger on Every Floor Joist

~ Benefit: While the outside end of the floor joist rests on the sill plate of the foundation, the marriage-wall side of the floor joists is supported by steel joist hangers instead of only using common nails to support the joists.

C. Steel Joist Bridging

~ Benefit: Prevents floor joists from moving laterally.

D. Double Solid 2" x 10" Perimeter Floor Joists

~ Benefit: Ensures square and rigid construction.

E. Gable End Perpendicular Floor Blocking

~ Benefit: Transmits the load of the foundation throughout the floor system.

F. 3/4" Inter-Locking OSB Floor Decking, Glued and Nailed, Then Sanded

~ Benefit: Provides a stable floor for long-lasting value.

G. 2" x 6" Graded Exterior Wall Studs, 16" On-Center

~ Benefit: Structurally-sound, allows for a well-insulated home for added comfort and efficiency.

H. Galvanized Steel Straps Tie Each Stud to the Floor

~ Benefit: Provide a continuous upload path, keeping walls from pulling away from the floor during transportation and erection, and decreasing drywall defects.

I. R-19 Fiberglass Exterior Wall Insulation (R-27 available)

~ Benefit: Reduces heating and cooling expenses and conserves resources.

J. 7/16" OSB Exterior Wall Sheathing On Exterior Walls AND Marriage Walls.

~ Benefit: On the exterior walls, OSB sheathing provides added security on the marriage walls. OSB sheathing provides crucial shear strength to keep the module straight during transportation and erection.

K. ½" Drywall, Screwed and Glued & Triple-Spackled

~ Benefit: Because modular homes must withstand the rigors of transportation and erection, we apply a first coat of high-strength spackle, sand it, then a second coat of spackle, sand that coat, and then touch up with a third coat of spackle, sanded and painted. This process adds to the strength and lasting quality of the finish and is less likely to suffer nail pops as the home goes through heating and cooling cycles.

L. Full-Height Dormer Sidewall that Rests on the Truss Bottom-Chord

~ Benefit: This exclusive Pleasant Valley structural design allows the gravity load of the dormer, as well as the loads it must support, to rest the strongest component of the truss--the bottom chord--instead of the weakest--the top chord.

M. 2" x 6" Solid Collar Tie at 8'2" Ceiling Height (12/12 Pitch)

~ Benefit: Secures the truss and provides a stronger backer for ceiling drywall and mechanical components.

N. 12" Overhangs on Both Sides of Home and Doghouse Dormers

~ Benefit: Prevents precipitation from running down the exterior walls, thereby lowering the chance for water leaks.

O. R-33 (R-38 through R-57 Available) Cellulose Ceiling Insulation

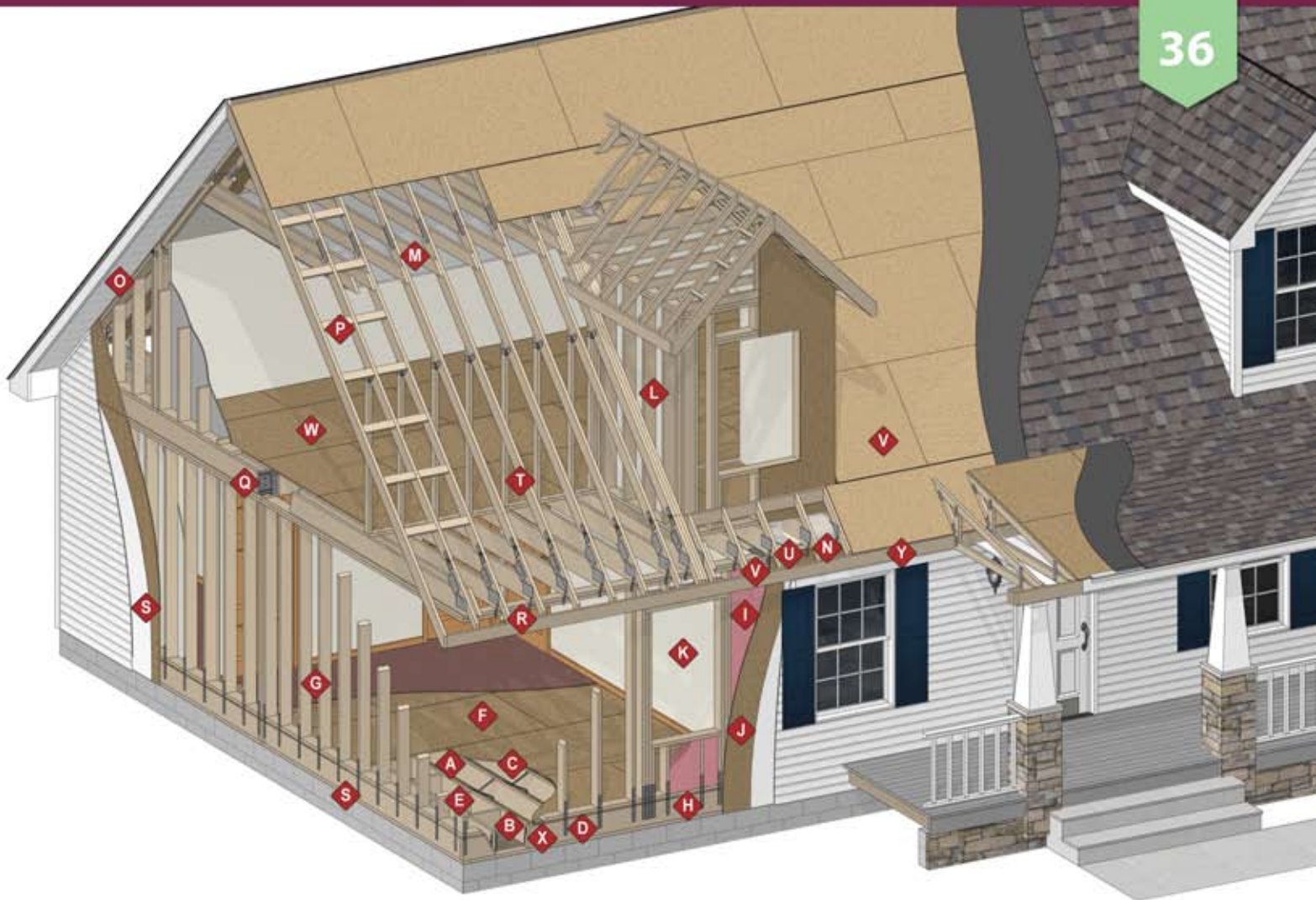
~ Benefit: Compared to fiberglass insulation, cellulose insulation fills all the voids in the cavity resulting in fewer gaps in the insulation; further, cellulose insulation is made from recycled paper products and is environmentally friendly.

P. 12" Gable Overhang Soffit Blocking

~ Benefit: Keeps unsupported gable end overhangs strong and straight.

Q. Integrated Steel C-Channel Ceiling Girder for Open Span

~ Benefit: This Pleasant Valley innovation provides our designers with incredible flexibility because we can design and build open floor plans without the otherwise necessary load-bearing walls.



R. Simpson Hurricane Ties Secure Each Truss to Wall Studs Below

~ Benefit: These hurricane straps secure the roof trusses up to a 120-MPH wind exposure--the strictest requirement in the northeast--so that when the next Gulf Coast hurricane travels inland you don't need to worry.

S. TYVEK House Wrap

~ Benefit: Provides a barrier against wind and water that penetrates the exterior facade for added comfort.

T. Engineered Roof Trusses, 16" On-Center

~ Benefit: Pleasant Valley roof systems are among the strongest roofs in the industry. They are all built to an industry-leading 100-pound ground snow load and fastened to a 120-MPH wind exposure.

U. Urethane Expanding Foam Seal Secures Drywall to Trusses without Fasteners

~ Benefit: The urethane foam seal we use to secure the ceiling drywall to the trusses above the drywall expands as it cures filling in all the voids to create exceptional strength--plus, there are never any ceiling pops because there are no fasteners used.

V. All Wall Top-Plates Inter-Connected with Steel Plates

~ Benefit: Results in stronger, straighter, and more durable interior and exterior walls.

W. Second Floor of All Capes Designed to a 40-Pound Live Load

~ Benefit: Because Pleasant Valley capes feature a 40-pound live floor load on the second floor (as compared to the typical 30-pound load), our homebuyers have complete flexibility for future finishing. Conversely, a second floor built only to a 30-pound load cannot sustain bathrooms and other wet areas.

X. Exterior Wall & Ceiling Anti-Air-Infiltration Weather Stripping

~ Benefit: Provides an air-tight seal between the top of the floor and the bottom of the walls and between the top of the walls and the bottom of the roof trusses

Y. Solid 2" x 6" Fascia Board

~ Benefit: Provides greater strength and stability when fastening gutters, as smaller structural members will crack when nailed into, resulting in gutters that sag over time.

STANDARD SPECIFICATIONS

All Pleasant Valley Homes are designed, engineered and built to provide value, longevity, integrity, and unparalleled livability. Below is a description of the major specifications of all homes. For more information, consult our website at www.pvmhi.com.

Floors

- Framing is 2"x10" spruce/pine/fur #2, 16" on-center
- Perimeter joists are double-2"x10" spruce/pine/fur #2 on all sides
- Individual steel joist hangers installed on marriage lines
- Floor decking is ¾" tongue and groove OSB, nailed and glued
- All floors protected by Kraft paper from wall-to-wall during construction and drywall finishing process

Walls

- Exterior walls are 2"x6" studs, 16" on-center, with a double top-plate and a single bottom plate
- Exterior walls are insulated with R-21 high-density wall insulation
- Most interior partitions are 2"x4" studs, 16" on-center, fastened to the floor and the roof with hardened washer head screws
- The top plates of interior and exterior walls are interconnected with steel plates
- For single story homes, mating walls are double 2"x3" studs, 16" on-center
- For one and a half or two-story homes, mating walls are double 2"x4" studs, 16" on-center
- Mating walls are fully-wrapped with 7/16" OSB sheathing
- All receptacles and switches in exterior walls are foam sealed to prevent air infiltration
- All interior and walls are ½" drywall, screwed and glued, smooth finished and prime painted with a custom, 3-step finish

Roof & Ceilings

- Roof trusses are 16" on-center and rated to a 100 pound ground snow load, toe-nailed to the wall top plate and tied to the wall top plate with hurricane ties
- Standard roof pitch is a true 5/12; cape cod roof pitch is 12/12
- 12" gable end overhangs and 6" front and rear overhangs are factory-installed;
- Fascia boards are 2"x6" or larger
- Ceiling height is 8'0", with 1/2" drywall, smooth finished and prime painted

- Roof is insulated with minimum R-33 cellulose insulation (higher per thermal location and calculations)
- Roof sheathing is 7/16" OSB, topped with #15 felt paper
- Roof shingles are OwensCorning™ 30-year architectural
- Aluminum fascia and drip edge (white), all eaves feature vinyl vented soffits (white)
- 36" Ice and water shield is factory-installed
- Shingle over ridge-vent factory-installed

Exterior

- All exterior walls are sheathed with 7/16" OSB
- Vinyl siding is Dutch Lap 4 installed over Tyvek™ house wrap
- Windows are vinyl, single-hung with interior grilles, low-E glass, tilt-wash, brick mould (white)
- Windows are mullied at all double and triple window locations
- Raised panel shutters are standard on all front elevation windows
- Front door is an insulated six-panel fiberglass embossed colonial door, and the rear door is an insulated fiberglass 2-lite style door. Both doors include solid vinyl jambs and brick mould.
- Sliding patio doors are 6'0" minimum and feature insulated glass and interior grilles

Interior

- Kitchen, dining area and bath(s) feature no-wax vinyl flooring
- 25 oz. FHA approved, stain-resistant, plus carpet is installed throughout the balance of the home over #5.5 Rebond carpet pad
- Closets and pantries are fully trimmed, and feature ventilated wire-style shelving
- Interior doors are 32" (most areas) white painted 6-panel, smooth-finish colonial style with three mortised hinges, lever handles and white colonial trim
- Each home includes an interior lighting package with bedroom lighting and a dining room chandelier
- Door, window and base moldings are full-profile, colonial style, painted white
- Bisque color electrical switches and receptacles
- Each home includes a drapery and mini-blind package

Electrical

- 40/40, 200 amp panel box, copper wiring throughout
- GFI protection is provided in kitchens and baths as required by code
- AC/DC smoke detectors are installed as required by code
- Exterior weatherproof receptacle on GFI circuit on front and rear elevation
- Exterior lights at front and rear doors

Plumbing

- All fresh water supply lines are plumbed with Pex supply lines, stubbed and terminated with national pipe thread fittings
- Drain, waste and vent piping is PVC schedule 40, stubbed
- Factory-installed water shut-offs at all fixtures
- Anti-scald valves on all shower and bathtub mixing valves
- Single-lever Delta™ faucets on all bath fixtures
- Plumb and wire for washer
- Wire and vent for electric dryer

Kitchen

- Blue Mountain Cabinet Works KCMA and ANSI-certified cabinetry
- Raised-panel oak cabinets with ¾" solid oak face frames, square arch doors, natural stain
- Concealed cabinet door hinges with blonde interiors and adjustable shelves and hardwood crown molding
- Pewter color door and drawer pulls
- 25"-deep laminate countertops with square edge and textured ceramic tile backsplash
- Drawer-over-door base cabinets with metal drawer guide system
- Adjustable shelving in base and overhead cabinets
- 33" x 22" x 8" double bowl stainless steel sink
- Single lever Delta™ kitchen faucet with sprayer
- 30" white range hood with light
- 18 cu. ft., white, two-door refrigerator and freezer
- 30" white, free-standing gas range

Baths

- Fixture color is white
- Vitreous china 1.6 gallon water-saver elongated toilets
- 36" high vanity cabinets with generous storage
- China sinks with overflow and pop-up assemblies
- Delta™ single-lever bath faucet
- 21 ¼" deep vanity with laminate countertop with squared edge and textured ceramic tile backsplash
- Medicine cabinet and/or light with mirror
- One-piece white fiberglass tubs/showers (refer to specific plans)
- Lighted exhaust fans

Other Specifications

- One and a half story homes include pine stairs and white railing and the following materials for the second floor:
 - ¾" tongue and groove OSB floor decking (shipped loose)
 - Plumbing risers to the second floor area
 - Electrical conduit from basement area to second floor area
 - Panelized close-off package for on-site installation
 - One (1) call size 3046 window each gable end (2 total)
- Attic storage roofs (7/12 or 8/12) include the following materials:
 - ¾" tongue and groove OSB floor decking (shipped loose)
 - Attic light
 - Insulated attic door and walls create thermal break

All representations and descriptions made herein are believed to be accurate at the time of publication. Due to continual product improvement and changes in design and/or material suppliers, we cannot guarantee exact duplication of every product mentioned herein. Model availability and specifications are subject to change without prior notice. Your Builder or Retailer is an independent business person, not an agent of Pleasant Valley Homes, Inc., and is responsible for your purchase contract and for any and all deletions, additions, alterations, or attachments made to or in your home. Pleasant Valley Homes, Inc. accepts no responsibility or liability, under any circumstances, for any act or omission by the Builder or Retailer or for materials used by the Builder or Retailer.

DORMER GALLERY



4' Doghouse Dormer for an 8/12 Pitch Roof with Pent Roof and 3046 window



5' Doghouse Dormer for a 12/12 Pitch Roof with 2446 Window and Lineals



6' Doghouse Dormer for a 9/12 Pitch Roof with 3046 Window and Lineal



6' Doghouse Dormer for a 12/12 Pitch Roof with 2446 and Shutters



7' Doghouse Dormer for a 9/12 Pitch Roof with a 3046 Window and Shutters



7' Doghouse Dormer for a 12/12 pitch roof with 3040 circle top window



7' Doghouse Dormer for a 12/12 Pitch Roof with a 3046 Window and Shutters



12' Doghouse Dormer for a 12/12 Pitch Roof with (2) 3046 Windows and Shutters



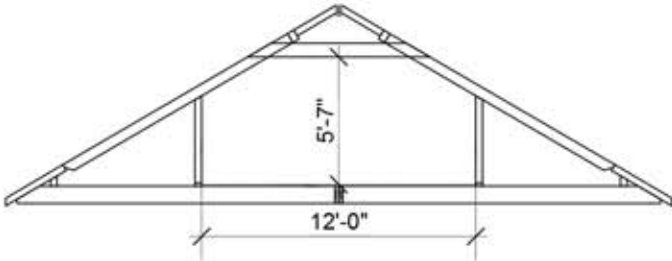
26'6 Reverse Gable Dormer 12/12 Pitch on 12/12 Roof with optional cornice returns and decorative molding



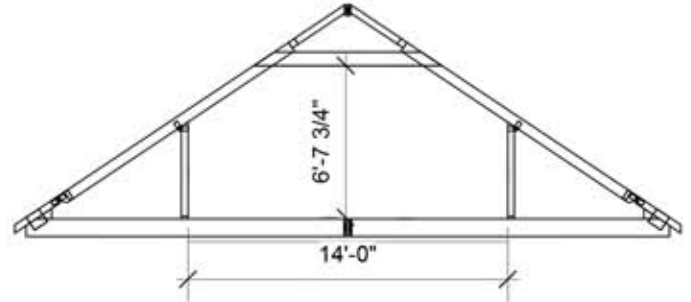
Shed dormer - Variety of lengths and window combinations are available

TRUSS GALLERY

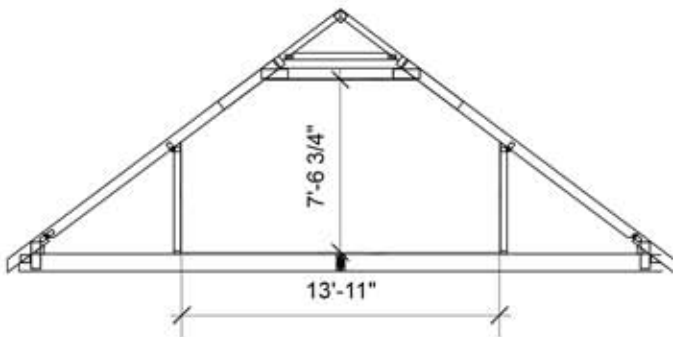
All Pleasant Valley Homes come standard with engineered and tested roof trusses, 16" on-center. Each roof system is built to a 100-pound-ground-snow load and fastened to a 120-mile-per-hour wind exposure rating. All roofs are built with front, rear and gable overhangs attached (not shipped loose). Attic storage areas can be accessed with either pull-down stairs or walk-up stairs. Habitable spaces are accessed by code-compliant stairs.



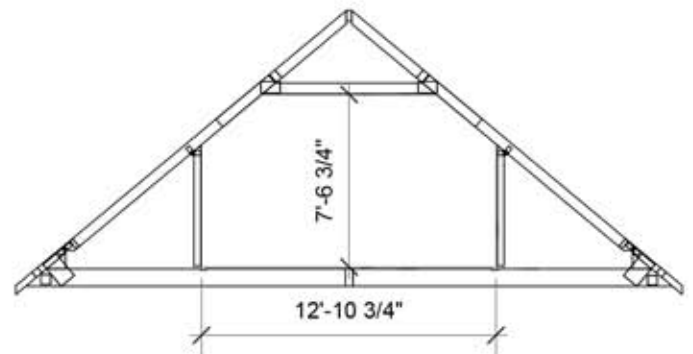
7.0/12 Pitch Truss
Storage Only



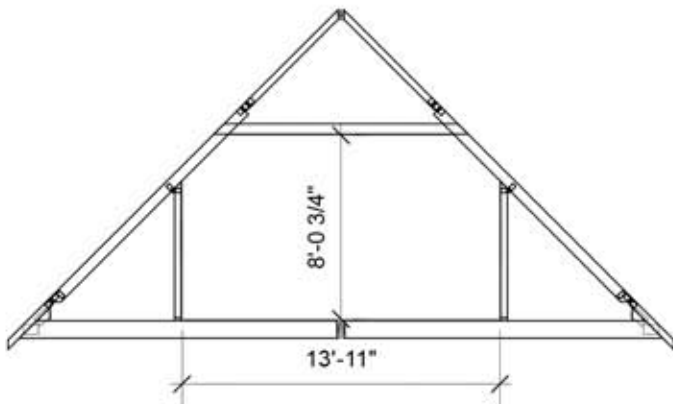
8.0/12 Pitch Truss
Storage Only



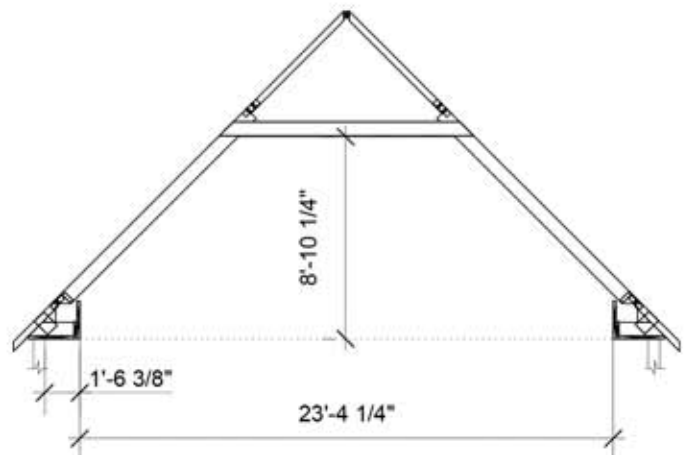
9.0/12 Pitch Truss
Habitable Space



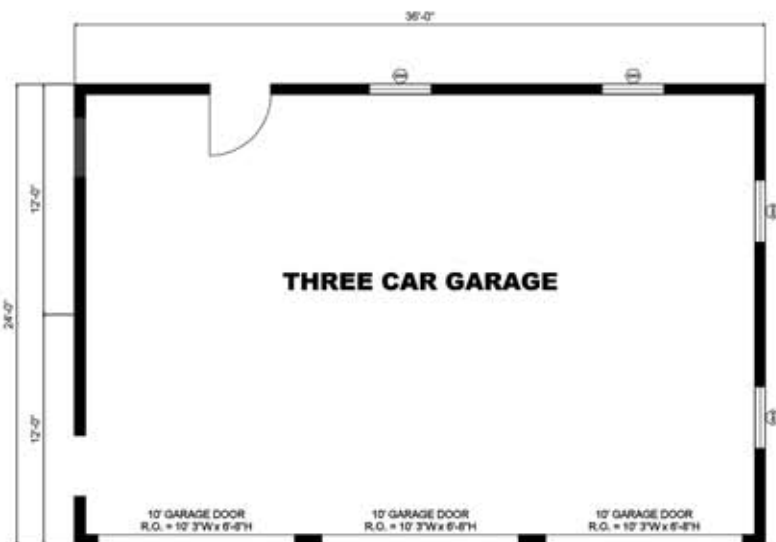
10/12 Pitch Truss
Habitable Space



12/12 Pitch Truss
Habitable Space



12/12 Pitch Vaulted Truss
Vaulted to Above



GARAGES

Starter Garage

(Only available when factory-built as attached modules)

- Double 2x10 Perimeter Joists, 2x6 Exterior Walls, 16" On-Center, 7/16" OSB Sheathing
- 5.0/12 Pitch Roof Trusses with 12" Overhangs, 16" On-Center, Architectural Shingles
- Dutch Lap 4 Vinyl Siding, Vinyl Soffit, Aluminum Fascia and Drip Edge
- 2x8 Temporary, Removable Floor Joists
- 9-Lite Fiberglass Entry Door with Knob; (2) Vinyl Windows
- Rough Open for Overhead Garage Door(s) (Overhead Doors Not Included)
- Electrical Receptacles at Overhead Door(s) and at (1) Specified Location; Conduit for Openers
- No Insulation; No Interior Finish
- Wire/Switch for One Exterior and One Interior Light Fixture

Ultimate Garage Package

Includes the above, plus:

- Tyvek House Wrap
- R-21 Fiberglass Wall Insulation; R-33 or R-38 cellulose ceiling insulation
- Primed, finished ½" drywall throughout with flat ceilings and finished ceiling/wall joints
- White Colonial Trim for Entry Door and Windows
- Ample Electrical Receptacles (Incl. receptacles for overhead doors)
- One Interior and One Exterior Light Fixture
- Garages available in widths of 20', 24' and 26'; and in assorted lengths as requested.



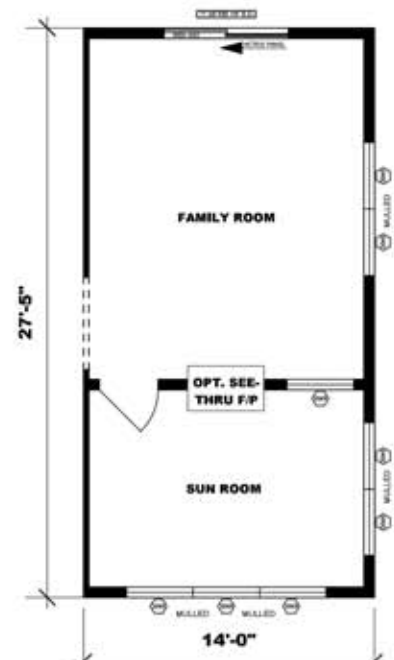
FLEXIBLE SPACES

See a plan that's just about right, but needs that extra living space, or an extra bedroom and bath set just far enough away from the other living areas? With Flexible Spaces, you can design your new home with a multitude of additional spaces, such as an in-law suite or a vaulted family room.

14'0" x 26'0" Great Room – This plan features a wide-open great room, ideal for the rear of a new ranch or two-story home. Add a vaulted ceiling, a fireplace and a flat-screen over the fireplace for that extra-special touch.

14'0" x 26'0" Guest Suite – This plan features a spacious bedroom, complete with over-sized walk-in closet and full bath. Designed to accommodate guests where a main house plan does not allow for a guest room or fourth bedroom, this plan is ideal when attached to the side of a house plan.

14'0" x 27'5" Hideout – This plan is part extra family room, part light-filled sunroom. Maximize the flexibility of this plan by adapting its features to your best use. Replace windows with atrium doors, and add a see-through fireplace for ambiance.



PLEASANT VALLEY MODULAR HOMES INC.



Visit Us

Our Design Center – housed in the production center – and model home village are open to prospective homebuyers Monday – Friday, from 9:00 a.m. – 4:00 p.m. and select Saturdays. Check our website at www.pvmhi.com for more information and directions.

**Pleasant Valley Modular Homes, Inc.
100 Hammersmith Drive
P.O. Box 88
Pine Grove, PA 17963
(570) 345 - 6500
www.pvmhi.com**

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Artist renderings depict homes as they may be built on a typical site. Renderings may include optional and site-installed features. Be sure to thoroughly discuss all aspects of your building project with your Pleasant Valley homebuilder.

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Updated 09/2013