

**AGENDA FOR THE
SPECIAL MEETING OF
DUNSMUIR CITY COUNCIL
August 27th 2020**

REGULAR SESSION: 6:00 pm

Join Zoom Meeting: <https://us02web.zoom.us/j/84424135442>

Or Call: +1 669 900 6833

Enter Meeting ID: 844 2413 5442

As a courtesy, please turn off cell phones and electronic devices while the meeting is in session. Thank you.

- 1. CALL TO ORDER AND FLAG SALUTE**
- 2. ROLL CALL**
- 3. SPECIAL PRESENTATIONS AND ANNOUNCEMENTS**
- 4. PUBLIC COMMENT**

Regular City Council meetings are posted on the City's website to keep City residents informed of City Council actions and deliberations that affect the community. Meetings are scheduled to be televised on the 1st and 3rd Thursday of each month. Meetings that take place on dates other than the 1st and 3rd Thursday will not be televised.

This time is set aside for citizens to address the City Council on matters listed on the Consent Agenda as well as other items **not** included on the Regular Agenda. If your comments concern an item noted on the Regular Agenda, please address the Council when that item is open for public comment. **Each speaker is allocated three (3) minutes to speak. Speakers may not cede their time to another speaker.** Comments should be limited to matters within the jurisdiction of the City. Speaker forms are available from the City Clerk, 5915 Dunsmuir Ave, Dunsmuir, on the City's website, or on the podium. The City Council can only take action on matters that are on the Agenda, but may place matters brought to their attention at this meeting on a future Agenda for consideration. If you have documents to present to members of the City Council, please provide a minimum of seven (7) copies.

- 5. COUNCIL AND STAFF COMMENTS**
- 6. COMMITTEE REPORTS**
- 7. APROVAL OF MINUTES: August 6th, 2020**
- 8. CONSENT AGENDA:**

- a. Check Register: 8/1- 8/21/2020
- b. Allow staff to work with HCD to expand scope of SB2 Planning Grants from limited General Plan Amendments, zoning texts, and environmental documents to complete a more expansive overhaul of the City's Zone Code along with originally proposed General Plan amendments.

- 9. PUBLIC HEARING:**

- a. CDBG-CV Grant (community development block grant – corona virus relief)
- b. Program Income use
- c. 2019/2020 CDBG NOFA (community development block grant notice of funding availability)

Public Hearing Protocol:

- a. Mayor will describe the purpose of the Public Hearing.
- b. City Staff will provide the Staff Report.
- c. City Staff will respond to questions from the City Council.
- d. Mayor will open the Public Hearing.
- e. Citizens wanting to comment will provide the City Clerk with their name and address and provide their comments.
- f. Mayor will close the Public Hearing.

10. OLD BUSINESS

- a.

11. NEW BUSINESS

- a. EDBG program to allow micro-enterprise low/no interest loans and up to \$20k grants for qualifying small businesses.
- b. Resolution regarding applying for CDBG (community development block grant) corona virus relief funds and combining with Program Income
- c. On August 12th the Planning Commission approved vesting for a subdivision map, use permit, historic site evaluation permit for the Traveler’s Hotel project

12. FUTURE AGENDA ITEMS

Future Agenda Items are topics brought to the City Council for review and/or action. All dates refer to first introductions and can be altered due to time and priority levels.

13. ADJOURNMENT

Copies of this agenda were posted at City Hall, Dunsmuir City Library, Dunsmuir Park and Recreation District Office and at the Post Office on or before 5:30 PM August 24th, 2020.

The City of Dunsmuir does not discriminate on the basis of race, color, national origin, religion, age, gender, sexual orientation, disability or any other legally protected classes in employment or provision of services. Persons who need accommodations for a disability at a public meeting may call City Hall at (530) 235-4822 for assistance. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to accommodate participation in the meeting.

CERTIFICATION

This is the official Dunsmuir City Council Agenda, created and posted in accordance with the Dunsmuir City Council Protocols.

Wendy Perkins

8/21/2020

Deputy City Clerk
Wendy Perkins

Date

DUNSMUIR CITY COUNCIL
Minutes
AUGUST 6TH, 2020

1. CALL TO ORDER AND FLAG SALUTE

Meeting was called to order by Mayor Lucchesi at 6:04 pm.

2. ROLL CALL

Councilmembers present: Arth, Bryan, Deutsch, Keisler, Lucchesi

Councilmembers absent: None

Staff present: CM Juhasz, Deputy City Clerk Perkins, FD Michaelson

3. SPECIAL PRESENTATIONS AND ANNOUNCEMENTS

4. PUBLIC COMMENT- Ian Rash discusses PPE, which is available through the COC, masks, hand sanitizer, etc. available for small businesses, can call 946-416-4965

5. COUNCIL AND STAFF COMMENTS

CM Juhasz: City has parks dollars available through Prop 68. We have some projects that could use some attention for City Parks, including doing some ADA work.

Lucchesi- Working on per capita funding for Prop 68, guarantees \$177K for parks projects. The parks district can also get \$177K for the year. Hoping to use some of the \$ for Mossbrae, but not sure we can do it before calendar year. So perhaps better used for Children's Park. We haven't yet applied. For Mossbrae Trail project we're hoping to start building the trail Spring of 2021.

Arth – CRC have partnered with United Way. Will offer 1 hour zoom sessions on emergency preparedness. Call 235-4300 Free masks also available through JEDI

Keisler – We have transients in town, walking into people homes. Be aware. Lock your doors and cars. There has been an uptick in break-ins and car thefts.

Bryan – Be informed about Dunsmuir finances. Council placed tax measure on ballot in November. Law enforcement costs are increasing every year, discuss the measure with friends and neighbors.

6. COMMITTEE REPORTS – Transportation Committee will look at offering free bus passes during Covid. Talks of offer to ride bus for \$1. Wants to try to have one bus that runs up and down the I-5 corridor then transfers to the local City.

7. APPROVAL OF MINUTES: July 30th, 2020

Motion by Keisler 2nd by Bryan

Roll Call Vote: AYES: Arth, Bryan, Deutsch, Keisler, Lucchesi

NOES: None

ABSENT:

ABSTAIN: None 5-0-0-0

8. CONSENT AGENDA:

A. Check Register: 7/25-7/31/2020

Motion to approve by Arth 2nd by Keisler

Roll Call Vote: AYES: Arth, Bryan, Deutsch, Keisler, Lucchesi
NOES: None
ABSENT:
ABSTAIN: None 5-0-0-0

9. PUBLIC HEARING:

Local Hazard Mitigation Plan – CM Juhasz went over the importance of adopting the LHMP into the Safety Element.

Scheben gives thanks to CP Tinsman for drafting it.

Closed @ 6:36 p.m.

Motion by Keisler 2nd by Deutsch

Motion by Keisler to direct staff to forward the LHMP draft Annex and Safety Element Amendment to Cal OES and FEMA for formal review prior to adoption by the City .
2nd by Deutsch.

Roll Call Vote: AYES: Arth, Bryan, Deutsch, Keisler, Lucchesi
NOES: None
ABSENT:
ABSTAIN: None 5-0-0-0

10. OLD BUSINESS – 2nd reading Backflow Prevention Ordinance 569

CM Juhasz - Commercial will have 1st priority. Then residential.

Lucchesi – This is a state mandated ordinance. There may be financial assistance for folks that have hardships. This is to prevent water, not waste water, from backflow into homes and businesses. The survey is required prior to implementation of the device to commercial.

Motion by Keisler to adopt Ord 569 Backflow Prevention Ordinance 2nd by Deutsch

Roll Call Vote: AYES: Arth, Deutsch, Keisler, Lucchesi
NOES:
ABSENT:
ABSTAIN: Bryan 4-0-0-1

11. NEW BUSINESS

A. Resolution 2020-15 encouraging the wearing of face masks indoors

Public Comment: Chris Robideaux. Concerned about mandate making it a fineable offense. It is a merely a recommendation not a law. Cites ADA and the fact that he has a doctor's order that allows him to remain without a mask on.

Devon Warner – Appreciates the legal problems.

Lynda Scheben – Looking at estimates that we can see up to 300K deaths in the US by end of year. No one is going to get fined. Council’s words count to take mask wearing seriously. DPAC and COC wants to encourage folks to use protective masks.

Council Discussion:

Deutsch – Reminder that he’s a retired Naval Commander. He achieved that rank in part because he believes in science. People in rural areas have not found the virus surging however we need to get together to encourage mask wearers to keep the community transmission low.

Further information is needed about legality and enforcement of the resolution. We’d like to get feedback from City Attorney. Item tabled to a future meeting.

Motion to table Resolution 2020-15 by Keisler 2nd by Deutsch to a future meeting.

Roll Call Vote: AYES: Arth, Bryan, Deutsch, Keisler, Lucchesi
NOES: None
ABSENT:
ABSTAIN: 5-0-0-0

B. Resolution 2020-16 outlining loan terms from General Fund to Airport

Public Comment: None

Council discussion: Bryan – FC will receive the annual audit (next year) and we’ll know how much was spent. Happy to see an interest rate, perhaps 2%, but may not match inflation.

Juhasz – Interest rates are low. Keep it low to achieve goal of paying back general fund for the cost of maintaining the airport.

Lucchesi – Proposes a Section 2 be added to Reso : “Status of the loan shall be reviewed at the time of the annual audit at the City Council. City Council may at that time change the loan amount.”

Motion to approve Resolution 2020-16 applying interest rate of 2% to Airport for their loan payment of approx. \$85,000 with the addition of Section 2 by Bryan 2nd by Deutsch

Roll Call Vote: AYES: Arth, Bryan, Deutsch, Keisler, Lucchesi
NOES: None
ABSENT:
ABSTAIN: 5-0-0-0

C. Discussion regarding the 1st draft of a Solid Waste RFP

CJ Juhasz – Upcoming 2025 mandate for food and green waste. 10 years down the road there will be a requirement to account for leftover food at restaurants to be donated to food bank. There will be a 4% franchise fee approx. \$1000 every 6 months.

Deutsch – Wants to see bear proof trash cans

Public Comment: Diana and Steve from Clemens waste removal. The last time we did an extension on the contract it was with the intent that everyone would know where their budgets would be. 2 parties City-Clemens can they discuss before City decides to go out for an RFP.

Juhasz: Negotiation procedures should include going out for Request for Proposals from competing providers. This is standard operating procedure. We owe it to ourselves to get fair offers on the service from other providers. Clemens can respond to the request for proposal.

Keisler – believes Clemens deserves to go into negotiations before the RFP process starts.

Bryan – This will make an open fair playing field to receive offers.

Arth – Likes the franchise fee option. Thinks City Manager is headed in right direction with the RFP process.

Motion to accept 1st draft of RFP by Bryan 2nd by Arth

Motion by Keisler to go with existing contract with Clemens. Motion fails, no 2nd.

Roll Call Vote: AYES: Arth, Deutsch, Bryan, Lucchesi

NOES: Keisler

ABSENT:

ABSTAIN: 5-1-0-0

12. FUTURE AGENDA ITEMS

Wants to explore city staff of the month recognition

13. ADJOURNMENT

Meeting was adjourned at 8:12 p.m. by Consensus.



Wendy Perkins, Deputy City Clerk

Mayor Lucchesi

08/21/2020

Date

Check Register Report

08/01/2020-08/21/2020 AP

Date: 08/21/2020

Time: 11:03 am

Page: 1

City of Dunsmuir

BANK: U.S. BANK

| Check Number | Check Date | Status | Void/Stop Date | Reconcile Date | Vendor Number | Vendor Name | Check Description | Amount |
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| U.S. BANK Checks | | | | | | | | |
| 54114 | 08/07/2020 | Printed | | | 514 | ADVANCED INFOSYSTEMS | Billing/Postage Aug2020 | 383.25 |
| 54115 | 08/07/2020 | Printed | | | 2635 | BASIC LABORATORY, INC. | wastewater biweekly Ind | 339.60 |
| 54116 | 08/07/2020 | Printed | | | 9000 | CABITTO'S SMALL ENGINE REPAIR | stihl carburator/air filter | 118.95 |
| 54117 | 08/07/2020 | Printed | | | 5325 | REBECCA CATLETT | Cleaning July-Aug | 363.00 |
| 54118 | 08/07/2020 | Printed | | | 9820 | CITY OF DUNSMUIR | I-5 lift station | 480.00 |
| 54119 | 08/07/2020 | Printed | | | 9820 | CITY OF DUNSMUIR | Water Dep Return24131 | 180.00 |
| 54120 | 08/07/2020 | Printed | | | 6325 | CLEMENS WASTE REMOVAL | 65gal, 95gal can rent, recycln | 2,080.75 |
| 54121 | 08/07/2020 | Printed | | | 6325 | CLEMENS WASTE REMOVAL | Dump fees | 7,385.27 |
| 54122 | 08/07/2020 | Printed | | | 48731 | DEPARTMENT OF TRANSPORTATION | signals/lightingApril20-June20 | 197.22 |
| 54123 | 08/07/2020 | Printed | | | 9850 | DUNSMUIR TRUE VALUE | July2020 | 325.78 |
| 54124 | 08/07/2020 | Printed | | | 9303 | FASTENAL COMPANY | gloves, water, RTD | 213.73 |
| 54125 | 08/07/2020 | Printed | | | 5219 | FERGUSON ENTERPRISES INC,1423 | rep clmp | 225.27 |
| 54126 | 08/07/2020 | Printed | | | 10657 | GRIMM, GREG | Grade III Operater Service7/20 | 3,268.00 |
| 54127 | 08/07/2020 | Printed | | | 7260 | L.N. CURTIS AND SONS, INC | supply hose 50X100' | 2,099.40 |
| 54128 | 08/07/2020 | Printed | | | 9870 | MT SHASTA AREA NEWSPAPERS | L8754 Pub Hearing Nuisance | 524.38 |
| 54129 | 08/07/2020 | Printed | | | 9870 | MT SHASTA AREA NEWSPAPERS | L8730 Notice code enf | 50.00 |
| 54130 | 08/07/2020 | Printed | | | 9201 | O'REILLY AUTO PARTS | 2905128196,2905130291 | 139.86 |
| 54131 | 08/07/2020 | Printed | | | 39005 | PACE ENGINEERING, INC. | water main replacement0204.63 | 135,613.25 |
| 54132 | 08/07/2020 | Printed | | | 39015 | PACIFIC POWER | June July 2020 | 6,011.53 |
| 54133 | 08/07/2020 | Printed | | | 39853 | PURCHASE POWER | Postage pitney bowes | 500.00 |
| 54134 | 08/07/2020 | Printed | | | 10465 | SISKIYOU CO DEPT OF PUBLIC WRK | Sidewalk Duns Ave6/1/6/4/20 | 2,650.89 |
| 54135 | 08/07/2020 | Printed | | | 10289 | SISKIYOU CO TOURISM IMPROV DIS | 4th Qtr April-June | 10,018.82 |
| 54136 | 08/07/2020 | Printed | | | 47631 | SISKIYOU FIRE EQUIPMENT | Fire extinguisher service | 244.98 |
| 54137 | 08/07/2020 | Printed | | | 47669 | SISKIYOU OPPORTUNITY CENTER | blue bag program July2020 | 566.38 |
| 54138 | 08/07/2020 | Printed | | | 47676 | SMITH BUILDING SERVICES, LLC | Building services/plan check | 1,604.32 |
| 54139 | 08/07/2020 | Printed | | | 53810 | US BANK EQUIPMENT FINANCE | Printers, copiers July2020 | 1,102.35 |
| 54140 | 08/07/2020 | Printed | | | 50850 | VERIZON WIRELESS | Fire dep. Phone/response syst. | 153.49 |
| 54141 | 08/14/2020 | Printed | | | 3572 | ANTHEM BLUE CROSS | Sep. to Oct 2020 | 243.92 |
| 54142 | 08/14/2020 | Printed | | | 1910 | AT&T | wwtp 235 0850 | 42.83 |
| 54143 | 08/14/2020 | Printed | | | 2635 | BASIC LABORATORY, INC. | ww weekly, LND | 549.60 |
| 54144 | 08/14/2020 | Printed | | | 1117 | BLACK BUTTE TRANSFER STATION | 4122 Branstetter Clean up | 153.18 |
| 54145 | 08/14/2020 | Printed | | | 5216 | CCAC | Registration, virtual siminar | 25.00 |
| 54146 | 08/14/2020 | Printed | | | 10001 | CED-REDDING | plug, crimp tool | 183.41 |
| 54147 | 08/14/2020 | Printed | | | 6630 | ANTHONY CONGI | Fire quarterly April-June2020 | 321.50 |
| 54148 | 08/14/2020 | Printed | | | 7899 | JOHN A. DELGADO | Fire quarterly April-June2020 | 87.50 |
| 54149 | 08/14/2020 | Printed | | | 9860 | DUNSMUIR NEWS | 1year subscription | 39.00 |
| 54150 | 08/14/2020 | Printed | | | 9393 | DUNSMUIR RECREATION DISTRICT | July 2020 Maintenance/blue rm | 590.00 |
| 54151 | 08/14/2020 | Printed | | | 9885 | DUNSMUIR TIRE | oil change C-800 | 75.41 |
| 54152 | 08/14/2020 | Printed | | | 9885 | DUNSMUIR TIRE | tire change s-840 | 1,069.27 |
| 54153 | 08/14/2020 | Printed | | | 9830 | DUNSMUIR VOL. FIREMAN'S ASSOC | Fire quarterly April-June2020 | 672.00 |
| 54154 | 08/14/2020 | Printed | | | 9303 | FASTENAL COMPANY | lemon lime RTD | 36.15 |
| 54155 | 08/14/2020 | Printed | | | 5219 | FERGUSON ENTERPRISES INC,1423 | lf 3/4 meter cplgs | 770.21 |
| 54156 | 08/14/2020 | Printed | | | 47610 | FISCHER'S SISKIYOU | hedge creek toilet/ service | 200.71 |
| 54157 | 08/14/2020 | Printed | | | 9273 | RONALD L. GRIFFITH | Fire quarterly April-June2020 | 29.00 |
| 54158 | 08/14/2020 | Printed | | | 18600 | JOSEPH HATTEN | Fire quarterly April-June2020 | 276.00 |
| 54159 | 08/14/2020 | Printed | | | 18610 | A.C. HEILMAN | Fire quarterly April-June2020 | 16.00 |
| 54160 | 08/14/2020 | Printed | | | 10571 | HINES, LINDSEY | Fire quarterly April-June2020 | 16.00 |
| 54161 | 08/14/2020 | Printed | | | 10572 | HINES, THELMA MARIELLA | Fire quarterly April-June2020 | 42.00 |

Check Register Report

08/01/2020-08/21/2020 AP

Date: 08/21/2020

Time: 11:03 am

Page: 2

City of Dunsmuir

BANK: U.S. BANK

| Check Number | Check Date | Status | Void/Stop Date | Reconcile Date | Vendor Number | Vendor Name | Check Description | Amount |
|-------------------------|------------|---------|----------------|----------------|---------------|-------------------------------|--------------------------------|----------|
| U.S. BANK Checks | | | | | | | | |
| 54162 | 08/14/2020 | Printed | | | 19590 | ED HINES | Fire quarterly April-June2020 | 6.50 |
| 54163 | 08/14/2020 | Printed | | | 19592 | MARLENE HINES | Fire quarterly April-June2020 | 14.00 |
| 54164 | 08/14/2020 | Printed | | | 19597 | MARTIN HINES | Fire quarterly April-June2020 | 42.00 |
| 54165 | 08/14/2020 | Printed | | | 19595 | PATRICK J. HINES | Fire quarterly April-June2020 | 42.00 |
| 54166 | 08/14/2020 | Printed | | | 21809 | NICHOLAS B. IMHOFF | Fire quarterly April-June2020 | 178.50 |
| 54167 | 08/14/2020 | Printed | | | 10673 | JACOBS, ISACC | dog vaccination refund | 50.00 |
| 54168 | 08/14/2020 | Printed | | | 7260 | L.N. CURTIS AND SONS, INC | COMPRESSOR SERVICE | 1,318.53 |
| 54169 | 08/14/2020 | Printed | | | 10658 | MCELROY, CONNOR | Fire quarterly April-June2020 | 146.00 |
| 54170 | 08/14/2020 | Printed | | | 31605 | EUGENE MEYER | Fire quarterly April-June2020 | 120.00 |
| 54171 | 08/14/2020 | Printed | | | 31610 | LOU MEYER | Fire quarterly April-June2020 | 74.50 |
| 54172 | 08/14/2020 | Printed | | | 9870 | MT SHASTA AREA NEWSPAPERS | L8767 Public not CDBG | 155.00 |
| 54173 | 08/14/2020 | Printed | | | 9870 | MT SHASTA AREA NEWSPAPERS | ROP finance committee | 70.00 |
| 54174 | 08/14/2020 | Printed | | | 10650 | MT. SHASTA IT SERVICES, INC | It services July2020 | 1,200.00 |
| 54175 | 08/14/2020 | Printed | | | 35505 | NORTHLAND COMMUNICATIONS | 800 s first st. WWTP | 106.09 |
| 54176 | 08/14/2020 | Printed | | | 35505 | NORTHLAND COMMUNICATIONS | city hall July 2020 | 150.09 |
| 54177 | 08/14/2020 | Printed | | | 9274 | WILLIAM R. O'CONNOR | Fire quarterly April-June2020 | 9.50 |
| 54178 | 08/14/2020 | Printed | | | 39015 | PACIFIC POWER | mott airport lights017 1July20 | 17.47 |
| 54179 | 08/14/2020 | Printed | | | 9468 | JOSHUA S. PAULUS | Fire quarterly April-June2020 | 159.00 |
| 54180 | 08/14/2020 | Printed | | | 10633 | ROWLEY, KYLE | Fire quarterly April-June2020 | 29.00 |
| 54181 | 08/14/2020 | Printed | | | 10672 | SHEPARD BROS., INC | alpet E3 Sanitizer | 198.26 |
| 54182 | 08/14/2020 | Printed | | | 9942 | SISKIYOU CO. RECORDER | lien release 6120Duns Ave | 20.00 |
| 54183 | 08/14/2020 | Printed | | | 57228 | SOLANO'S CONTRACTOR | helmet system | 149.43 |
| 54184 | 08/14/2020 | Printed | | | 10286 | JOSH SPURLOCK | Fire quarterly April-June2020 | 217.50 |
| 54185 | 08/14/2020 | Printed | | | 21016 | BRIAN A. TAYLOR . | Fire quarterly April-June2020 | 14.00 |
| 54186 | 08/14/2020 | Printed | | | 5050 | THOMPSON, DAVE | Fire quarterly April-June2020 | 536.00 |
| 54187 | 08/14/2020 | Printed | | | 53800 | UNDERGROUND SERVICE ALERT | membershipcust115117 | 150.00 |
| 54188 | 08/14/2020 | Printed | | | 58075 | BRIAN WITHERELL | Fire quarterly April-June2020 | 6.50 |
| 54189 | 08/21/2020 | Printed | | | 1923 | AXCES INDUSTRIAL SUPPLY INC. | float away degreaser | 2,763.69 |
| 54190 | 08/21/2020 | Printed | | | 2635 | BASIC LABORATORY, INC. | drinking water weekly | 156.60 |
| 54191 | 08/21/2020 | Printed | | | 9437 | BLUE STAR GAS | Fire House annual tank rent | 1.07 |
| 54192 | 08/21/2020 | Printed | | | 9437 | BLUE STAR GAS | Library tank annual rent. | 1.07 |
| 54193 | 08/21/2020 | Printed | | | 5325 | REBECCA CATLETT | cleaning Aug2020 | 297.00 |
| 54194 | 08/21/2020 | Printed | | | 11255 | ELECSYS INTERNATIONAL CORP | July 2020 Hand held meter | 223.50 |
| 54195 | 08/21/2020 | Printed | | | 9303 | FASTENAL COMPANY | Orange RTD | 74.48 |
| 54196 | 08/21/2020 | Printed | | | 5219 | FERGUSON ENTERPRISES INC,1423 | backwater vlv 4" clean ck | 518.91 |
| 54197 | 08/21/2020 | Printed | | | 10674 | GARBERTSON, SHANE | Water return act#20024 | 112.43 |
| 54198 | 08/21/2020 | Printed | | | 25317 | KENNY & NORINE | fiel 6736, legal | 3,575.95 |
| 54199 | 08/21/2020 | Printed | | | 31212 | MANFREDI'S DEPOT | Fire depot gas | 378.19 |
| 54200 | 08/21/2020 | Printed | | | 33120 | MOUNTAIN COUNTIES SUPPLY CO. | July2020 Gas | 1,942.61 |
| 54201 | 08/21/2020 | Printed | | | 39005 | PACE ENGINEERING, INC. | Mossbrae springs imp.0204.66 | 8,287.63 |
| 54202 | 08/21/2020 | Printed | | | 39015 | PACIFIC POWER | willow pump | 9.00 |
| 54203 | 08/21/2020 | Printed | | | 39015 | PACIFIC POWER | street lights 1721-015 5 | 1,399.81 |
| 54204 | 08/21/2020 | Printed | | | 9413 | STATEWIDE TRAFFIC SAFETY | sidewalk painter/safty barrier | 1,391.29 |
| 54205 | 08/21/2020 | Printed | | | 53806 | USA BLUE BOOK, INC | test strips, sulfamic inhibitr | 67.27 |
| 54206 | 08/21/2020 | Printed | | | 53806 | USA BLUE BOOK, INC | culture tubes | 66.85 |

Total Checks: 93

Checks Total (excluding void checks):

208,726.38

Total Payments: 93

Bank Total (excluding void checks):

208,726.38

Total Payments: 93

Grand Total (excluding void checks):

208,726.38



MEMO TO THE CITY OF DUNSMUIR CITY COUNCIL REGARDING A PROPOSED CHANGE TO THE SB 2 PLANNING GRANT PROJECT DESCRIPTION

To: Mayor and City Council Members
From: Richard Tinsman, City Planner
Date: August 27, 2020
Subject: Change to SB 2 Planning Grant Project Description – Zoning Code Update

RECOMMENDATION:

Staff recommends that the City Council authorize and direct staff to work with the California Department of Housing and Community Development (HCD) to amend the City's approved SB 2 Planning Grant project description to allow for the preparation of a comprehensive Zoning Code update that would increase opportunities for residential and mixed-use development in the City's commercial zoning districts, resolve internal inconsistencies, address past procedural errors, make the Zoning Code easier to navigate for the public, decision-makers, and staff, and make it easier for owners of residentially developed commercial properties to obtain conventional financing.

BACKGROUND:

Earlier this year, HCD awarded a SB 2 Planning Grant to the City of Dunsmuir to prepare a limited number of general plan amendments, zoning text amendments, and environmental clearance documents to encourage and facilitate housing production. In addition to the Housing Element Update that will be completed next year, one of the tasks approved for SB 2 grant funding entails the development of objective design review standards for future multifamily housing projects.

While the creation and adoption of objective design review standards would certainly benefit the City as properties are redeveloped with higher density housing in the future, staff is now recommending that the task be removed from the suite of tasks approved for funding under the SB 2 Planning Grant and, with the blessing of HCD, replaced with the preparation of a comprehensive Zoning Code update and a minor general plan amendment in line with the Zoning Code update.

The proposed Zoning Code update would consist of a significant cleanup and update of Dunsmuir Municipal Code Title 17, Zoning, to address numerous inconsistencies and suggested revisions; rectify a misinterpretation of a General Plan Housing Element program that eliminated the City's ability to conditionally permit residential uses in the Central Commercial (C-2) zoning district; incorporate three other SB 2 grant-funded tasks that require zoning text amendments; and most notably, introduce a new Mixed-Use (M-U) zoning district that would encourage redevelopment and make it substantially easier for owners of C-2 zoned properties improved with residential uses to obtain conventional financing.

As part of the proposed Zoning Code update, all properties located outside of the Historic District that are presently zoned C-2 would be rezoned to the new M-U zoning district. The Historic District would continue to be zoned Central Commercial Historic District (C-2-H), however, the Historic District overlay would be dissolved and its protective provisions incorporated directly into the underlying zoning district. All historic preservation provisions would remain intact.

Consistent with development on properties presently zoned C-2 outside of the Historic District, the proposed M-U zoning district would largely be a union of the C-2 and Single-Family Residential (R-1) zoning districts, with modifications made to restore the City's ability to conditionally permit residential uses and to bring the Code into the 21st century. For instance, although the Code currently allows "Living quarters included in any commercial building or use," the concept of "live-work units" would be better defined and development standards incorporated to facilitate their construction in a manner that is compatible with existing and planned development. In addition to addressing residential uses in the M-U zoning district, and the list of permitted commercial land uses would be updated to encourage a variety of contemporary businesses appropriate to the needs of the community and its visitors.

SUGGESTED MOTION:

I move that we authorize and direct staff to work with HCD to amend the SB 2 Planning Grant project description so that the City can prepare a comprehensive Zoning Code update rather than objective design review standards.



| STAFF REPORT | |
|--|--------------------------------|
| RE: Community Development Block Grant – Coronavirus relief grant | MEETING DATE: 8/27/2020 |
| SUBMITTED BY: Blake Michaelsen, Finance Director | |
| PURPOSE OF REPORT: <input type="checkbox"/> Information only <input checked="" type="checkbox"/> Discussion <input checked="" type="checkbox"/> Action Item | |

WHAT IS BEING ASKED OF THE CITY COUNCIL:

Adopt a resolution to apply for CDBG-CV funds which includes additional Program Income funds

BACKGROUND/DISCUSSION:

The California Department of Housing and Community Development (Department) receives funding from the United States Department of Housing and Urban Development (HUD) for the Community Development Block Grant (CDBG) Program and allocates funds to CDBG eligible non-entitlement jurisdictions. Approximately \$18.7 million in new CDBG coronavirus response round 1(CDBG-CV1) federal funds authorized by the Coronavirus Aid, Relief, and Economic Security (CARES) Act, will be allocated to eligible jurisdictions to perform Activities related to COVID-19 response and recovery. The CARES Act provides extra CDBG funds specifically targeted to prevent, prepare for, and respond to coronavirus. The CDBG-CV1 Notice of Funding Availability (NOFA) provides funding ONLY for the following Activities:

- Assistance to businesses and microenterprises impacted by COVID-19 stay-at-home orders and shut-downs
- Public services related to COVID-19 support
- Facility improvements related to COVID-19 healthcare and homeless housing needs
- Acquisition of real property to be used for the treatment or recovery of infectious diseases in response to COVID-19

Per HCD, Dunsmuir could receive \$60,224. It is also the recommendation to include approximately \$65,000 in Program Income dollars. Therefore, approximately \$125,000 would be part of the CDBG-CV program as assistance to business and microenterprises impacted by COVID-19. Additionally, please see the MOU regarding Dunsmuir being the lead applicant for other Siskiyou County jurisdictions.

OPTIONS: Approve or not the attached resolution authorizing the city to apply for CDBG-CV funds

FISCAL IMPACT:

None Yes Budgeted Item? Yes No

Budget Adjustment Needed? Yes No If yes, amount of appropriation increase:

Affected fund(s): General Fund Water OM Fund Sewer OM Fund Other: Fund 82

Comments: SUGGESTED MOTIONS: Motion to approve resolution 2020-17 A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DUNSMUIR APPROVING AND THE EXECUTION OF A MEMORANDUM OF UNDERSTANDING TO ACT AS THE LEAD AGENCY AND DIRECT STAFF TO APPLY FOR THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT CORONAVIRUS RESPONSE ROUND 1 (CDBG-CV1), NOFA DATED JUNE 5, 2020

Attachments: 2020-17 approving an application ...

RESOLUTION NO. 2020-17

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF DUNSMUIR APPROVING AND THE EXECUTION OF A MEMORANDUM OF UNDERSTANDING TO ACT AS THE LEAD AGENCY AND DIRECT STAFF TO APPLY FOR THE 2020 COMMUNITY DEVELOPMENT BLOCK GRANT CORONAVIRUS RESPONSE ROUND 1 (CDBG-CV1), NOFA DATED JUNE 5, 2020

WHEREAS, the California Department of Housing and Community Development Department has announced the availability of \$60,224.00 allocated to the City of Dunsmuir under the Community Development Block Grant – Coronavirus Response 1 (hereinafter, “CDBG-CV1”) Grant for Economic Development, prioritizing the creation and retention of low-moderate income jobs; and

WHEREAS, the City of Dunsmuir has available \$65,000 in Program Income generated from previous Community Development Block Grant activities that must be utilized prior to seeking new grant funds; and

WHEREAS, under the provision of said CDBG-CV1 Grant applications may be submitted by one “lead” eligible entity on behalf of a partnership between eligible entities to create a “pool” of grant funds; and

WHEREAS, participating in said partnership is advantageous in that it allows for a greater benefit to Siskiyou County businesses, reduces administrative costs, and increases the proportion of funding available to beneficiaries; and

WHEREAS, it is the desire of the Dunsmuir City Council (the “City”) to use the allocated CDBG-CV1 funds in addition to its Program Income for an Economic Development Program that would create and retain low-moderate income jobs in partnership with other city and county jurisdictions; and

WHEREAS, a public hearing notice was duly processed in considering authorizing the submittal of this CDBG-CV1 application, and Economic Development activity which meets the federal Citizen Participation requirements; and

WHEREAS, the City of Dunsmuir desires to enter into such a partnership with neighboring jurisdictions and apply on behalf of the Coalition for aggregated Grant funding not to exceed \$700,000 from the Housing and Community Development Department.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Dunsmuir as follows:

SECTION 1:

The City of Dunsmuir agrees to be the lead applicant of the MOU partnership and accepts the roles and responsibilities of administering the grant, to be accountable to the California Department of Housing and Community Development for the proper expenditure of funds, and will be the point of contact for other coalition members.

SECTION 2:

The City has reviewed and hereby approves the submission to the State of California of one or more application(s) not to exceed an aggregated amount of \$600,000, including the City's allocation of \$60,224.00, for CDBG-CV1 activities, pursuant to the June 2020 CDBG-CV1 NOFA:

List activities and amounts

Economic Development not to exceed \$60,224.00 (CV1 Grant)

- Microenterprise Assistance
- Business Assistance

SECTION 3:

The City will commit \$65,000 Program Income (PI) for the CDBG-CV1 activities described in Section 1.

Economic Development not to exceed \$65,000 (Program Income)

- Microenterprise Assistance
- Business Assistance

SECTION 4:

The City acknowledges compliance with all state and federal public participation requirements in the development of its application(s).

SECTION 5:

The City hereby authorizes and directs the City Manager, to execute and deliver all applications and act on the City's behalf in all matters pertaining to all such applications.

SECTION 6:

If an application is approved, the City Manager, is authorized to enter into, execute and deliver the grant agreement (*i.e.*, Standard Agreement) and any and all subsequent amendments thereto with the State of California for the purposes of the grant.

SECTION 7:

The City desires to participate in a partnership application via an MOU as a lead applicant if partner jurisdictions have committed funds under the following conditions:

(1) The selected lead agency, The City of Dunsmuir, will submit the grant on behalf of the partnership and will be the grant recipient responsible to administer the CDBG-CV1 Grant, be accountable to California Department of Housing and Community Development for proper expenditure of the funds, and will be the point of contact for the other partners.

(2) Should the City receive the requested CDBG-CV1 Grant, the City's participation in the grant is contingent on that prior to the expenditure of any funds, a Memorandum of Agreement (MOA) will be submitted to the City Council for review and approval.

(3) The MOA will document the activity delivery process, will identify and establish relationships necessary to achieve the project's goal; and will include a description and role of each partner.

(4) The City's role, in addition to the administrative responsibilities as a lead applicant, will be part of an advisory committee that reviews the goals, determines economic development activities and fund use priorities, and oversees CDBG-CV1 Grant progress.

(5) The City will utilize the Siskiyou County Economic Development Council as a subrecipient to conduct regular administration and management of the CDBG-CV1 Grant.

SECTION 8:

If an application is approved, the City Manager, is authorized to sign and submit Funds Requests and all required reporting forms and other documentation as may be required by the State of California from time to time in connection with the grant.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Dunsmuir held on August 27, 2020 by the following vote:

AYES:
NOES:
ABSENT:
ABSTAIN:

Juliana Lucchesi, Mayor, City of Dunsmuir

STATE OF CALIFORNIA
City of Dunsmuir

I, Deputy City Clerk of the City of Dunsmuir, State of California, hereby certify the above and foregoing to be a full, true and correct copy of a resolution adopted by said City Council of the City of Dunsmuir on this 27th day of August, 2020.

Wendy Perkins, Deputy City Clerk, City of Dunsmuir
State of California



MEMO TO THE CITY OF DUNSMUIR CITY COUNCIL REGARDING AN APPROVED VESTING TENTATIVE SUBDIVISION MAP FOR 5815 DUNSMUIR AVENUE

To: Mayor and City Council Members
From: Richard Tinsman, City Planner
Date: August 27, 2020
Subject: Approved Vesting Tentative Subdivision Map – Travelers Hotel

BACKGROUND:

Dunsmuir Municipal Code Section 16.08.070(D) requires that following Planning Commission action on a tentative subdivision map, a copy of the map, together with a copy of the Planning Commission's action on said map, be transmitted to the City Council. Accordingly, the purpose of this memo is to inform the City Council that on August 12, 2020, the Planning Commission conditionally approved a vesting tentative subdivision map, use permit, and historic site alteration permit/sign permit for 5815 Dunsmuir Avenue (i.e., the former Travelers Hotel).

This approval allows the existing three-story structure to be renovated, subdivided, and converted into condominiums, with 28 residential units located on the second and third floors, one mixed-use commercial unit and two adaptable residential units on the ground floor, and common elements throughout.

A copy of Planning Commission Resolution PC-2020-14 approving the project is attached (**Exhibit A**) along with a copy of the Planning Commission staff report that includes the map as an attachment (**Exhibit B**).

SUGGESTED MOTION:

This item is informational only. No Council action is required.

EXHIBIT A TO 8.27.20 CITY COUNCIL MEMO

**RESOLUTION PC-2020-14
A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF DUNSMUIR CONDITIONALLY APPROVING THE WESTERN STATES
REAL ESTATE VESTING TENTATIVE SUBDIVISION MAP, USE PERMIT,
AND HISTORIC SITE ALTERATION PERMIT FOR
5815 DUNSMUIR AVENUE (APN 058-112-010)**

WHEREAS, Gregory Mengis, DBA: Western States Real Estate LLC, has applied for a vesting tentative subdivision map, use permit, and historic site alteration permit to allow for renovation and reutilization of the Travelers Hotel located 5815 Dunsmuir Avenue; and

WHEREAS, 5815 Dunsmuir Avenue is zoned Central Commercial Historic District (C-2-H); and

WHEREAS, the existing three-story structure would be subdivided and converted into condominiums, with 28 residential units located on the second and third floors, one mixed-use commercial unit and two adaptable residential units on the ground floor, and common elements throughout; and

WHEREAS, the commercial uses being contemplated by the developer are permitted by-right in the C-2-H zoning district and the residential uses are permitted by-right on the second and third floors; and

WHEREAS, the use permit was requested to allow the two adaptable residential units on the ground floor; and

WHEREAS, with the exception of the two adaptable units on the ground floor, the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit project is consistent with zoning designations and the applicable policies of the City of Dunsmuir General Plan; and

WHEREAS, the Vesting Tentative Subdivision Map is in substantial conformity with the General Plan, with proper standards for lot and street design, with engineering, health department and other standards of the city, with all provisions of law and the City's subdivision ordinance

WHEREAS, the establishment, maintenance and operation of the proposed use will not, under the circumstances of the particular case, be materially detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be materially detrimental to property or improvements in the neighborhood or to the general welfare of the city; and

WHEREAS, a minor general plan update and zoning text amendment are in process to allow the two adaptable residential units on the ground floor with a use permit consistent with past City practices; and

WHEREAS, the Planning Commission determined that the proposed changes to the building's façade would be consistent with the purpose of the Historic Preservation chapter of the Dunsmuir Municipal Code, as reflected in Section 17.28.010, and would not be detrimental to a structure or feature of significant aesthetic, cultural, architectural or engineering interest or value of a historic nature; and

WHEREAS, proposed signs and sign templates are consistent with Dunsmuir Municipal Code Section 17.28.140; and

WHEREAS, a Notice of Public Hearing was published in the Dunsmuir News on July 29, 2020; and

WHEREAS, public hearing notices were posted, advertised, and mailed pursuant to Sec. 17.24.060(B) of the Dunsmuir Municipal Code and California Government Code Sec. 65090 et seq.; and

WHEREAS, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301, 15332, and 15061(b)(3) of the CEQA Guidelines because the project entails use of an existing private facility, consists of infill development, and because CEQA only applies to projects that have the potential for causing a significant effect on the environment; and

WHEREAS, staff presented oral and written staff reports on the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit at a regular meeting of the Planning Commission on August 12, 2020; and

WHEREAS, staff recommended that the Planning Commission approve the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit subject to the findings and conditions of approval included in the staff report dated August 12, 2020, and incorporated herein; and

WHEREAS, on August 12, 2020, the City of Dunsmuir Planning Commission considered staff's recommendation along with any public testimony received, following which the Planning Commission discussed the project prior to reaching its decision.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission adopts the recommended findings set forth in the written staff report dated August 12, 2020, and incorporated herein above; and

BE IT FURTHER RESOLVED that the Planning Commission, based on the evidence in the record, including the findings set forth in the written staff report dated August 12, 2020, and incorporated herein above, approves the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit subject to the conditions of approval included in Exhibit A to this resolution.

IT IS HEREBY CERTIFIED that the foregoing Resolution PC-2020-14 was duly adopted on a motion by Commissioner Harley and seconded by Commissioner Powers at a regular meeting of the City of Dunsmuir Planning Commission held on the 12th day of August 2020, by the following vote:

AYES: Harley, Kay, Bailey, Powers, Warner

NOES: None

ABSENT: Spurlock, Skalko

ABSTAIN: None

5-0-2-0

CITY OF DUNSMUIR PLANNING COMMISSION



Craig Kay, Co- Chair

WITNESS, my hand and seal this 12th day of August 2020



Wendy Perkins, Deputy City Clerk

WESTERN STATES REAL ESTATE VESTING TENTATIVE SUBDIVISION MAP, USE PERMIT, AND HISTORIC SITE ALTERATION PERMIT - CONDITIONS OF APPROVAL

1. The project shall be developed as described in the application and supporting information approved by the Planning Commission on August 12, 2020. Changes to the vesting tentative subdivision map, architectural drawings, and/or façade improvements shall be referred to city staff for a determination of whether further Planning Commission review and approval is required.
2. Prior to recordation of the final map(s), the map(s) shall be submitted to the City Engineer for review and approval.
3. No use permit shall be issued for residences on the ground floor until permitted by Dunsmuir Municipal Code.
4. Prior to offering interests in the subdivision to the public, a condominium plan shall be recorded with the Siskiyou County Recorder's office.
5. Prior to offering interests in the subdivision to the public, developer(s) shall form an association responsible for the ongoing maintenance and management of the property.
6. Prior to occupancy of any unit(s), copies of the recorded condominium plan and/or final map(s) shall be provided to the City of Dunsmuir, Dunsmuir-Castella Fire Department, and Siskiyou County Sheriff's Office.
7. No change shall be made in the use or occupancy of the building unless such building is made to comply with the requirements of the most current adopted California Building Code.
8. No portion of the building shall be used or occupied, regardless of occupancy classification, until a certificate of occupancy or equivalent authorization has been issued by the Building Official.
9. Prior to occupancy of any unit(s), the developer shall provide a Class 1 (hose station) standpipe system within the protected stairwell or other approved location to the satisfaction of the Fire Chief.
10. Signs shown in the application approved on August 12, 2020, shall be permitted subject to execution as shown in the application and plans submitted. The final text for the "typical business signs" shall be reviewed and approved by city staff. If there are changes to any sign other than to its copy, the Planning Commission shall review the sign(s) as required by Dunsmuir Municipal Code Chapter 17.28.
11. Signs must be professionally executed and must stay in compliance with Dunsmuir Municipal Code Section 17.28, Historic Preservation.
12. The applicant, shall defend, indemnify and hold harmless the City, its agents, officers, employees, and consultants from any claim, action, or proceeding (collectively, "Action") against the City, its agents, officers, employees, or consultants to attack, set aside, void, or annul the approvals, or any part thereof, or any decision, determination, or Action, made or taken approving, supplementing, or sustaining, the project or any part thereof, or any related approvals or project conditions imposed by the City or any of its agencies, departments, commissions, agents, officers employees, or consultants, concerning the project, or to impose personal liability against such agents, officers, employees, or consultants resulting from their non-negligent involvement in the project, which action is brought within the time period provided by law, including any claim for private attorney general fees claimed by or awarded to any party from the City.



**CITY OF DUNSMUIR
STAFF REPORT TO PLANNING COMMISSION**

August 12, 2020

**WESTERN STATES REAL ESTATE TENTATIVE SUBDIVISION MAP, USE PERMIT, AND
HISTORIC SITE ALTERATION PERMIT**

- APPLICANT:** Gregory Mengis
5068 Lawler Ave.
Freemont, CA 94536
- PROPERTY OWNER:** Western States Real Estate LLC
P.O. Box 524
Freemont, CA 94537
- PROJECT SUMMARY:** The project is a proposed vesting tentative subdivision map, use permit, and historic site alteration permit to allow for renovation and reutilization of the Travelers Hotel. As proposed, the existing three-story structure would be subdivided and converted into condominiums, with 28 residential units located on the second and third floors, one mixed-use commercial unit and two adaptable residential units on the ground floor, and common elements throughout. In addition, several improvements to the façade are proposed.
- PROJECT LOCATION:** The project site is located at 5815 Dunsmuir Avenue (APN 058-112-010).
- GENERAL PLAN:** General Commercial (GC)
- ZONING:** Central Commercial Historic District (C-2-H)
- EXISTING USE:** Vacant Building
- ENVIRONMENTAL** The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301, 15332, and 15061(b)(3) of the CEQA Guidelines.
- RECOMMENDATION:** Approval with Conditions
- ATTACHMENTS:**
- A. Draft Resolution PC-2020-14, A Resolution of the Planning Commission of the City of Dunsmuir Conditionally Approving the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit for 5815 Dunsmuir Avenue (APN 058-112-010)
 - B. Applicant's Statement of Intent
 - C. Vesting Tentative Subdivision Map
 - D. Architectural Drawings
 - E. Historic District Design Review Packet
 - F. Historic Reference Documents

PROJECT OVERVIEW

The City has received an application from Gregory Mengis, DBA: Western States Real Estate LLC, for a vesting tentative subdivision map, use permit, and historic site alteration permit to allow for renovation and mixed-use reutilization of the historic Hutaff Building, or Travelers Hotel, located at 5815 Dunsmuir Avenue.

In the applicant's words, the "project consists of a mixed use condominium conversion and building renovation for the existing three story Hutaff Building/Travelers Hotel Building in Downtown Dunsmuir. The existing concrete & unreinforced masonry building was constructed between 1917 & 1924. This proposed project will create 30 residential condominium units totaling approximately 30,000 gross square feet in size on the second and third floors. Two adaptable residential units approximately 1,820 gross square feet in size (for ADA compliance) and 1 mixed use commercial unit up to 10,450 gross square feet in size are proposed on the ground floor with other associated common elements throughout the building such as the covered entry, building lobby, utility rooms, stairwells and corridors. Proposed commercial uses considered in the design include restaurant, cafe, retail, business and professional, to be determined at a later date. All proposed uses are consistent with the existing zoning district, with the exception of the two ground floor residential units. The proposed project is further detailed on the attached Applicant's Statement of Intent, Vesting Tentative Subdivision Map and Architectural Drawings which depict the existing building layout, proposed unit configurations, architectural details and site plan, as required."

(Please note: the unit count for the third and fourth floors was subsequently reduced to 28 units.)

Applicant's Statement of Intent

The Applicant's Statement of Intent includes a detailed narrative of proposed renovations and improvements to the building's exterior and surrounding property. Please refer to **Attachment B**.

Tentative Subdivision Map & Architectural Drawings

As noted above, the three-story approximately 45,000-square-foot building would be subdivided into 30 residential units, one large mixed-use commercial ground floor unit, and common areas throughout the property. The tentative subdivision map is included as **Attachment C**. While the map may not include the level of detail one might expect for a proposed residential and mixed-use commercial subdivision, this is because the Subdivision Map Act does not require that a map of a condominium project "show the buildings or the manner in which the buildings or the airspace above the property shown on the map are to be divided." Therefore, to provide the level of property detail required by buyers, lenders, insurers, and others, a condominium plan is recorded prior to the developer offering interests in the subdivision to the public. However, because the condominium plan includes measurements taken once improvements are complete, it is not available at this time. While the condominium plan is developed later, the layout would be consistent with the floor plans shown in sheets A2.1, A2.2 and A2.3 included in **Attachment D**. Also provided in **Attachment D** are existing floor plans, proposed building elevations, and a site plan.

Use Permit

The project includes a proposed use permit to allow for the creation of two ADA-accessible dwelling units on the ground floor with a combined square footage of approximately 1,820 square feet. This would be equivalent to approximately 12 percent of the ground floor area.

Historic Site Alteration Permit & Sign Permit

The project includes a number of updates to the structure's façade, including removal of the five exterior fire escapes, which no longer meet fire safety standards; a slightly different color arrangement than is presently on the building; creation of a utility alcove along Pine Street protected with an ornamental steel fence and gate; replacement of the wood gable canopy over the entry with a steel-framed marquee similar to original styling; replacement of the arched storefront windows with rectangular windows similar to the original styling; new transom windows similar in size to original styling; doors recessed into new alcoves for egress and accessibility compliance; new sconces at the main entry; and signs and sign templates. These proposed modifications, signs, and sign templates are shown in the attached Architectural Drawings (**Attachment D**) and the Historic District Design Review Packet (**Attachment E**). The applicant has also submitted documents that describe the history of the property, including its purchase in 1924 from Frank and Anne Talmadge for a \$10 gold coin. These documents are included as **Attachment F**.

Though the Planning Commission must consider all of the proposed exterior modifications in determining whether to approve the Historic Site Alteration Permit, the Code does not provide a context with which to assess the changes other than to require that the Planning Commission be able to make the following finding:

1. The action proposed is consistent with the purposes of this chapter as reflected in Section 17.28.010; and
2. The action proposed will not be detrimental to a structure or feature of significant aesthetic, cultural architectural or engineering interest or value of a historic nature; or
3. The applicant has demonstrated that the action proposed is necessary to correct an unsafe or dangerous condition on the property; or
4. The applicant has demonstrated that denial of the application will result immediate or substantial hardship pursuant to Section 17.20.020(B).

With regard to determining whether the project is consistent with DMC Section 17.28.010, this section states:

It is found that the protection, enhancement, perpetual care and use of structures, districts and neighborhoods of historic, architectural and engineering significance, located within the city, are of cultural and aesthetic and economic benefit to the community. It is further found that the economic, cultural and aesthetic standing of this city will be enhanced by respecting the heritage of the city. The purpose of this chapter is to:

- A. Designate, preserve, protect, enhance and perpetuate those historic structures, districts, and neighborhoods which contribute to the cultural and aesthetic benefit of Dunsmuir;
- B. Foster civic pride in the beauty and accomplishments of the past;
- C. Stabilize and improve the economic value of certain historic structures, districts and neighborhoods;
- D. Protect and enhance the city's cultural and aesthetic heritage and vitality;
- E. Promote and encourage continued private ownership and utilization of such buildings and other structures now so owned and used, to the extent that the objectives listed above can be attained under such policy;

- F. Assure that every owner of an historical structure has the responsibility to assure the perpetual use/occupancy of historical structures within the Dunsmuir historical district;
- G. Establish minimum standards for assurance of care for all aspects of structures and landmarks within the Dunsmuir historical district or of historical significance, as determined by this chapter.

Staff has incorporated recommended findings into the draft resolution prepared for the Commission's consideration indicating that the project would be consistent with the purpose of the Historic Preservation chapter and that the project not be detrimental to a structure or feature of significant aesthetic, cultural architectural or engineering interest or value of a historic nature. This finding can be supplemented or replaced as the Commission desires.

In addition, to approve the sign permit, proposed signs must satisfy specific size and other requirements established by City Code. Details of the proposed signs are shown on pages 3, 8, and 9 of **Attachment E**.

With regard to the permitted square footage of signs in the Historic District, Section 17.28.140(l) of the Municipal Code states:

“The maximum area for advertising signs for any permitted use within the Dunsmuir Historic Commercial District shall be one square foot per each lineal foot of frontage facing a street for perpendicular projecting signs and three square feet per each lineal foot of frontage facing a street for flush-mounted signs. The combining of front footage and side footage shall not be allowed for sizing of signs on one facade. Signs projecting perpendicular to a street may not project greater than thirty-six (36) inches from the point of attachment. The combination of signs may not exceed three square feet per each lineal foot of building frontage.”

According to the information submitted by the applicant, the five wooden flush-mounted “typical business signs” shown in **Attachment E** would have a combined area of approximately 180 square feet and the two flush-mounted “Travelers Lodge” signs (one decal and one painted on building) would have a combined area of approximately 31 square feet, for a total of 211 square feet of proposed flush-mounted signs. In addition, the two-sided wooden hanging sign proposed under main entry marquee would have an area of approximately six square feet. With a little over 100 feet of frontage of Dunsmuir Avenue and 150 feet of frontage on Pine Street, the project would be permitted to have 300 square feet of signage on Dunsmuir Avenue alone and will have no trouble complying with the size limitations established by Section 17.28.140(l). Further, the signs appear to be professionally designed and appropriate for the building and district.

Please note, the project initially included a proposed transformer upgrade that would require a large transformer to be located on the Pine Street median. However, subsequent to development and submittal of the application package, it was determined that the transformer would also serve the previously approved Dunsmuir Organic Gardens project on Pine Street. It was also determined that Pacific Power & Light (PP&L) could install the transformer within the City's median without City approval, but that PP&L wished to coordinate with the City on its placement to minimize impacts to the public space. As part of the coordination process, Planning Commission Historic District Delegate Ann Powers met with planning staff to review the proposed transformer location and to develop a recommendation relative to its placement. That recommendation was presented to and agreed upon by PP&L, which resulted in the transformer location being moved further west toward Shasta Avenue. Therefore, because the transformer upgrade is needed for both projects and does not require discretionary approval, it is no longer being considered as part of the project. Still, for the reasons noted above, the transformer location is shown on the Site Plan in **Attachment D** and its visual impact on the Pine Street median, prior to being “relocated” further west, is depicted in **Attachment E**.

GENERAL PLAN AND ZONING CONSISTENCY

General Plan

The Land Use Element of the City of Dunsmuir General Plan designates the project site General Commercial and the Historic Preservation Element identifies it as being within the Dunsmuir Historic Commercial District. The following policies and implementation measures contained in the General Plan Land Use Element and Historic Preservation Element were determined applicable to the proposed project:

Policy LU-4.1: The City shall ensure that approval of all proposed land uses consider and support compatibility with existing uses.

Implementation Measure LU-4.1.3: Upon review of discretionary permits by the City, conditions shall be added to the project approval, when warranted, to support neighborhood land use compatibility.

Implementation Measure HP-1.1.1: The City will continue to enforce the general provisions of Municipal Code Chapter 17.28, Historic Preservation.

According to the General Plan, the General Commercial (GC) land use designation “allows for a wide range of commercial, office, retail, service and entertainment uses primarily within the downtown area where off-street parking is limited.” Although the Land Use Element does not expressly describe residential and mixed-use development as “typical uses” within the GC land use designation, nor does it establish a maximum density of residential development (i.e., persons per acre) within the GC land use designation, the Land Use Element describes residential use of the subject property and others in the Historic District, as follows:

Commercial Land Use: Currently the City has two primary commercial areas; 1) the downtown and related historic district, and 2) the north Dunsmuir Avenue area. The downtown area along Dunsmuir Avenue contains a variety of retail, personal service, food service and office uses. The downtown is representative of a main street business community of the early to mid-1900’s. At one time it accommodated all of the business needs of the community and the traveling public. Now many of the buildings are vacant at ground floor level and a few apartments exist on the second floor. *With use of the old hotel and other three-story and larger buildings for residential use, the area has accommodated a significant residential population.*

(2006 General Plan Land Use Element, pg. 11, emphasis added)

While the Land Use Element may be lacking in residential development standards for the General Commercial land use designation, the following residential development standards are provided for on page B-29 of the 2014 Housing Element:

Residential Development Standards in the Commercial Zones

The Neighborhood Commercial (C-1) zone and the Central Commercial (C-2) permit residential development by right (i.e., no discretionary approval is required) consistent with the R-4 district. Depending upon the type of residential use being proposed in the C-2 district (e.g., single-family, duplexes, apartments), the applicable development standards are those of the corresponding residential district (i.e., R-1, R-2, R-3 or R-4).

Moreover, Table B-42 on page B-30 of the Housing Element, specifies that multifamily dwellings are permitted by-right within the C-2 zoning district, It also notes, however, that they are limited to the second floor and above in the Historic Commercial District.

Table B-42 is excerpted below.

**Table B-42
Residential Uses Permitted by Zoning⁽¹⁾**

| Residential Uses | R-1 | R-2 | R-3 | R-4 | C-1 | C-2⁽³⁾ |
|--|------------|------------|------------|------------|------------|--------------------------|
| Single-Family Dwellings ⁽²⁾ | P | P | P | P | P | P |
| Second Units | P | P | P | P | P | P |
| Duplexes | E | P | P | P | P | P |
| Triplexes | E | E | P | P | P | P |
| Multi-family Dwellings | E | E | P | P | P | P |
| Mobile Home Parks | E | E | E | C | C | E |
| Group Care Home - Small | P | P | P | P | P | P |
| Group Care Home - Large | C | C | C | C | C | E |
| Single Room Occupancy Units ⁽⁵⁾ | E | E | C | C | C | C |
| Supportive Housing | P | P | P | P | P | P |
| Transitional Housing | P | P | P | P | P | P |
| Emergency Shelters | E | E | E | E | E | P |
| Employee Housing - Small ⁽⁵⁾ | P | P | P | P | P | P |
| Employee Housing – Large ⁽⁶⁾ | E | E | E | E | E | E |

Source: City of Dunsmuir Zoning Ordinance

Notes: P = Permitted C = Requires a conditional use permit E = Excluded

(1) This table is provided for informational purposes only and is subject to change.

(2) Includes manufactured homes.

(3) Residential uses only on second floor and above in downtown area as defined by Zoning Ordinance Section 17.28.140 B, "Dunsmuir "historic commercial district".

(4) Group care homes – Small = six or fewer residents. Group care Home – Large = more than six residents.

(5) Employee Housing – Small = six or fewer persons.

(6) There are no agricultural zoning districts in the City

Therefore, aside from the two ADA-accessible residential units that are proposed on the first floor, the project is consistent with the General Plan.

Zoning

As noted above, the project site is zoned Central Commercial Historic District (C-2-H). Pursuant to Dunsmuir Municipal Code Section 17.12.070, the commercial uses being contemplated for the first floor (i.e., restaurants, retail, and offices), are allowed as principally permitted uses in the C-2 zoning district as are the residential units proposed on the second and third floors.

With adoption of Ordinance 557 on February 2, 2017, the City eliminated off-street parking requirements for uses established in existing buildings within the Historic Commercial District. As such, no off-street parking is required of the project.

At present, the Dunsmuir Municipal Code does not allow residential uses on the first floor in the C-2-H zoning district with a use permit as it did prior to adoption of Ordinance 557. This poses a constraint to the development of the project’s proposed ADA-accessible ground floor units and is inconsistent with past City practices. To address this, the City has applied for and received an SB 2 Planning Grant from the California Department of Housing and Community Development to amend the General Plan and

Dunsmuir Municipal Code and restore the ability of the City to conditionally approve residential uses on the ground floor.

As a bit of background, the 2009 Housing Element included Program HE.1.1.6, which called for a zoning text amendment to allow residential uses by-right on the second floor and above in the C-2-H zoning district. This was done to encourage and facilitate housing production in the downtown area due to the lack of developable land elsewhere in the City. However, the program called for limiting residential uses by-right to the second floor and above so that the integrity of the commercial district would be maintained. At the time, the City allowed residential uses in the C-2 zoning district with a use permit. The intent of Program HE.1.1.6 was to continue to allow residential uses on the ground floor with a use permit to, however, in implementing the program with adoption of Ordinance No. 546 in May 2015, the City inadvertently removed its ability to conditionally permit residential uses on the ground floor in the C-2 zoning district. Unfortunately, the situation was further complicated when the City updated its Housing Element in 2014 and the restriction on residential uses on the ground floor was noted in Table B-42. The City subsequently revisited residential uses in the C-2-H zoning and attempted to address the problem with adoption of Ordinance No. 555 in July 2016; however, due to procedural errors associated with adoption of the “ordinance,” those regulations have not gone into effect.

As indicated above, the City is presently working on a General Plan amendment and zoning text amendment to allow for residential uses on the ground floor of the C-2-H zoning district with a use permit. While the ground floor residential units cannot be permitted until this has been resolved, the project would be fully consistent with the General Plan and Zoning once amended as discussed. To address, this a condition of approval has been included that restricts the developer’s ability to establish the ground floor residential units until such time as City Code permits residential units on the first floor with a use permit.

TENTATIVE SUBDIVISION MAP FINDINGS

Pursuant to Dunsmuir Municipal Code Section 16.08.070(C), “The planning commission shall determine whether the tentative map is in conformity with the master plan, with proper standards for lot and street design, with engineering, health department and other standards of the city, with all provisions of law and of this title, and upon such findings shall approve, conditionally approve or disapprove the same.”

Planning staff has reviewed the application materials, which included circulating the project to Public Works, Water and Wastewater, Fire Department, City Engineer, and the Sheriff’s Office for review and comment. As discussed herein, it is the opinion of staff that the vesting tentative subdivision map is in conformity with the General Plan, with proper standards for lot and street design, with engineering, health department and other standards of the city, with all provisions of law and the City’s subdivision ordinance. If the Planning Commission concurs, a finding to this effect has been incorporated into the draft resolution prepared for the project.

USE PERMIT FINDINGS

In order for the Planning Commission to approve the conditional use permit and allow for two ground floor residential units, the Planning Commission must first make certain findings. Dunsmuir Municipal Code Section 17.20.050(A) details both the required findings and the provision for placing conditions on projects to ensure projects are not to the detriment of the City, as follows:

In order to grant any use permit the findings of the planning commission shall be that the establishment, maintenance or operation of the use or building applied for will not, under the circumstances of the particular case, be materially detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be materially detrimental to property or improvements in the neighborhood or to the general welfare of the city. The planning commission may designate such conditions in connection with the

use permit as it deems necessary to secure the purpose of this title, and may require that such conditions will be complied with by the applicant.

In the opinion of staff, because the property has a long history of residential use, and because the intent of the City has been to allow for residential uses and mixed-use development in the C-2-H zoning district, approval of the project, as conditioned, would be compatible with adjacent uses and would not have an adverse impact on the community, nor would it be materially detrimental to the health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood, or be materially detrimental to property or improvements in the neighborhood or the general welfare of the City.

If the Planning Commission concurs, it would need to make the required finding prior to project approval. As such, a finding to this effect has been incorporated into the draft resolution prepared for the project. However, should concerns be raised at the public hearing that would suggest the finding cannot be made, the Planning Commission may place additional conditions on the use permit to mitigate community concerns. Conversely, if the Planning Commission does not feel that the concerns can be adequately addressed through conditions of approval, the Commission can deny the request for a use permit.

ENVIRONMENTAL RECOMMENDATION

Staff recommends that the project is categorically exempt from environmental review under Sections 15301, Existing Facilities, and 15332, In-Fill Development, of the California Environmental Quality Act (CEQA) Guidelines. In addition, staff recommends that the project is exempt from environmental review pursuant to Section 15061(b)(3) of the CEQA Guidelines under the “common sense exemption” that CEQA only applies to projects that have the potential for causing a significant effect on the environment.

The “Existing Facilities” exemption applies to “the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use.” Further, Section 15301 specifically provides for the “Restoration or rehabilitation of deteriorated or damaged structures, facilities, or mechanical equipment to meet current standards of public health and safety, unless it is determined that the damage was substantial and resulted from an environmental hazard such as earthquake, landslide, or flood.”

The “In-Fill Development” exemption applies to projects characterized as in-fill development meeting the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

If the Planning Commission concurs with staff’s environmental recommendation, the Planning Commission would need to make the finding that the project is exempt from CEQA pursuant to the sections cited prior to project approval. As such, a finding to this effect has been incorporated into the draft resolution prepared for the project.

STAFF RECOMMENDATION

Staff has reviewed the application materials and, based on the material in the record and the information provided in this staff report, staff recommends approval of the Western States Real Estate Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit application subject to the following conditions:

1. The project shall be developed as described in the application and supporting information approved by the Planning Commission on August 12, 2020. Changes to the vesting tentative subdivision map, architectural drawings, and/or façade improvements shall be referred to city staff for a determination of whether further Planning Commission review and approval is required.
2. Prior to recordation of the final map(s), the map(s) shall be submitted to the City Engineer for review and approval.
3. No use permit shall be issued for residences on the ground floor until permitted by Dunsmuir Municipal Code.
4. Prior to offering interests in the subdivision to the public, a condominium plan shall be recorded with the Siskiyou County Recorder's office.
5. Prior to offering interests in the subdivision to the public, developer(s) shall form an association responsible for the ongoing maintenance and management of the property.
6. Prior to occupancy of any unit(s), copies of the recorded condominium plan and/or final map(s) shall be provided to the City of Dunsmuir, Dunsmuir-Castella Fire Department, and Siskiyou County Sheriff's Office.
7. No change shall be made in the use or occupancy of the building unless such building is made to comply with the requirements of the most current adopted California Building Code.
8. No portion of the building shall be used or occupied, regardless of occupancy classification, until a certificate of occupancy or equivalent authorization has been issued by the Building Official.
9. Prior to occupancy of any unit(s), the developer shall provide a Class 1 (hose station) standpipe system within the protected stairwell or other approved location to the satisfaction of the Fire Chief.
10. Signs shown in the application approved on August 12, 2020, shall be permitted subject to execution as shown in the application and plans submitted. The final text for the "typical business signs" shall be reviewed and approved by city staff. If there are changes to any sign other than to its copy, the Planning Commission shall review the sign(s) as required by Dunsmuir Municipal Code Chapter 17.28.
11. Signs must be professionally executed and must stay in compliance with Dunsmuir Municipal Code Section 17.28, Historic Preservation.
12. The applicant, shall defend, indemnify and hold harmless the City, its agents, officers, employees, and consultants from any claim, action, or proceeding (collectively, "Action") against the City, its agents, officers, employees, or consultants to attack, set aside, void, or annul the approvals, or any part thereof, or any decision, determination, or Action, made or taken approving, supplementing, or sustaining, the project or any part thereof, or any related approvals or project conditions imposed by the City or any of its agencies, departments, commissions, agents, officers employees, or consultants, concerning the project, or to impose personal liability against such agents, officers, employees, or consultants resulting from their non-negligent involvement in the project, which action

is brought within the time period provided by law, including any claim for private attorney general fees claimed by or awarded to any party from the City.

Staff further recommends that the Planning Commission open the public hearing, receive any public testimony, close the hearing, and consider the following actions:

- **Adopt** the Findings of Consistency with the General Plan and Zoning,
- **Adopt** the CEQA Exemptions; and
- **Adopt** Resolution PC-2020-14, A Resolution of the Planning Commission of the City of Dunsmuir Conditionally Approving the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit for 5815 Dunsmuir Avenue (APN 058-112-010).

SUGGESTED MOTION

I move that we make the finding that the proposed project would not have a significant adverse effect on the environment, that we adopt the recommended CEQA exemptions, and that we adopt Resolution PC-2020-14 conditionally approving the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit for 5815 Dunsmuir Avenue.

ATTACHMENT A
DRAFT RESOLUTION PC-2020-14

**RESOLUTION PC-2020-14
A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF DUNSMUIR CONDITIONALLY APPROVING THE WESTERN STATES
REAL ESTATE VESTING TENTATIVE SUBDIVISION MAP, USE PERMIT,
AND HISTORIC SITE ALTERATION PERMIT FOR
5815 DUNSMUIR AVENUE (APN 058-112-010)**

WHEREAS, Gregory Mengis, DBA: Western States Real Estate LLC, has applied for a vesting tentative subdivision map, use permit, and historic site alteration permit to allow for renovation and reutilization of the Travelers Hotel located 5815 Dunsmuir Avenue; and

WHEREAS, 5815 Dunsmuir Avenue is zoned Central Commercial Historic District (C-2-H); and

WHEREAS, the existing three-story structure would be subdivided and converted into condominiums, with 28 residential units located on the second and third floors, one mixed-use commercial unit and two adaptable residential units on the ground floor, and common elements throughout; and

WHEREAS, the commercial uses being contemplated by the developer are permitted by-right in the C-2-H zoning district and the residential uses are permitted by-right on the second and third floors; and

WHEREAS, the use permit was requested to allow the two adaptable residential units on the ground floor; and

WHEREAS, with the exception of the two adaptable units on the ground floor, the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit project is consistent with zoning designations and the applicable policies of the City of Dunsmuir General Plan; and

WHEREAS, the Vesting Tentative Subdivision Map is in substantial conformity with the General Plan, with proper standards for lot and street design, with engineering, health department and other standards of the city, with all provisions of law and the City's subdivision ordinance

WHEREAS, the establishment, maintenance and operation of the proposed use will not, under the circumstances of the particular case, be materially detrimental to the health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of such proposed use or be materially detrimental to property or improvements in the neighborhood or to the general welfare of the city; and

WHEREAS, a minor general plan update and zoning text amendment are in process to allow the two adaptable residential units on the ground floor with a use permit consistent with past City practices; and

WHEREAS, the Planning Commission determined that the proposed changes to the building's façade would be consistent with the purpose of the Historic Preservation chapter of the Dunsmuir Municipal Code, as reflected in Section 17.28.010, and would not be detrimental to a structure or feature of significant aesthetic, cultural, architectural or engineering interest or value of a historic nature; and

WHEREAS, proposed signs and sign templates are consistent with Dunsmuir Municipal Code Section 17.28.140; and

WHEREAS, a Notice of Public Hearing was published in the Dunsmuir News on July 29, 2020; and

WHEREAS, public hearing notices were posted, advertised, and mailed pursuant to Sec. 17.24.060(B) of the Dunsmuir Municipal Code and California Government Code Sec. 65090 et seq.; and

WHEREAS, the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301, 15332, and 15061(b)(3) of the CEQA Guidelines because the project entails use of an existing private facility, consists of infill development, and because CEQA only applies to projects that have the potential for causing a significant effect on the environment; and

WHEREAS, staff presented oral and written staff reports on the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit at a regular meeting of the Planning Commission on August 12, 2020; and

WHEREAS, staff recommended that the Planning Commission approve the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit subject to the findings and conditions of approval included in the staff report dated August 12, 2020, and incorporated herein; and

WHEREAS, on August 12, 2020, the City of Dunsmuir Planning Commission considered staff's recommendation along with any public testimony received, following which the Planning Commission discussed the project prior to reaching its decision.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission adopts the recommended findings set forth in the written staff report dated August 12, 2020, and incorporated herein above; and

BE IT FURTHER RESOLVED that the Planning Commission, based on the evidence in the record, including the findings set forth in the written staff report dated August 12, 2020, and incorporated herein above, approves the Western States Real Estate Vesting Tentative Subdivision Map, Use Permit, and Historic Site Alteration Permit subject to the conditions of approval included in Exhibit A to this resolution.

IT IS HEREBY CERTIFIED that the foregoing Resolution PC-2020-14 was duly adopted on a motion by Commissioner _____ and seconded by Commissioner _____ at a regular meeting of the City of Dunsmuir Planning Commission held on the 12th day of August 2020, by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CITY OF DUNSMUIR PLANNING COMMISSION

Josh Spurlock, Chair

WITNESS, my hand and seal this 12th day of August 2020

Wendy Perkins, Deputy City Clerk

WESTERN STATES REAL ESTATE VESTING TENTATIVE SUBDIVISION MAP, USE PERMIT, AND HISTORIC SITE ALTERATION PERMIT - CONDITIONS OF APPROVAL

1. The project shall be developed as described in the application and supporting information approved by the Planning Commission on August 12, 2020. Changes to the vesting tentative subdivision map, architectural drawings, and/or façade improvements shall be referred to city staff for a determination of whether further Planning Commission review and approval is required.
2. Prior to recordation of the final map(s), the map(s) shall be submitted to the City Engineer for review and approval.
3. No use permit shall be issued for residences on the ground floor until permitted by Dunsmuir Municipal Code.
4. Prior to offering interests in the subdivision to the public, a condominium plan shall be recorded with the Siskiyou County Recorder's office.
5. Prior to offering interests in the subdivision to the public, developer(s) shall form an association responsible for the ongoing maintenance and management of the property.
6. Prior to occupancy of any unit(s), copies of the recorded condominium plan and/or final map(s) shall be provided to the City of Dunsmuir, Dunsmuir-Castella Fire Department, and Siskiyou County Sheriff's Office.
7. No change shall be made in the use or occupancy of the building unless such building is made to comply with the requirements of the most current adopted California Building Code.
8. No portion of the building shall be used or occupied, regardless of occupancy classification, until a certificate of occupancy or equivalent authorization has been issued by the Building Official.
9. Prior to occupancy of any unit(s), the developer shall provide a Class 1 (hose station) standpipe system within the protected stairwell or other approved location to the satisfaction of the Fire Chief.
10. Signs shown in the application approved on August 12, 2020, shall be permitted subject to execution as shown in the application and plans submitted. The final text for the "typical business signs" shall be reviewed and approved by city staff. If there are changes to any sign other than to its copy, the Planning Commission shall review the sign(s) as required by Dunsmuir Municipal Code Chapter 17.28.
11. Signs must be professionally executed and must stay in compliance with Dunsmuir Municipal Code Section 17.28, Historic Preservation.
12. The applicant, shall defend, indemnify and hold harmless the City, its agents, officers, employees, and consultants from any claim, action, or proceeding (collectively, "Action") against the City, its agents, officers, employees, or consultants to attack, set aside, void, or annul the approvals, or any part thereof, or any decision, determination, or Action, made or taken approving, supplementing, or sustaining, the project or any part thereof, or any related approvals or project conditions imposed by the City or any of its agencies, departments, commissions, agents, officers employees, or consultants, concerning the project, or to impose personal liability against such agents, officers, employees, or consultants resulting from their non-negligent involvement in the project, which action is brought within the time period provided by law, including any claim for private attorney general fees claimed by or awarded to any party from the City.

ATTACHMENT B
APPLICANT'S STATEMENT OF INTENT

Applicant's Statement of Intent

Proposed project improvements include necessary structural repairs and renovations to remedy decades of deferred maintenance and damage, as well as to accommodate the proposed architectural, mechanical, electrical and plumbing designs. The Applicant proposes to retain much of the existing exterior building character such as the primary paint colors and stucco finish, while changing other aspects of the main building façades to replicate some of the original architectural features of the building. New paint colors are proposed only for the trim and accent areas while the existing base paint colors will be retained. The existing wood shake-clad gable entry roof from a 1970s alteration will be replaced with a new rectangular painted metal marquee reminiscent of the original 1930s Travelers Hotel marquee (see attached historical photos). Proposed building graphics and signage, as further detailed in the sign permit application, will generally include a painted building graphic above the entrance marquee, a hanging sign below the marquee, future tenant signage design for commercial units, and a small graphic depicting the residential entrance on door glazing. Proposed improvements include replacing ground floor glazing with new commercial thermal aluminum storefront windows and doors. The proposed finish for the new storefront and entrance door frames is clear anodized aluminum. The current arched glazing from a previous alteration at the commercial spaces along the Dunsmuir Ave façade is proposed to be replaced with rectangular shaped storefronts consistent with the original building and other proposed glazing assemblies. The transom windows on the ground floor that have been filled in, covered up, painted over, or that have fallen into disrepair during the life of the building are intended to be replaced with aluminum storefront glazing within existing openings to resemble the original transom glazing. This project will require a new electrical metering area, which is proposed within a new building alcove along Pine Street due to the inability to meet utility meter clearance requirements at the back of the building. This new building alcove will be screened at the exterior wall line with an architectural wrought iron fence and 4 foot gate, keyed for utility use only. Two new downlight exterior wall mount sconces are proposed at the main entrance, exterior directional wall packs along the egress route in back and recessed alcove lighting at each building entrance. Directional floodlight(s) are also proposed to illuminate the primary building graphic above the marquee. New vinyl windows with a white frame color are proposed for the residential units on the second and third floors, with the exception of south facing windows above the adjacent building roof (not one of the primary façades). These windows are planned to be aluminum framed fire-rated windows to comply with current building and fire code requirements. The doors to the two ground floor residential units are proposed to be painted steel clad insulated doors with decorative privacy glazing to differentiate them from the adjacent commercial spaces. The existing fire escapes, which are non-operational and non-compliant with building safety codes, represent a significant life safety hazard to the public, both from the danger of potential collapse and from the standpoint of providing a safe building egress system. The fire escapes have accordion style ladders that drop down in front of the ground floor doorways, blocking egress from the lower level. Additionally, having non-operational fire escapes can be a hazard during a fire, as building occupants may

attempt to use the non-operational fire escapes instead of proceeding directly to the safe exit routes. Removal of the fire escapes is required to correct this dangerous condition on the property. All new building egress routes and exits will be compliant with current building codes and will be protected within the interior of the building through fire-rated corridors, stairwells and egress doors. Two small trees (walnut & ash) near the 2nd floor stairway at the back of the building will be removed to remedy a maintenance issue with vegetation growing directly adjacent to the building and multiple exterior windows. The existing tree in the sidewalk along Dunsmuir Avenue will remain. Existing overhead power/telecom lines, conduit and equipment at the back of the building will be removed and replaced with a new underground three-phase electrical service. A new overhead electrical service cannot be served overhead due to utility requirements. Because transformer vault clearance and access requirements cannot be met at the back of the building, nor inside of the building, the utility vault location is proposed near the west end of the raised island median on Pine Street per attached site plan and Historic District Review Packet. The vault fits dimensionally in this space and the intention is to retain or restore the existing tree & raised planter in their current locations. Vault location feasibility has been reviewed by the utility, electrical engineer and project engineer. This proposal is the only reasonably compliant vault location for the required electrical service. The electrical switchboard, main disconnect and metering will be located in a new building alcove adjacent to the residential entrance along Pine Street, as further described above and as shown in the Architectural Drawings. New trash bins will be located along the retaining wall at the back of the building near Pine Street, consistent with the current location. HVAC and ventilation equipment are anticipated to be entirely roof mounted. Because providing off-street parking for this project will be cost prohibitive, off-street parking is not proposed at this time.

ATTACHMENT C
VESTING TENTATIVE SUBDIVISION MAP

APPROVALS:

VESTING TENTATIVE SUBDIVISION MAP FOR MIXED USE CONDOMINIUM PURPOSES

LEGAL DESCRIPTION

LOTS 1, 2, 3 AND 4 AND THE NORTH FOUR INCHES OF LOT 5, BLOCK 25, SECTION 25, T39N, R4W, M.D.M. IN THE CITY OF DUNSMUIR, SISKIYOU COUNTY, CALIFORNIA.

ASSESSOR'S PARCEL NUMBER

058-112-010

RECORD OWNER & SUBDIVIDER

GREGORY MENGIS, MANAGING MEMBER
WESTERN STATES REAL ESTATE, LLC
PO BOX 524
FREMONT, CA 94537
510-468-1175

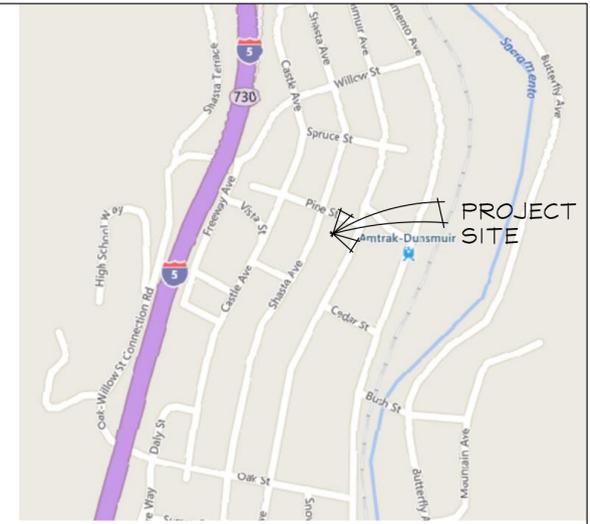
CIVIL ENGINEER

NICHOLAS RIDDLE, RCE 73872
MT SHASTA ENGINEERING, INC
508 CHESTNUT STREET - SUITE 3
MT. SHASTA, CA 96067
530-918-8074



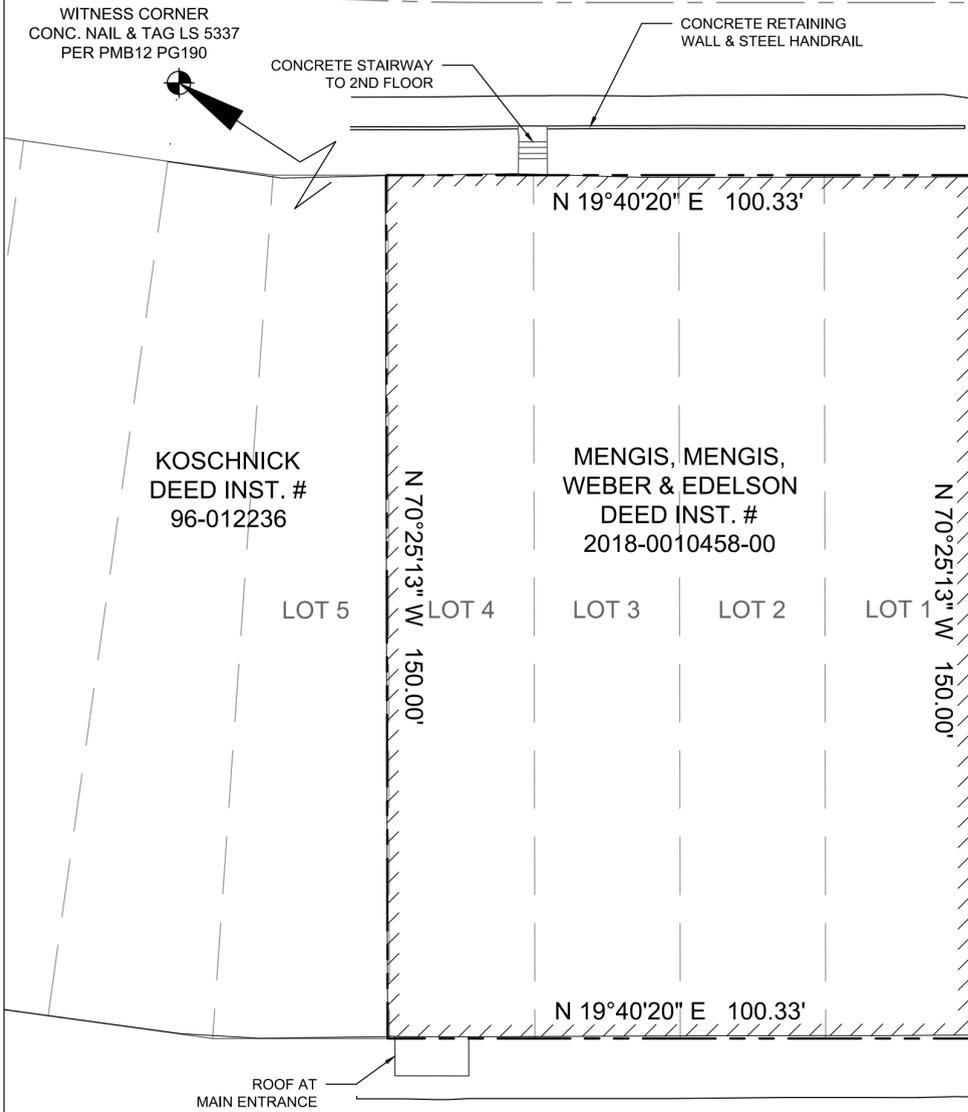
LAND SURVEYOR

TERENCE CAMPBELL, LS 9479
TERENCE CAMPBELL LAND SURVEYING
5530 PALMER DRIVE
WEED, CA 96094
530-408-9013



VICINITY MAP
NTS

SHASTA AVENUE



PINE STREET

BASIS OF BEARINGS
N53°07'05"E 408.30'
(N53°07'05"E 408.32') PMB12 PG190

DUNSMUIR AVENUE

BASIS OF BEARINGS

THE BEARING OF N53°07'05" E, 408.30 FEET, BETWEEN A WITNESS CORNER FOUND IN THE TOP OF CURB OFFSET FROM THE NORTHWESTERLY CORNER OF LOT 7 (PER PMB12 PG190) AND THE CHISELED "*" FOUND IN CONCRETE AT THE SOUTHWESTERLY CORNER OF LOT 22 (PER RSB 18 PG 124) WAS USED AS THE BASIS OF BEARING FOR THIS MAP

EXISTING & PROPOSED ZONING

C-2 CENTRAL COMMERCIAL

PROPOSED LAND USE

COMMERCIAL - 1 UNITS
RESIDENTIAL - 33 UNITS

UNIT CONFIGURATIONS

SEE ARCHITECTURAL DRAWINGS A2.1, A2.2 & A2.3 PREPARED BY MT SHASTA ENGINEERING FOR THE GENERAL CONFIGURATION OF PROPOSED CONDOMINIUM UNITS WITH TABULATED UNIT DATA.

UTILITIES & SERVICES

WATER: CITY OF DUNSMUIR, EXISTING CONNECTION
SANITARY SEWER: CITY OF DUNSMUIR, EXISTING CONNECTION
FIRE: CITY OF DUNSMUIR FIRE DEPARTMENT
POWER: PACIFICORP, A NEW POWER SERVICE IS PROPOSED
PROPANE: PENDING CONFIRMATION OF COMPLIANT TANK LOCATION
TELEPHONE: AT&T, NEW TELEPHONE SERVICE IS PER OWNER
CABLE TV: NORTHLAND CABLE, NEW SERVICE IS PER OWNER

GENERAL NOTES

- EXISTING/PROPOSED UTILITIES, SITE FEATURES AND EXTERIOR IMPROVEMENTS ARE DETAILED IN THE ARCHITECTURAL DRAWINGS ON SHEET C1 SITE PLAN
- THE EXISTING BUILDING TO BE CONVERTED IS VACANT AND EXISTING TENANT NOTIFICATION REQUIREMENTS CONTAINED IN THE SUBDIVISION MAP ACT ARE NOT APPLICABLE TO THIS PROJECT.
- THE EXISTING COMMERCIAL USE OF THE FIRST FLOOR WILL BE MAINTAINED AS EXISTING, WITH THE EXCEPTION OF TWO NEW RESIDENTIAL UNITS TO COMPLY WITH ACCESSIBILITY PROVISIONS IN THE CALIFORNIA BUILDING CODE. A USE PERMIT IS REQUESTED FOR THE TWO PROPOSED RESIDENTIAL UNITS.
- THE EXISTING RESIDENTIAL USE OF THE SECOND AND THIRD FLOORS WILL BE MAINTAINED AS EXISTING, CONSISTENT WITH THE C-2 ZONING ORDINANCE.
- COMMON AREAS INCLUDE A PUBLIC LOBBY, RESIDENTIAL LOBBY, RESTROOMS, STAIRWELLS, CORRIDORS AND OTHER COMMON INTEREST AREAS TO BE DEFINED ON THE FINAL CONDOMINIUM PLAN.
- A NEW 8.5 FOOT WIDE EASEMENT IS PROPOSED IN CITY RIGHT OF WAY ALONG THE PINE STREET FRONTAGE FOR INGRESS, EGRESS, UTILITIES, DRAINAGE & REFUSE STORAGE, AS APPROVED BY THE CITY OF DUNSMUIR.
- OFF-STREET PARKING REQUIREMENTS, IF ANY, WILL BE AS DETERMINED BY THE PLANNING COMMISSION IN ACCORDANCE WITH DUNSMUIR MUNICIPAL CODE §17.12.070.
- THE OWNER/SUBDIVIDER RESERVES THE RIGHT TO FILE MULTIPLE PHASE FINAL SUBDIVISION MAPS.
- THIS CONDOMINIUM PROJECT IS LOCATED WITHIN THE BOUNDARIES OF THE CITY OF DUNSMUIR HISTORIC DISTRICT.

BOUNDARY NOTE

THE PARCEL BOUNDARY SHOWN HEREON WAS ESTABLISHED BY ME, OR UNDER MY SUPERVISION, AND IS BASED UPON A FIELD SURVEY OF MONUMENTS FOUND IN THE VICINITY. INFORMATION SHOWN IS FOR TENTATIVE MAP PURPOSES ONLY AND IS SUBJECT TO CHANGE.

TERENCE ALBERT CAMPBELL, LS 9479

LEGEND

| | |
|---------------------|-------|
| PARCEL BOUNDARY | --- |
| EASEMENT | ---- |
| CONDOMINIUM PROJECT | //// |
| BUILDING LINE | ===== |
| CITY LOT LINE | ----- |
| ROAD CENTERLINE | ----- |
| EDGE OF PAVEMENT | ----- |

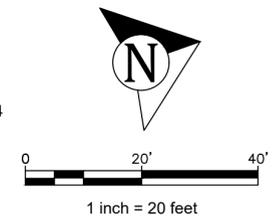
REVISIONS:

| | |
|-------------------------------|----------|
| 1. PER CITY ENGINEER COMMENTS | 08/06/20 |
|-------------------------------|----------|

MT SHASTA ENGINEERING
ARCHITECTURAL DESIGN,
STRUCTURAL & CIVIL
ENGINEERING
508 CHESTNUT ST. - STE. 3
MOUNT SHASTA, CA 96067
PH: 530-918-8074

| | |
|-------------|--------------|
| PROJECT NO: | 196.01 |
| DATE: | 05-13-20 |
| SCALE: | AS NOTED |
| DESIGNED: | NR |
| DRAWN: | NR |
| CHECKED: | NR |
| SHEET | 1 OF 1 SHEET |

CHISELED "*" IN CONCRETE PER RSB18 PG124



ATTACHMENT D
ARCHITECTURAL DRAWINGS

CLIENT:
WESTERN STATES
REAL ESTATE, LLC
MIXED-USE BLDG. RENOVATION
5801, 5815 DUNSMUIR AVE.
4208, 4212 PINE ST.
DUNSMUIR, CA 96025
APN: 058-112-010

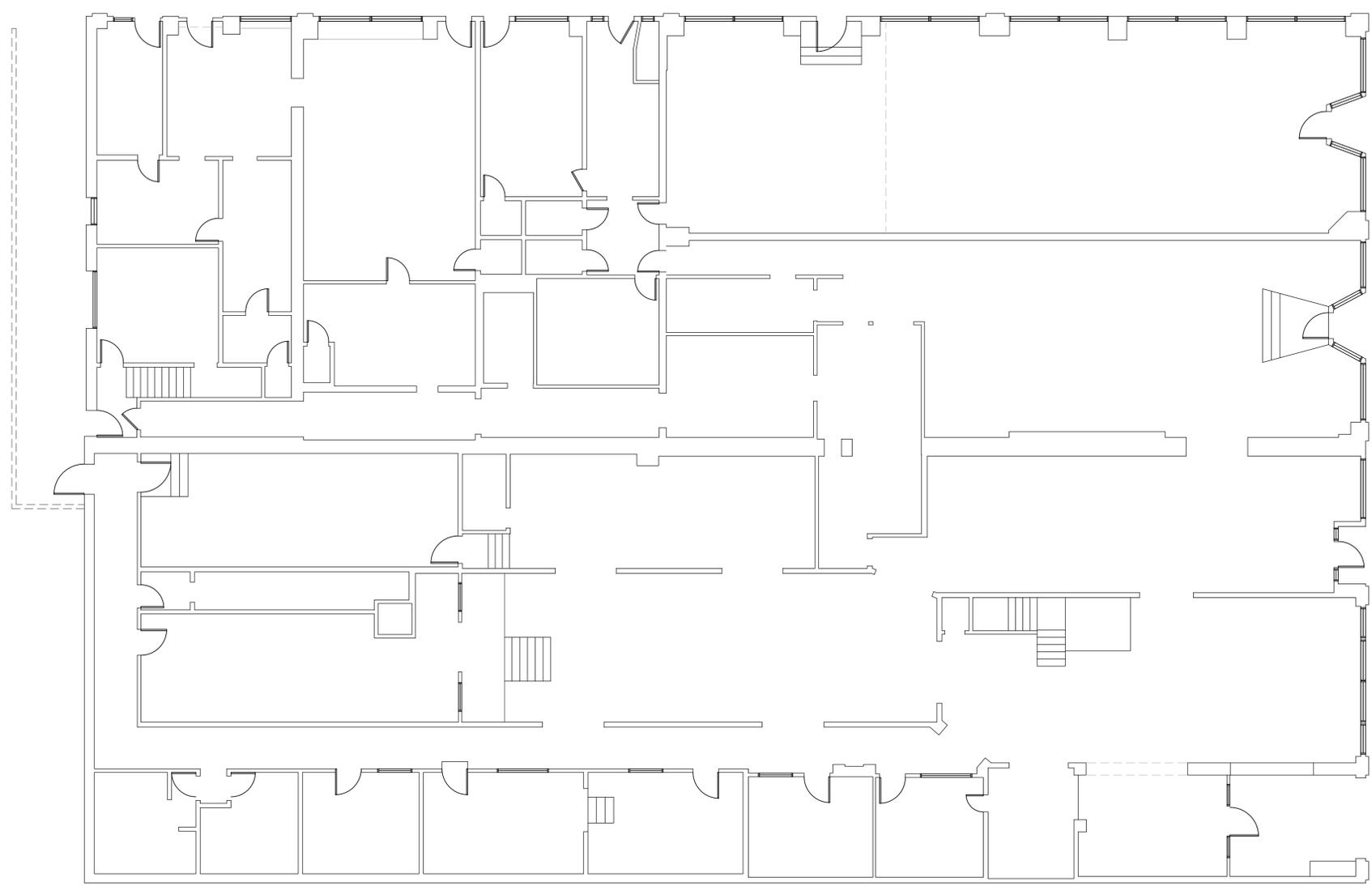


SHEET TITLE:
**EXISTING FIRST
FLOOR PLAN**

REVISIONS:

PROJECT NUMBER:
196.01
ISSUE DATE:
06-12-20
SCALE:
AS NOTED
DRAWN BY:
BTL
ENGINEERED:
BTL
CHECKED:
NER
SHEET:

A1.1



SCALE: 1/8" = 1'-0" **EXISTING FIRST FLOOR PLAN** (A)

CLIENT: WESTERN STATES
REAL ESTATE, LLC
MIXED-USE BLDG. RENOVATION
5801, 5815 DUNSMUIR AVE.
4208, 4212 PINE ST.
DUNSMUIR, CA 96025
APN: 058-112-010



SHEET TITLE:
**EXISTING SECOND
FLOOR PLAN**

REVISIONS:

PROJECT NUMBER:
196.01
ISSUE DATE:
06-12-20
SCALE:
AS NOTED
DRAWN BY:
BTL
ENGINEERED:
BTL
CHECKED:
NER
SHEET:

A1.2



EXISTING SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



CLIENT: WESTERN STATES
REAL ESTATE, LLC
MIXED-USE BLDG. RENOVATION
5801, 5815 DUNSMUIR AVE.
4208, 4212 PINE ST.
DUNSMUIR, CA 96025
APN: 058-112-010



SHEET TITLE:
**EXISTING THIRD
FLOOR PLAN**

REVISIONS:

PROJECT NUMBER:
196.01
ISSUE DATE:
06-12-20
SCALE:
AS NOTED
DRAWN BY:
BTL
ENGINEERED:
BTL
CHECKED:
NER
SHEET:

A1.3



EXISTING THIRD FLOOR PLAN



SCALE: 1/8" = 1'-0"

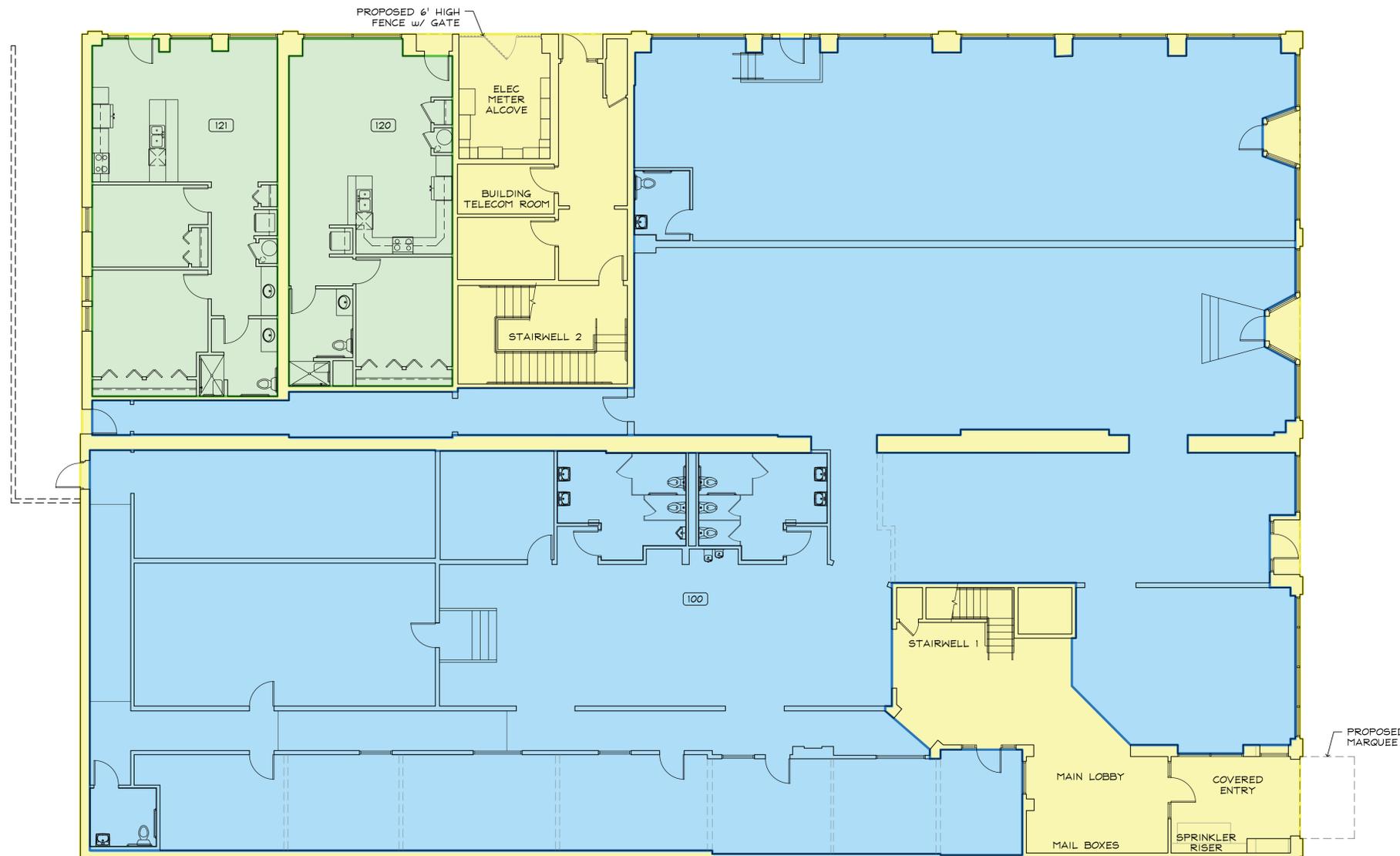
FIRST FLOOR

| UNIT # | UNIT TYPE | | APPROX. GROSS FLOOR AREA |
|--|------------------------|------------------|--------------------------------|
| 100 | MIXED COMMERCIAL | | 10,450 SF |
| 120 | ACCESSIBLE RESIDENTIAL | 1 BEDROOM 1 BATH | 839 SF |
| 121 | ACCESSIBLE RESIDENTIAL | 2 BEDROOM 1 BATH | 981 SF |
| UNIT TYPE | | | NUMBER OF UNITS ON FIRST FLOOR |
| COMMERCIAL | | | 1 |
| ACCESSIBLE RESIDENTIAL: 2 BEDROOM/1 BATH | | | 1 |
| ACCESSIBLE RESIDENTIAL: 1 BEDROOM/1 BATH | | | 1 |
| TOTAL | | | 3 |

LEGEND

- RESIDENTIAL UNITS
- COMMON AREAS
- COMMERCIAL UNIT

NOTE: MIXED COMMERCIAL SPACE MAY INCLUDE RESTAURANT, RETAIL, BUSINESS, OFFICE, CONFERENCE ROOM AND SIMILAR USES.



MT SHASTA ENGINEERING
 508 CHESTNUT ST.
 SUITE 3
 MOUNT SHASTA, CA 96067
 PH: 530-918-8074
 DO NOT SCALE THESE DRAWINGS

CLIENT: WESTERN STATES REAL ESTATE, LLC
 MIXED-USE BLDG. RENOVATION
 5801, 5815 DUNSMUIR AVE.
 4208, 4212 PINE ST.
 DUNSMUIR, CA 96025
 APN: 058-112-010



SHEET TITLE:
FIRST FLOOR PLAN

REVISIONS:

PROJECT NUMBER:
 196.01
 ISSUE DATE:
 06-12-20
 SCALE:
 AS NOTED
 DRAWN BY:
 BTL
 ENGINEERED:
 BTL
 CHECKED:
 NER
 SHEET:

A2.1

FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



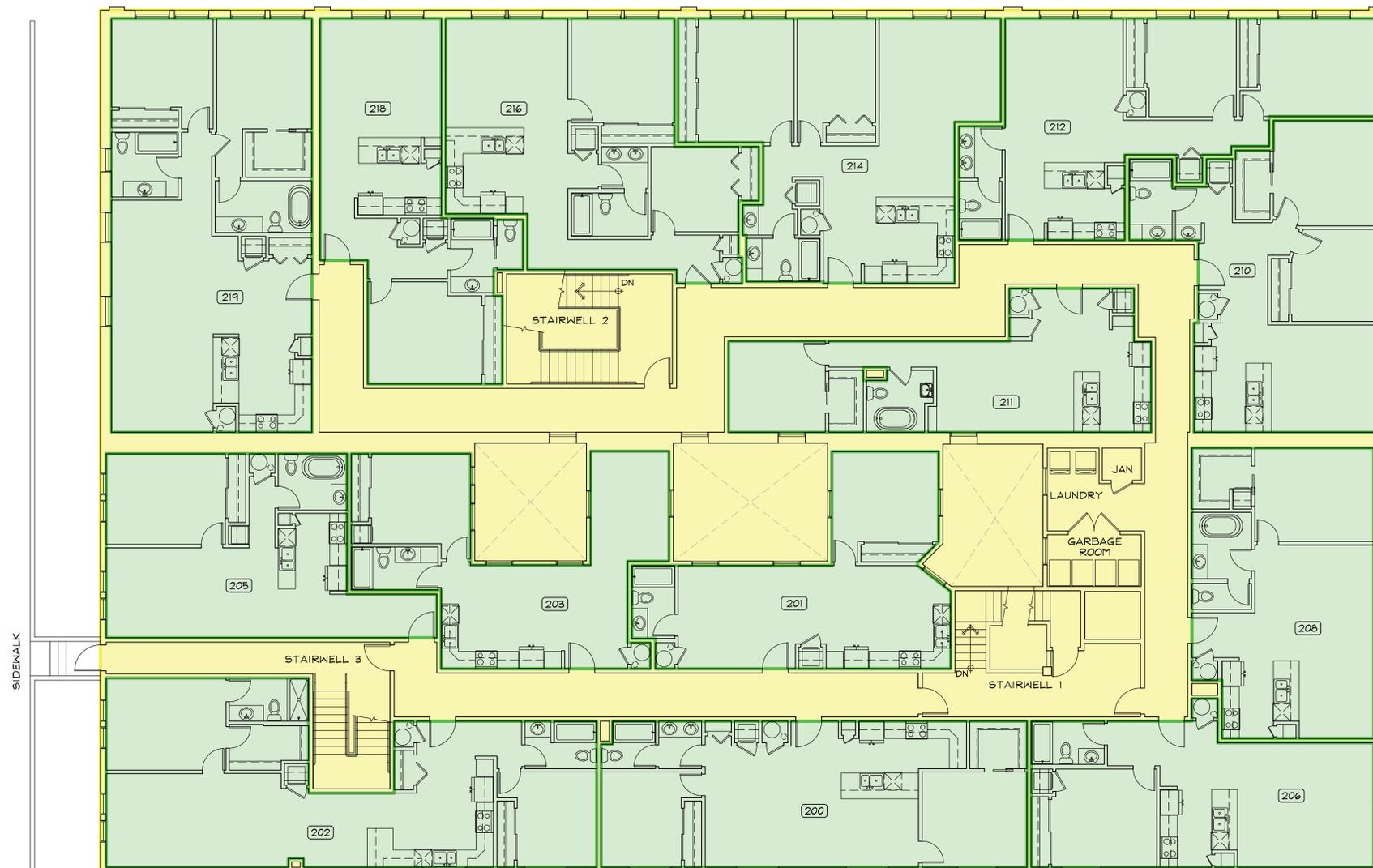
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LEGEND

| | |
|---|-------------------|
|  | RESIDENTIAL UNITS |
|  | COMMON AREAS |
|  | COMMERCIAL UNIT |

SECOND FLOOR

| UNIT # | UNIT TYPE | | APPROX. GROSS FLOOR AREA |
|-------------|-----------|---------------------------------|--------------------------|
| 200 | 2 BEDROOM | 1 BATH | 835 SF |
| 201 | 1 BEDROOM | 1 BATH | 589 SF |
| 202 | 2 BEDROOM | 2 BATH | 1000 SF |
| 203 | 1 BEDROOM | 1 BATH | 596 SF |
| 205 | 1 BEDROOM | 1 BATH | 651 SF |
| 206 | 1 BEDROOM | 1 BATH | 637 SF |
| 208 | 1 BEDROOM | 1 BATH | 689 SF |
| 210 | 2 BEDROOM | 1 BATH | 778 SF |
| 211 | 1 BEDROOM | 1 BATH | 603 SF |
| 212 | 2 BEDROOM | 1 BATH | 839 SF |
| 214 | 2 BEDROOM | 1 BATH | 907 SF |
| 216 | 2 BEDROOM | 1 BATH | 847 SF |
| 218 | 1 BEDROOM | 1 BATH | 665 SF |
| 219 | 2 BEDROOM | 2 BATH | 1118 SF |
| UNIT TYPE | | NUMBER OF UNITS ON SECOND FLOOR | |
| 2 BEDROOM | | 7 | |
| 1 BEDROOM | | 7 | |
| TOTAL UNITS | | 14 | |



CLIENT: WESTERN STATES REAL ESTATE, LLC
 MIXED-USE BLDG. RENOVATION
 5801, 5815 DUNSMUIR AVE.
 4208, 4212 PINE ST.
 DUNSMUIR, CA 96025
 APN: 058-112-010



SHEET TITLE:

SECOND FLOOR PLAN

REVISIONS:

PROJECT NUMBER:
196.01

ISSUE DATE:
06-12-20

SCALE:
AS NOTED

DRAWN BY:
BTL

ENGINEERED:
BTL

CHECKED:
NER

SHEET:

A2.2

SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

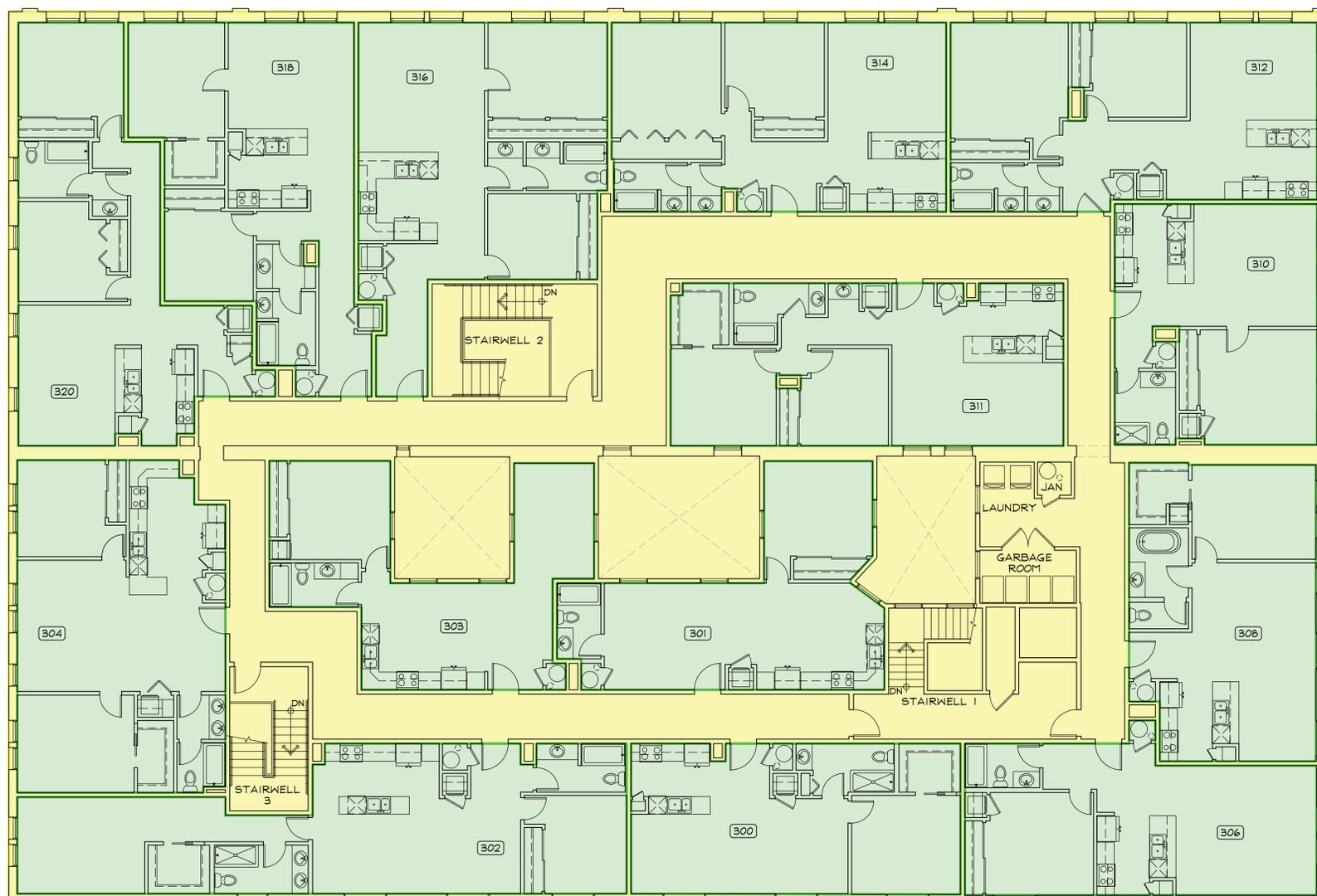


LEGEND

| | |
|--|-------------------|
| | RESIDENTIAL UNITS |
| | COMMON AREAS |
| | COMMERCIAL UNIT |

THIRD FLOOR

| UNIT # | UNIT TYPE | | APPROX. GROSS FLOOR AREA |
|-----------|-----------|--------------------------------|--------------------------|
| 300 | 1 BEDROOM | 1 BATH | 635 SF |
| 301 | 1 BEDROOM | 1 BATH | 601 SF |
| 302 | 2 BEDROOM | 2 BATH | 946 SF |
| 303 | 1 BEDROOM | 1 BATH | 607 SF |
| 304 | 2 BEDROOM | 1 BATH | 868 SF |
| 306 | 1 BEDROOM | 1 BATH | 649 SF |
| 308 | 1 BEDROOM | 1 BATH | 691 SF |
| 310 | 1 BEDROOM | 1 BATH | 619 SF |
| 311 | 2 BEDROOM | 1 BATH | 813 SF |
| 312 | 2 BEDROOM | 1 BATH | 853 SF |
| 314 | 2 BEDROOM | 1 BATH | 809 SF |
| 316 | 2 BEDROOM | 1 BATH | 889 SF |
| 318 | 2 BEDROOM | 1 BATH | 857 SF |
| 320 | 2 BEDROOM | 1 BATH | 847 SF |
| UNIT TYPE | | NUMBER OF UNITS ON THIRD FLOOR | |
| 2 BEDROOM | | 8 | |
| 1 BEDROOM | | 6 | |
| TOTAL | | 14 | |



CLIENT: WESTERN STATES REAL ESTATE, LLC
 MIXED-USE BLDG. RENOVATION
 5801, 5815 DUNSMUIR AVE.
 4208, 4212 PINE ST.
 DUNSMUIR, CA 96025
 APN: 058-112-010



06/12/20

SHEET TITLE:

THIRD FLOOR PLAN

REVISIONS:

PROJECT NUMBER:
196.01

ISSUE DATE:
06-12-20

SCALE:
AS NOTED

DRAWN BY:
BTL

ENGINEERED:
BTL

CHECKED:
NER

SHEET:

A2.3

THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



ELEVATION NOTES

- (A) EXISTING FIRE ESCAPES TO BE REMOVED DUE TO SAFETY ISSUES.
- (B) PROPOSED NEW MARQUEE STYLE COVERED ENTRY SIMILAR TO THE ORIGINAL TO REPLACE FAILING WOOD GABLE CANOPY.
- (C) PROPOSED RECTANGULAR STOREFRONT WINDOWS SIMILAR TO THE ORIGINAL BUILDING TO REPLACE CURRENT ARCHED WINDOWS FROM A PREVIOUS ALTERATION.
- (D) PROPOSED NEW TRANSOM WINDOWS SIMILAR IN SIZE TO THE ORIGINAL BUILDING. MOST OF THE ORIGINAL TRANSOM WINDOWS WERE COVERED UP OR PAINTED OVER DURING PREVIOUS ALTERATIONS.
- (E) DOORS SET INTO NEW ALCOVES FOR EGRESS AND ACCESSIBILITY COMPLIANCE.
- (F) PROPOSED SCONCE LIGHTING AT MAIN ENTRY.
- (G) PROPOSED ELECTRIC METER ALCOVE WITH 6 FT. HIGH ORNAMENTAL STEEL SECURITY FENCE AND GATE.



PROPOSED FRONT ELEVATION - DUNSMUIR AVE

SCALE: 3/16" = 1'-0"

(A)



PROPOSED RIGHT ELEVATION - PINE STREET

SCALE: 3/16" = 1'-0"

(B)

MT SHASTA ENGINEERING
 508 CHESTNUT ST.
 SUITE 3
 MOUNT SHASTA, CA 96067
 PH: 530-918-8074
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CLIENT: WESTERN STATES REAL ESTATE, LLC
 MIXED-USE BLDG. RENOVATION
 5801, 5815 DUNSMUIR AVE.
 4208, 4212 PINE ST.
 DUNSMUIR, CA 96025
 APN: 058-112-010



SHEET TITLE:
PROPOSED ELEVATIONS

REVISIONS:

PROJECT NUMBER:
 196.01
 ISSUE DATE:
 06-12-20
 SCALE:
 AS NOTED
 DRAWN BY:
 BTL
 ENGINEERED:
 BTL
 CHECKED:
 NER
 SHEET:

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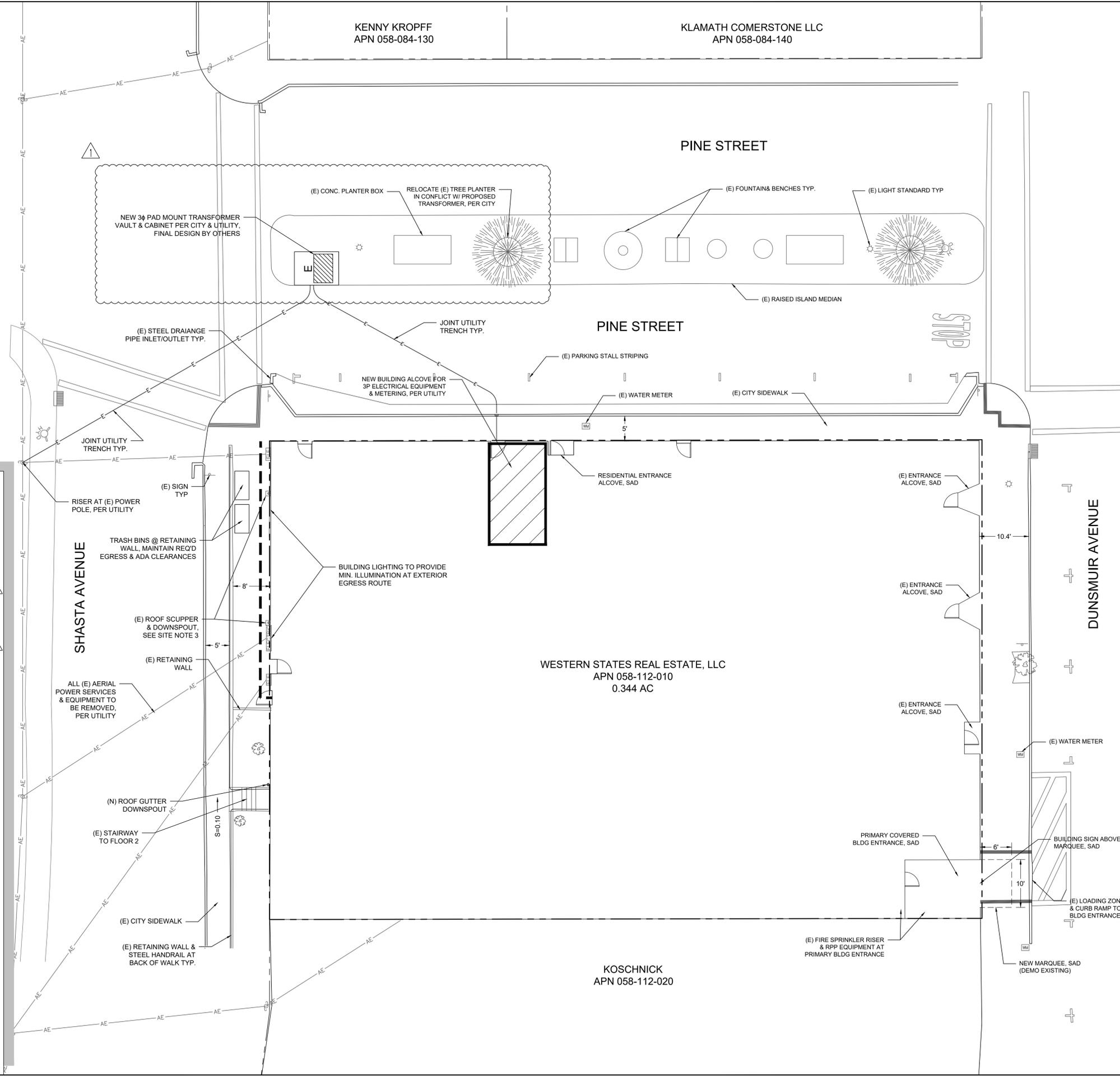
CLIENT: WESTERN STATES REAL ESTATE, LLC
 MIXED-USE BLDG. RENOVATION
 5801, 5815 DUNSMUIR AVE.
 4208, 4212 PINE ST.
 DUNSMUIR, CA 96025
 APN: 058-112-010



SHEET TITLE: **SITE PLAN**

REVISIONS:
 08-06-20: PER PLAN CHECK COMMENTS

PROJECT NUMBER: 196.01
 ISSUE DATE: 07-17-20
 SCALE: AS NOTED
 DRAWN BY: NER
 ENGINEERED: NER
 CHECKED: BTL
 SHEET: C1



GENERAL NOTES

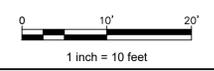
1. SURVEY DATA AND MAPPING PROVIDED BY TERENCE CAMPBELL LAND SURVEYING. BASIS OF BEARINGS IS PER PMB12 PG190.
2. SEE THE PROJECT TENTATIVE SUBDIVISION MAP FOR BOUNDARY SURVEY REFERENCES & DETAILS.
3. ALL EXISTING CONDITIONS & DIMENSIONS SHALL BE VERIFIED TO BE TRUE & ACCURATE PRIOR TO BEGINNING WORK. INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF MT SHASTA ENGINEERING IMMEDIATELY.
4. EXISTING FEATURES ARE SHOWN IN GREYSCALE FOR CLARITY UNO.
5. WORK WITHIN THE CITY RIGHT OF WAY SHALL BE COMPLETED UNDER AN APPROVED ENCROACHMENT PERMIT.
6. EXISTING ZONING DESIGNATION IS C-2 CENTRAL COMMERCIAL.
7. EXTERIOR IMPROVEMENTS WITHIN CITY OF DUNSMUIR RIGHT OF WAY SHALL BE COMPLETED UNDER AN APPROVED PUBLIC WORKS ENCROACHMENT PERMIT.

SITE NOTES

1. EXTERIOR SITE CONSTRUCTION MATERIALS AND IMPROVEMENTS SHALL COMPLY WITH CITY OF REDDING CONSTRUCTION STANDARDS UNO.
2. SEE ARCHITECTURAL DRAWINGS FOR PROPOSED EXTERIOR BUILDING LIGHTING.
3. MINOR SIDEWALK ELEVATION MODIFICATIONS ARE PROPOSED AT CERTAIN EXTERIOR DOOR LANDINGS WHERE REQUIRED TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.
4. EXISTING ROOF SCUPPERS, GUTTERS, DOWNSPOUTS AND UNDERGROUND PIPING SHALL BE INSPECTED AND REPAIRED OR RELOCATED AS NECESSARY.
5. A NEW 3 PHASE ELECTRICAL TRANSFORMER IS REQUIRED TO SERVE THE PROJECT AND MUST BE LOCATED ON CITY RIGHT OF WAY IN THE RAISED ISLAND MEDIAN DUE TO THE INABILITY TO COMPLY WITH REQUIRED UTILITY CLEARANCES AND ACCESS AT THE BACK OF BUILDING. AS REVIEWED AND APPROVED BY THE CITY OF DUNSMUIR AND PACIFICORP. TRANSFORMER CABINET DIMENSIONS ARE APPROXIMATELY 6' WIDE x 4' DEEP x 5' TALL, OR AS DETERMINED BY THE UTILITY FOR CONNECTIONS SERVED.
6. WATER & SEWER CONNECTIONS WILL BE MADE WITHIN THE EXISTING BUILDING AND NO EXTERIOR WATER OR SEWER LATERAL IMPROVEMENTS ARE ANTICIPATED.
7. ADEQUACY OF EXISTING FIRE SERVICE SHALL BE VERIFIED WITH THE FIRE DEPARTMENT AND FIRE SPRINKLER DESIGNER.
8. ALL FIVE EXISTING EXTERNAL FIRE ESCAPES ARE TO BE REMOVED TO CORRECT THE UNSAFE AND DANGEROUS CONDITION.
9. ONE 8 INCH DBH MOUNTAIN ASH TREE AND ONE 4 INCH DBH BLACK WALNUT TREE DIRECTLY ADJACENT TO BUILDING WALLS AT THE BACK OF BUILDING WILL BE REMOVED NEAR THE SECOND FLOOR STAIRWAY TO PROVIDE FOR REQUIRED ELECTRICAL EQUIPMENT ACCESS AND TO REMEDY A FUTURE BUILDING MAINTENANCE ISSUE.

LEGEND

| | |
|------------------------|----------|
| PARCEL BOUNDARY | --- |
| EASEMENT | --- |
| BLDG EGRESS ROUTE | --- |
| EXTERIOR BUILDING WALL | --- |
| WATER LINE | W |
| SANITARY SEWER | SS |
| OVERHEAD POWER | AE |
| UNDERGROUND POWER | E |
| OVERHEAD TELECOM | T |
| FENCE | X |
| SEWER MANHOLE | S |
| CATCH BASIN | [Symbol] |
| UTILITY POLE | [Symbol] |
| STREET LIGHT | [Symbol] |
| POWER VAULT | [Symbol] |
| FIRE HYDRANT | [Symbol] |



811
 CALL BEFORE YOU DIG
 UNDERGROUND SERVICE ALERT OF
 NORTHERN CALIFORNIA & NEVADA
 1-800-227-2620

I:\Clients\196 - Western States Real Estate, LLC\03 - Transfers Moved Use Renovation\04 - Civil\Map\Transfer_Civil_Planning_Detail.dwg, 07/20/20 7:46:29 AM

ATTACHMENT E
HISTORIC DISTRICT DESIGN REVIEW PACKET



Proposed Front Elevation—Dunsmuir Ave

**Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC**

June 12, 2020



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Proposed Right Side Elevation—Pine Street

**Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC**



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Proposed Streetscene—Dunsmuir Avenue



Proposed Streetscene—Pine Street

**Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC**



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Shasta Ave Frontage



Pine Street Frontage



Main Entry



South Elevation



Dunsmuir Avenue Frontage



Intersection of Dunsmuir Avenue & Pine Street



Arched Storefront Windows at Dunsmuir Avenue Frontage

Existing Building Details

Mixed Use Condominium Conversion & Building Renovation Western States Real Estate, LLC



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Dunsmuir Avenue Frontage—1940's



Early Photo of Main Entry



Main Entry—1956



Former Window Sign



Dunsmuir Avenue & Pine Street—1920's
Note that fire escapes have not been installed.

Historic Building Details

Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Existing Raised Island Median



Proposed 3-phase Pad Mount Transformer

Transformer Dimensions:
6 ft. wide x 4 ft. deep x 5 ft. 1 in. high

**Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC**



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Main Body Paint:
Benjamin Moore 1302 Sweet Rosy Brown

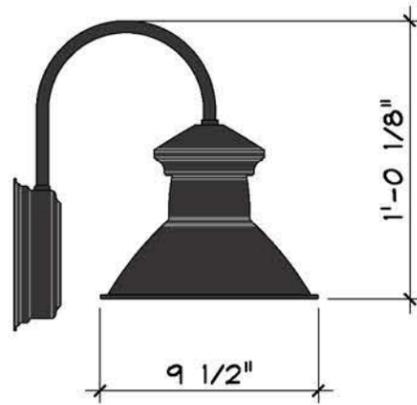


Accent/Trim Paint:
Benjamin Moore 1461 Sterling Silver

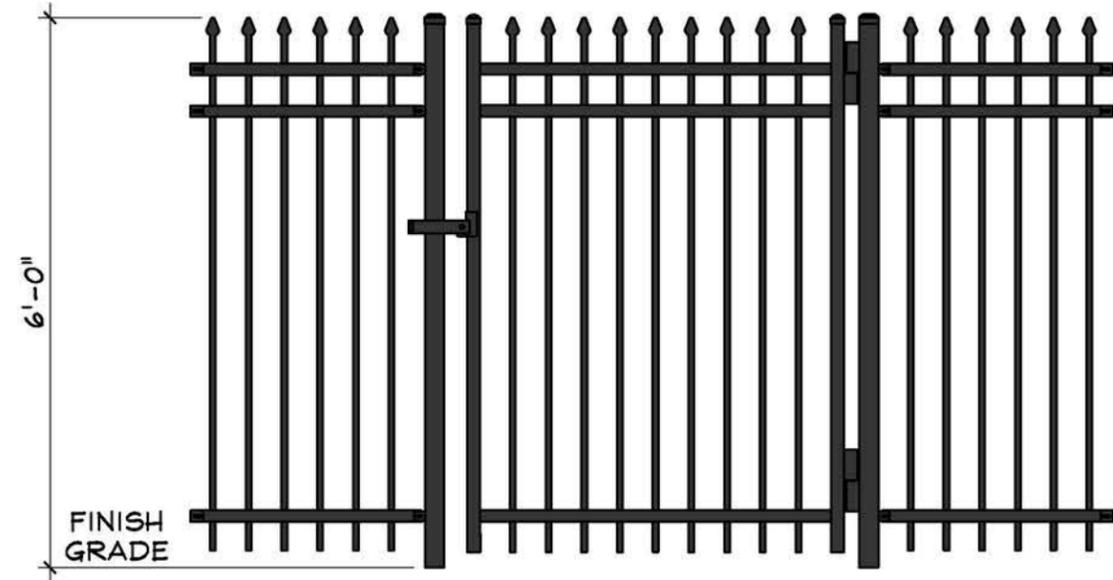
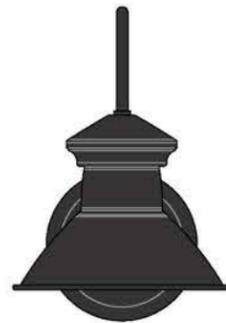


Accent/Trim Paint:
Benjamin Moore 223 El Sereno

Note: Colors shown are approximate due to printing limitations.



Exterior Sconce LED Lighting:
Barn Light Electric Cooper LED Wall Sconce
Color: Textured Black



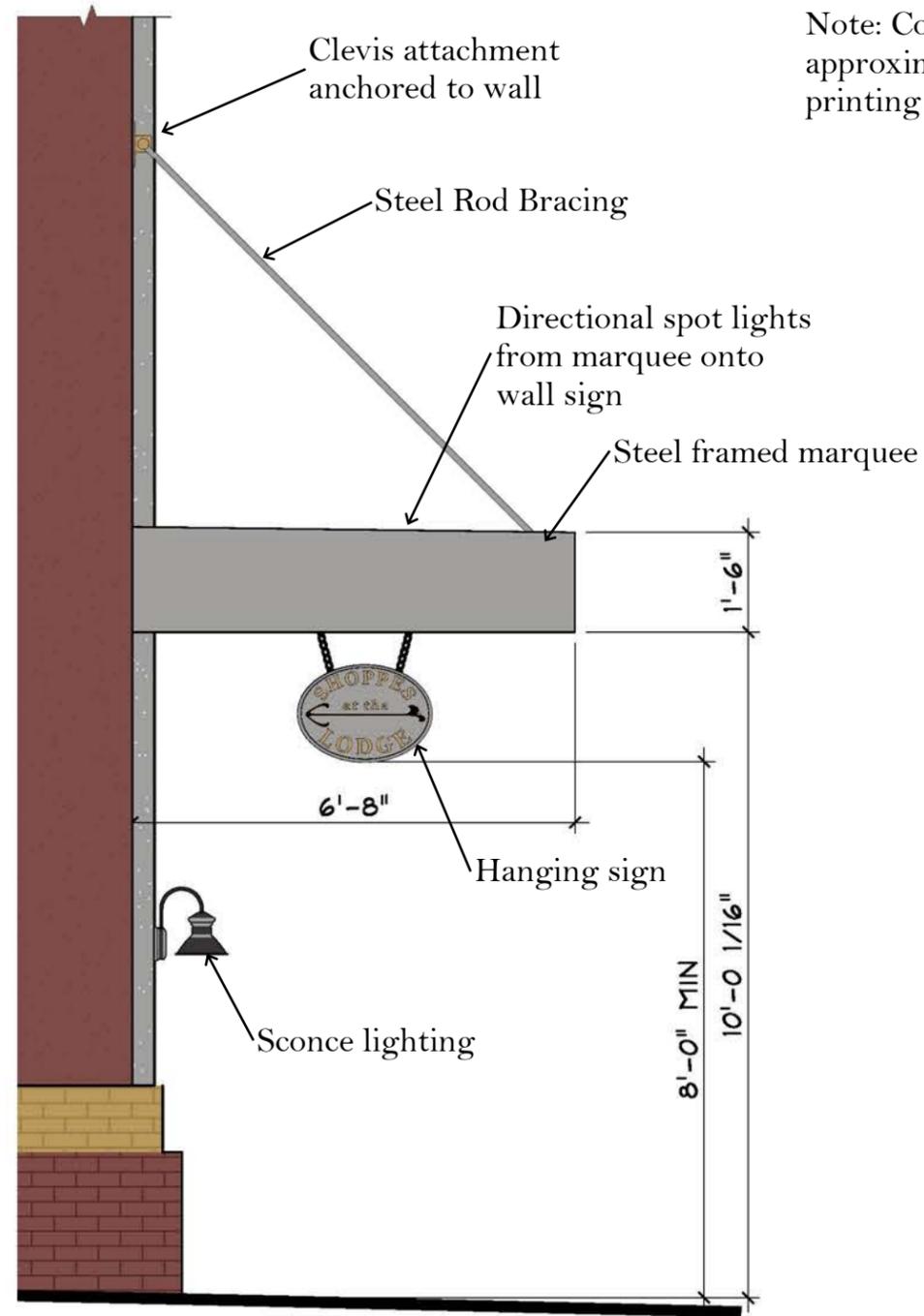
Electric Meter Alcove Security Fence:
Ameristar Montage Plus Classic or Equal, Welded Ornamental Steel Fence
4 ft Wide Locking Gate with Lockbox for Power Company Access
Color: Black

Colors & Materials

Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC



508 Chestnut St, Suite 3
Mt Shasta, CA 96067



Note: Colors shown are approximate due to printing limitations.

Side Elevation



Front Elevation

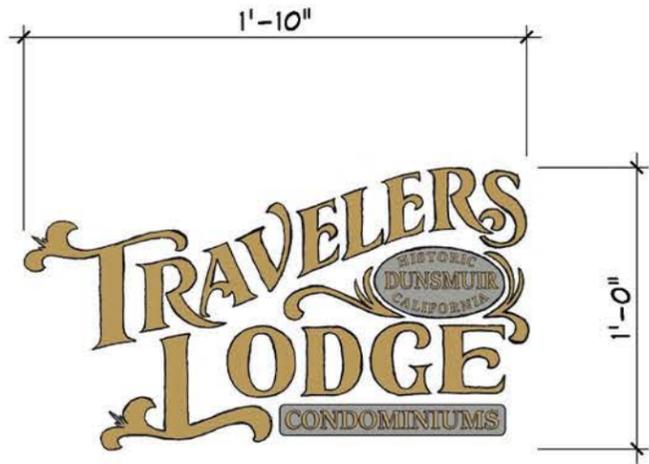
Main Entry Marquee & Sign Details

Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC



508 Chestnut St, Suite 3
Mt Shasta, CA 96067

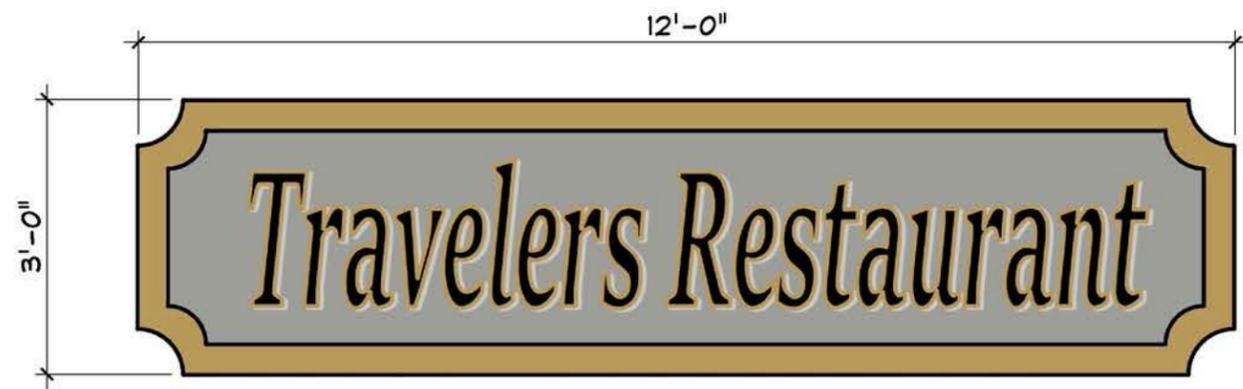
Note: Colors shown are approximate due to printing limitations.



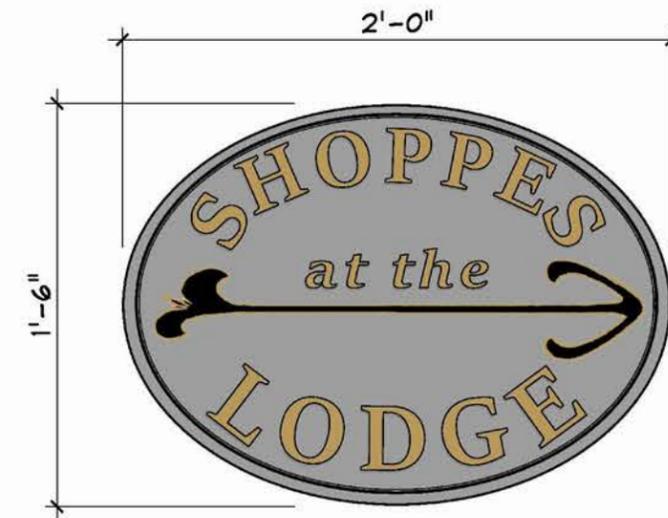
Signage on Glazed Main Entry Door and Pine Street Residential Common Area Glazed Entry Door
Material: Window Decal



Signage on Face of Building Above Main Entry Marquee
Material: Painted on Building Stucco



Typical Business Sign Style
Mounted to Face of Building Above Storefront Glazing
Sign Copy Per Future Commercial Tenants
Material: Painted Wood



Two-Sided Hanging Sign Under Main Entry Marquee
(Arrow direction reversed on back side).
Material: Painted Wood.
Attachment: Chains to Marquee Structure

Sign Details

Mixed Use Condominium Conversion & Building Renovation
Western States Real Estate, LLC



508 Chestnut St, Suite 3
Mt Shasta, CA 96067

ATTACHMENT F
HISTORIC REFERENCE DOCUMENTS

| |
|-------------------|
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| DATE ENTERED |

NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

CONTINUATION SHEET 6 ITEM NUMBER 7 PAGE 15

with pressed brick pattern above the storefront windows. Brick pilasters, inlaid with ornamental ceramic tile, divide the facade into three bays. The upper brick wall is painted white, while the recessed pilaster bands are accented with red brick. Three panels of unpainted vertical wood boards extend across the facade above the display windows.

Recent alterations have not eroded the original character of the building. In the last thirty years a stepped projecting cornice, supported by closely spaced brackets, has been removed and stucco applied to the upper wall. The recently applied wood panels have replaced the original band of transom lights above the display windows. Brick facing has been applied to the lower walls beneath the storefront windows.

The Talmage Building is possibly the fourth building constructed on this site. A fire in 1903 and 1921 destroyed an earlier residence and a later two-story commercial building (91, 93, 94). Immediately upon completion of the present building in 1924, the Peoples Cash store expanded its store on the south by cutting an eight foot archway through the south wall of the Talmage Building (22). The Golden Rule, which once had branch stores throughout Southern Oregon and Northern California, became the first tenants of the north half of the building (24).

- | | |
|---|--|
| 9. 5801, 5815 Dunsmuir Avneue 4208, 4212 Pine Street ASSESSOR'S PARCEL NO: 58-112-010 SIGNIFICANCE: Contributing | CONST. DATES: 1917, 1919/1925 ARCHITECT: Unknown CONTRACTOR: Cantrell & Gardner (1917) |
|---|--|

The three-story Hutaff Building/Travelers Hotel is one of the largest buildings in the district, and is dominant both visually and historically in the city of Dunsmuir. This brick and concrete structure located at the principle commercial intersection of Dunsmuir Avenue and Pine Street exhibits restrained elements of Renaissance Revival. Single unadorned pilasters rise from the ground level to an original molded projecting ^{metal} cornice, dividing the building into vertical sections. Narrow belt courses extend across the building at the sill line. On the second and third floors square-headed, one-over-one, double hung sash windows are sometimes grouped in pairs. The two primary facades are faced with stucco.

Some alteration has occurred on the ground level where wood and semi-circular arched, amber windows have replaced large rectangular storefront windows. A gable shake-clad porch roof has been recently affixed to the wall above one of the main entrances .

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NATIONAL REGISTER OF HISTORIC PLACES INVENTORY -- NOMINATION FORM

CONTINUATION SHEET 7

ITEM NUMBER 7

PAGE 16

The Hutaff Building/Travelers Hotel was constructed in three phases between 1917 and 1925. Contractors Cantrell and Gardner began excavation for a two-story brick structure on the north half of the lot in April of 1917 (25). Two years later a third story of brick was added to the existing edifice (26). Soon after Gustav Hutaff purchased the adjoining southerly 50 by 150 foot lot from Frank Talmage in 1924, construction began on a three-story concrete addition (27). Finally, in 1928, J. P. Brennan of Redding was contracted to install an elevator in the hotel. At that time the management announced plans to "place a scenic lounge on the roof of the building for the comfort of guests...(28)."

The Hutaff Building/Travelers Hotel housed the business establishments of some of Dunsmuir's most prominent citizens. Dr. E. J. Cornish, founder of the Dunsmuir Hospital and Sanitarium and long-term physician and surgeon in the town, occupied space on the first floor for several years. Dr. George E. Malone, an established town dentist, early president of the Dunsmuir Board of Trustees, and member of the state legislature in the early 1900s, occupied quarters on the second floor of the building. Gustav A. Hutaff, a prominent town druggist, early president of the State Bank of Dunsmuir, and later, partner in the jewelry firm of Hutaff and Carlquist, conducted his business in the building. The local offices of the California-Oregon Power Company, and the Pacific Telephone Company, were earlier occupants of the building. The well-established White House Grocerateria was a tenant of the building for many years.

Over the years the restaurant, lounge and lodging rooms of the Hutaff Building/Travelers Hotel have been a focal point of social activity for both residents and visitors to the town.

The north half of the existing building replaced a wood frame residence occupied by the Weed family. The south addition was constructed two years after a 1921 fire destroyed a large community hall, theatre and movie house owned by Frank Talmage and known as the Auditorium.

10. 4300 Pine Street
ASSESSOR'S PARCEL NO: 58-111-090
SIGNIFICANCE: Contributing

CONST. DATE: 1921
ARCHITECT: Unknown
CONTRACTOR: B.S. Doty

The three-story wood frame Warner Building is sheathed with narrow horizontal clapboards. The building is set on a concrete foundation, partly above ground, at the southwest corner of Pine Street and Shasta Avenue. Porch balconies extend across the width of the main facade fronting on Pine Street. Three tiers of partially enclosed dog-leg stairs descend to the ground from the rear of the

DUNSMUIR HISTORY

By Ron McCloud -

Owner of Dunsmuir Hardware, Dunsmuir, California
Originally called Levy's Mercantile

Dunsmuir's Travelers Hotel

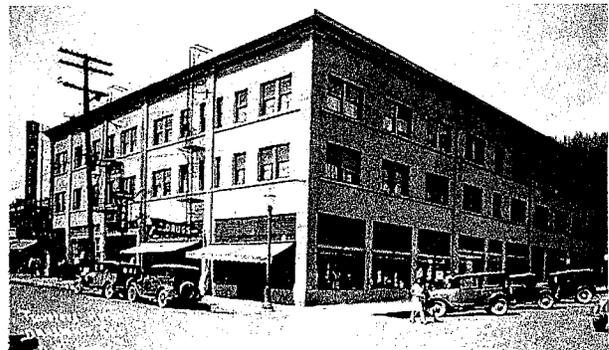
Many small towns as well as larger cities have been shaped by fires. The lack of building codes, safety concerns and effective fire fighting equipment contributed to early destruction and the subsequent rebuilding of Dunsmuir's historic district. Most of the town's historic structures have been touched at one time or another by the effects of fires. The Travelers Hotel is one. Officially known as the Hutaff Building, it was named for Gustav A. Hutaff, a prominent town druggist, early president of the State Bank of Dunsmuir, and a partner in the jewelry firm of Hutaff and Carlquist. He was not only instrumental in the development of the hotel complex, he was also the owner of property that the building occupied, and he conducted his business interests in the building.

The hotel was built in three distinct phases. The northern half was built after fire destroyed a residence occupied by the Weed family on the site. Contractors Cantrell and Gardner began excavation of the lot in April of 1917 and constructed a two story brick building. Two years later the third story was added. Then in 1921 another fire destroyed the large structure immediately to the south. That largely forgotten community hall, theater and movie house

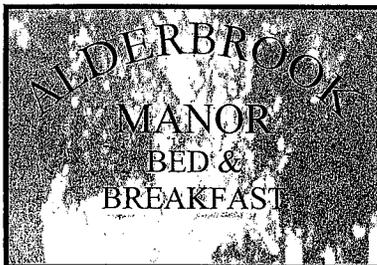
known as the Auditorium was owned by Frank Talmage who was responsible for much of Dunsmuir's entertainment and recreational development including the Joyland complex, the city park and swimming pool. Gustav Hutaff purchased the property from Frank Talmage in 1924 and construction began on the three story concrete addition joining to the south side of the previous three story hotel building.

Some of Dunsmuir's most prominent citizens occupied offices in the hotel. Dr. E.J. Cornish, founder of the Dunsmuir Hospital; Dr. George E. Malone, a town dentist, president of the Dunsmuir Board of Trustees and member of the state legislature; Gustav Hutaff; as well as the California-Oregon Power Company and Pacific Telephone

Company were early occupants. The north-east corner storefront facing onto Florence Avenue (later Dunsmuir Avenue) was occupied by the White House Grocerateria, Eherenman's Mercantile and finally the Big Sporting Goods. Restaurants and lounges in the building were a focal point of social activity for residents and visitors to the town for many years. Notable guests in the Travelers included Clark Gable, Esther Williams, Jack Dempsey, Ginger Rogers, and numerous political figures including president Herbert Hoover and four different governors.



Travelers Hotel, Dunsmuir in 1933 looked much the same as it does today. Photo courtesy of Ron McCloud



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DUNSMUIR HISTORY

continued . . .

The stuccoed brick and concrete structure is one of the largest buildings in Dunsmuir. Other than painting, little alteration has taken place since it was built and the building is visually dominant at its location at the principal commercial intersection of the business district. The original architect is unknown but the hotel is an example of Renaissance Revival style popular in the early 20th century. The Travelers Hotel could tell some fascinating stories of over ninety years of Dunsmuir's history. Visiting dignitaries and common folk, social functions and business dealings have shaped its place in the town but it sits unoccupied today as it awaits a new chapter in its long life.

Ron McCloud is co-author with Deborah Harton of a history of the town of Dunsmuir published by the Arcadia Publishing Company in 2010.



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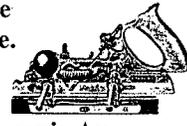


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