



# Parks, Recreation, Trails, and Open Space Master Plan

Town of Marana  
October 2010



# Marana Parks, Recreation, Trails And Open Space Master Plan

# Acknowledgements

## Town Council

Ed Honea, Mayor  
Herb Kai, Vice Mayor  
Russell Clanagan  
Patti Comerford  
Carol McGorray  
Jon Post  
Roxanne Ziegler

## Parks and Recreation Citizen Advisory Commission

John Officer, Chair  
Jayme Kahle  
Bonnie Koeppel, Vice Chair  
Steve Lawley, alternate  
Paul Popelka  
Barb Rivoli (ex-officio)  
Deb Sesow, Secretary  
Larry Steckler  
Tamara Westberg



Marana Town Hall. Photo: PLAN-et

## Town of Marana

Gilbert Davidson, Town Manager  
Deb Thalasis, Assistant Town Manager

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Parks and Recreation Department

Tom Ellis, Director  
Kristy Diaz-Trahan, Recreation Superintendent  
Steve Schmidt, Parks Superintendent  
Matt Meyer, Sports and Aquatics Coordinator  
Darice Larriva-Johnson, Special Interest Class Coordinator  
Marily Payton, Senior Program Coordinator  
Jen Ward, Youth & Inclusion Recreation Coordinator  
Lea Ann Dorrel, Executive Assistant  
Matt Meyer, Sports Coordinator  
Adelina Martin, Special Events Coordinator

## Environmental Engineering Division

Jennifer Christelman, Manager  
Janine Spencer, Environmental Projects Coordinator

## Development Center

Kevin Kish, General Manager Development Services

## Technical Services Division

Chris Mack, Technology Services

## And The Citizens and Businesses of Marana

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Brands at the Stockyards Arena, Marana. Photo: PLAN-et

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**MARANA RESOLUTION NO. 2010-95**

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RELATING TO PARKS AND RECREATION; APPROVING AND AUTHORIZING THE TOWN MANAGER TO IMPLEMENT THE TOWN OF MARANA 2010 PARKS, RECREATION, TRAILS, AND OPEN SPACE MASTER PLAN

WHEREAS on February 3, 2009, the Town Council adopted the Town of Marana Strategic Plan to serve as the foundation for the Town's future; and

WHEREAS the Strategic Plan identifies five focus areas that are priorities for achieving the Town of Marana's vision; and

WHEREAS Recreation is one of the five focus areas identified in the Strategic Plan; and

WHEREAS the Recreation focus area includes an initiative to identify, undertake and/or complete planning processes for parks, open space, and recreation facilities; and

WHEREAS during the period between 2008 and 2010, the Town of Marana Parks and Recreation Citizens Advisory Commission completed a master planning process; and

WHEREAS as a part of the master planning process, citizens participated in focus groups, public meetings, a scientific telephone survey, and presentations at community events to provide input into the planning process; and

WHEREAS the Town of Marana Parks and Recreation Citizens Advisory Commission has reviewed the 2010 Parks, Recreation, Trails, and Open Space Master Plan and recommends that it be approved by the Town Council; and

WHEREAS the Town Council finds that adoption of the 2010 Parks, Recreation, Trails, and Open Space Master Plan as set forth in this resolution is in the best interests of the Town and its residents.

NOW, THEREFORE, BE IT RESOLVED BY THE MAYOR AND COUNCIL OF THE TOWN OF MARANA, ARIZONA, AS FOLLOWS:

SECTION 1. The Town of Marana 2010 Parks, Recreation, Trails, and Open Space Master Plan, attached to and incorporated by this reference in this resolution as Exhibit A, is hereby approved, and the Town Manager is hereby authorized to implement it for and on behalf of the Town of Marana.

SECTION 2. The Town's Manager and staff are hereby directed and authorized to undertake all other and further tasks required or beneficial to carry out the terms, obligations, and objectives of the aforementioned Town of Marana 2010 Parks, Recreation, Trails, and Open Space Master Plan.

PASSED AND ADOPTED BY THE MAYOR AND COUNCIL OF THE TOWN OF MARANA, ARIZONA, this 5<sup>th</sup> day of October, 2010.

  
\_\_\_\_\_  
Mayor Ed Honea

ATTEST:

  
\_\_\_\_\_  
Jocelyn C. Bronson, Town Clerk

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Frank Cassidy, Town Attorney





Ora Mae Harn Park

Photo: PLAN-et

# Executive Summary

## Preface

Parks and recreation programs and facilities are widely recognized as essential community components. Well run programs enrich citizen social and educational life; a diverse selection of well maintained parks and recreation facilities attract new residents and create a high quality of life for current residents. Special Events attract visitors and enhance community revenues.

Marana's parks, trails and recreation programs are recognized by its residents as important to their quality of life and well-being. They support the Parks and Recreation Department through attendance at community events, high use of facilities and high program attendance. Residents participating in the development of this Plan recognize that it is an important document that provides long-term guidance for the Town's Parks and Recreation Department to maintain and enhance its' role in contributing to the high quality of life residents enjoy.



Soccer Fields at Ora Mae Harn Park.  
Photo: PLAN-et

## Green Infrastructure

This Plan recognizes Town parks, recreation facilities and programs as the Green Infrastructure that sustains Marana and is essential to community life. Like roads, water and sewer lines, Green Infrastructure is part of the lifeblood of community and includes Ecological Assets (Marana's open spaces), Human Assets (facilities, programs and special events), and Sustainable Assets (operations, maintenance, and financing). Understanding the function of parks and recreation facilities and programs as infrastructure critical to the Town positions Marana's Parks and Recreation Department to function efficiently in a national and local environment where the role of parks and recreation departments is changing.

## Recreation Diversity

Marana offers a wide array of parks, trails, natural areas, developed parks and programs to its residents. Unique natural features include the Santa Cruz River, Tortolita Mountains and Fan, and immediate access to the Saguaro National Park and the Ironwood Forest National Monument. The Town maintains an extensive trail system along

# Marana Parks, Recreation, Trails And Open Space Master Plan

the River and within the Tortolita Mountain Park. It provides, via the private and public sectors, neighborhood parks within walking distance of most houses, and community and district parks with fields and special facilities such as swimming pools, skate parks, dog parks and sand volleyball courts.

The Town park and public facility inventory includes eight existing public and 36 private, neighborhood parks. Public facilities include a senior center, skate park, and a swimming pool. Private recreation facilities include the Heritage Highlands Clubhouse and Gallery Sports Club (Dove Mountain). Public, Pima County owned district parks include the County owned and privately managed Mike Jacobs Sports Park and the County-owned and managed Arthur Pack Regional Park.

## Major Topics Addressed by This Plan

### New Parks and Facilities

As the Town's population grows, it will need to secure additional parkland, build new facilities and adjust its program offerings. These needs are especially challenging given the budgetary challenges associated with the 2008 - 2011 national recession.

Important to meeting Town Parks and Recreation need is providing facilities for recreation programs. This Plan outlines service and facility standards for neighborhood, community, district and regional parks. It additionally recommends that all district parks

include a community center, and that when possible and practical, community centers be provided in community parks.

The current system for securing parkland is development based. As a result, the Town is well supplied with neighborhood parks, but recognizes that gaps exist in the provision of community and district parks. This Plan suggests options for ensuring that future development results in a more even distribution of parks throughout Marana.

Using the service standards included in this Plan, it is projects that approximately 18 parks will be demanded by 2020: 10 neighborhood, six community, one district and one regional park.

### Trail Connectivity

The Town is bisected from north to south by natural and man-made features. Interstate 10, the Santa Cruz River, Brawley Wash, the Union Pacific Railroad Tracks, and the Central Arizona Project Canal provide benefits to the Town and challenge east-west trail connectivity. The Plan includes action strategies to connect trails across the I-10 and along washes, creating a seamless trail network throughout the Town.

### Parks And Trail Types And Standards

This Plan establishes park and trail types and standards for development and construction. The Plan establishes neighborhood, community, district, regional and special use park types. For each park type, minimum acre-

age, facility and design standards are established in this Plan.

The Plan establishes trail and path locations and standards. Trails and parks within Marana are constructed by the Town and private development. This Plan includes design standards to ensure trails, trailheads, and paths are constructed to a consistent design standard. A separate document provides construction standards for parks.

### Recreation Programs And Fee Philosophy

Recreation programs are staff intensive and pose a potential for revenue loss. The Plan identifies a range of options to reduce Departmental program costs, as well as enhancing the range of programs offered by the Department. A four-tier fee philosophy, allowing for a range of programs necessary to the Town, is also discussed.

### Special Events

The Parks and Recreation Department provides a range of special events for the Town. This Plan recommends that these events be carefully examined with regards to the extent to which they fulfill the mission of the Parks and Recreation Department. Additionally, the Plan suggests that events be timed and targeted to specific market opportunities so their revenue generating potential can be maximized.

## Operations and Maintenance

The operations and maintenance of parks and recreation facilities is inextricably tied to their use and contribution to the quality of life in the Town. This Plan uses National Recreation and Parks Association standards for maintenance and applies them to Town facilities. Additionally, it includes recommendations to ensure maintenance of private parks in a manner that meets the standards of the Town.

## Financing

Park demand forecasts prepared for this Plan show the total unmet demand for developed park land in the Town is projected to be approximately 585 acres by 2020. A substantial amount of that total is due to the unmet need for a regional park within the Town. Assuming the construction of the BOR Regional Park proceeds, and the Sanders Grove and Cascada community and Pima Farms Trailhead parks proceed, this estimate could be reduced by approximately 564 acres - leaving a need for 158 new acres of developed neighborhood, community and district parkland through 2020 (Table F.11). Based on Today's market, vacant land ranges from \$15,000 to \$30,000 per acre, depending on zoning, infrastructure and location. Including land already owned by the Town, acquisition of land for future parks could cost from \$2.35 million to \$4.7 million. Additional costs for park construction substantially increase that amount.

To reduce the capital outlay required to supply the Town's Green infrastructure, the

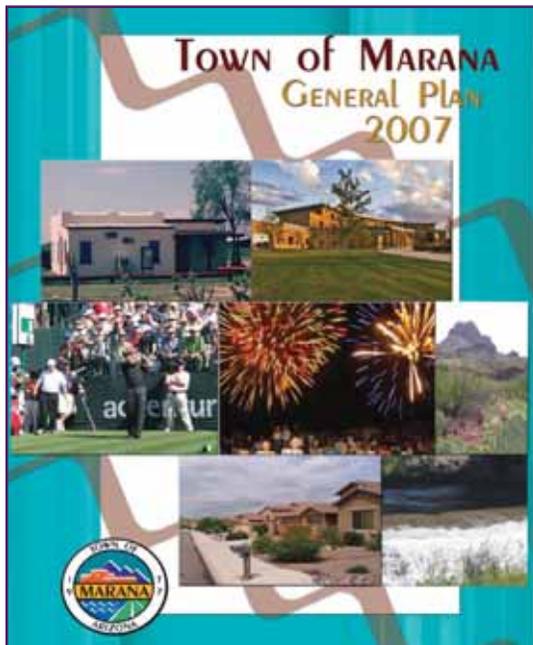
Funding and Implementation chapter of this Plan recommends partnerships, land banking, and working with private recreation providers to provide facilities and services.



Crossroads at Silverbell Park

by PLAN-et

# Purpose Of The Plan



Marana General Plan. 2007.

This Master Plan recognizes how the Town of Marana Parks and Recreation Department provides critical operational and quality of life services for Marana residents and defines goals, policies, and action strategies for facilities and programs enabling the Department to continue these services over the next decade.

To meet the challenges of the next decade this Plan recognizes the Town's parks and recreation system as the Town's Green Infrastructure<sup>1</sup> - a critical portion of the community's infrastructure. Like water, sewer, roads and safety services, Marana's Parks and Recreation System furthers the health, welfare and economy of the Town. The Plan enhances the traditional notion of green infrastructure to mean the environmental and human assets and the sustainable elements of the Town's parks and recreation facilities and programs. This concept is more fully explained in the Vision Chapter of the Plan.

<sup>1</sup> Green Infrastructure is an interconnected network of waterways, wetlands, woodlands, wildlife habitats and other natural areas; greenways, parks and other conservation lands; working farms, ranches and forests; and wilderness and other open spaces that support native species, maintain natural ecological processes, sustain air and water resources, and contribute to the health and quality of life for America's communities and people (Benedict and McMahon, 2006)."

The goals, strategies and actions in this Plan will enable the Parks and Recreation Department to meet the challenge of the changing role of recreation in a sustainable manner. This role includes viewing parks and recreation departments as key players in a community's physical health and in the fight against youth and adult obesity. Parks and recreation departments are being asked to participate in community education, health and wellness for a population that is living longer and to enhance the breadth of learning opportunities for youth. Parks and recreation departments are expected to be leaders in supporting the natural environment of a community by creating parks that conserve valuable natural habitats, open spaces, views and groundwater. They are also recognized as the leaders in fostering a sense of community and connectedness through special events, supporting artistic and cultural activities and contributing to community mobility through off-street trails and bicycle facilities. Through implementation of this Plan, the Marana Parks and Recreation Department will continue to support the Town in these areas.

This Parks, Recreation, Trails and Open Space Master Plan is a working document for citizens, staff, elected officials and those doing business

# Marana Parks, Recreation, Trails And Open Space Master Plan

with the Town as well as those that operate businesses within the Town. It contains chapters organized around the ecological and human green infrastructure assets, and sustainable green infrastructure elements. This plan was developed through a public process that is described in the Community Ideas chapter.

## HYPERLINKS:

Brown Text denotes a link to another document or resource. To explore the link, position your cursor over the highlighted text, press the Ctrl Key and click on the link.

## Plan Authorities

This plan updates the July 2000 **Town of Marana Park, Trails and Open Space System Master Plan** and moves forward the broad goals, policies and actions contained in the Town's adopted General Plan.

## Plan Organization

This plan is organized into four sections: Introduction, Green Infrastructure Ecological Assets, Green Infrastructure Human Assets and Green Infrastructure Sustainable Assets. Within the Introduction Section, the Plan includes chapters that describe the

planning context, outline information relevant to the implementation and development of this Plan, summarize other documents that will provide additional guidance in Plan implementation and describe the relationship of this Plan to the **Town of Marana Strategic Plan**, the Parks and Recreation Master Plan planning process and the Master Plan Vision. The Plan Vision describes the concept of Green Infrastructure, and how the components of Marana's parks and recreation programs and facilities function as Marana's Green Infrastructure.

The Green Infrastructure sections of the plan include chapters addressing open space, parks, trails, programs, special events, operations, and maintenance and financing. Each of these chapters include a short overview of current conditions, a discussion of opportunities, challenges, and results as well as goals, policies and action strategies relevant to the service area. It is these goals, policies and, action strategies that guide and implement this plan.

## Other Relevant Documents

Marana and its neighbors, Tucson, Oro Valley, Pima and Pinal Counties, the Saguaro National Park, and the Ironwood Forest National Monument recognize the value of the natural areas within their jurisdiction. Each prepared plans and supported organizations to conserve these resources while encouraging appropriate use. The documents that have informed the preparation of this plan include:

**Town of Marana General Plan 2007** - The Town's General Plan includes a Recreation and Open Space element. The element includes four goals, supported by policies and actions. The Plan goals are:

- Protect and preserve natural open spaces;
- Plan and develop a comprehensive system of trails that connects regional trails with local trails, parks, neighborhoods, and recreational amenities;
- Provide a system of developed parks and recreational facilities throughout the community;
- Provide a balanced range of recreation programs for the entire community.

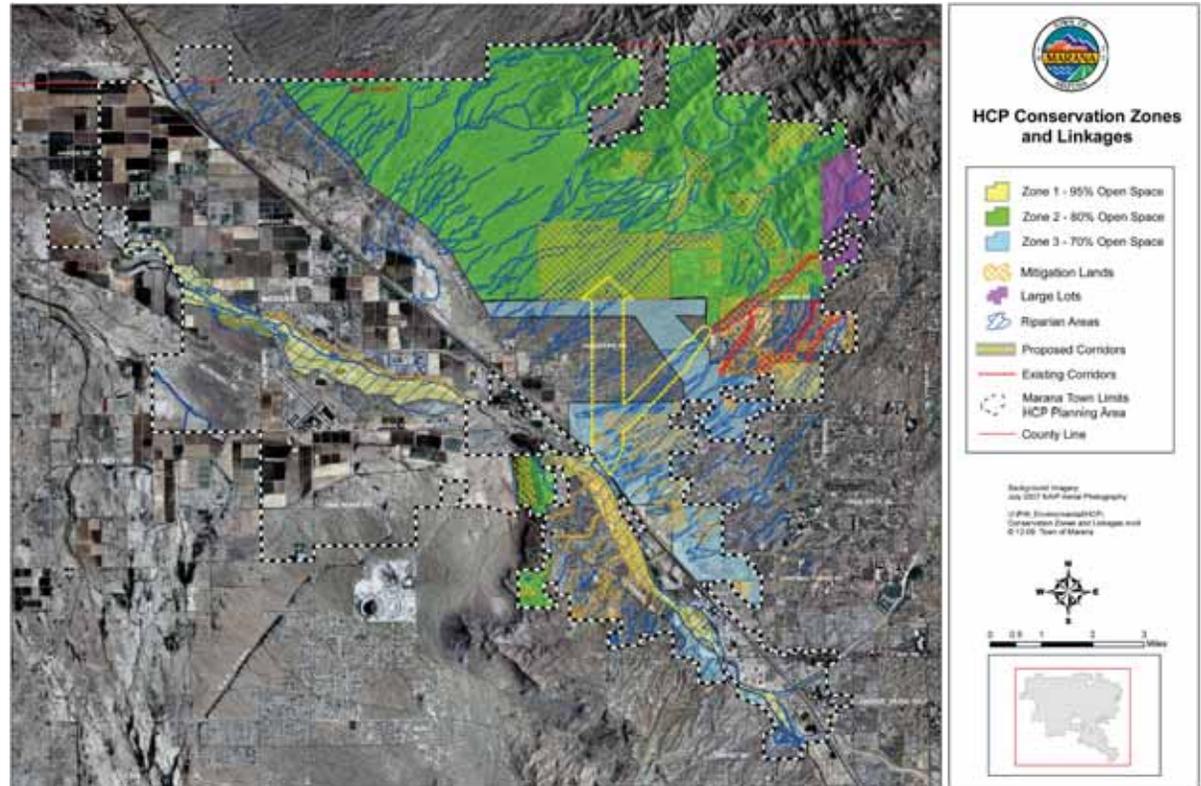
**Town of Marana Parks, Open Space and Trail System Master Plan 2000** - This plan was developed to provide guidance to the Parks and Recreation Department through 2020, as well as provide input into the Town's General Plan. The Plan identifies elements of the parks, trails and open space system, sets standards for parks and trails and projects future park land acquisition and park development needs. It includes goals, policies and strategies for addressing projected parks and recreation needs.

**Town of Marana Draft Habitat Species Conservation Plan** - The draft, and when adopted, the final Habitat Species Conservation Plan will provide policies and guidance regarding open space in Marana. (Contact the Town for the most current version of this document.)

**Oro Valley General Plan 2005** - The Town of Oro Valley zoning ordinance and General Plan include strong regulations and guidance regarding protection and provision of open space, trails, and park facilities. The plan recognizes the importance of Catalina State Park and the Tortolita Mountain Park as open space resources to Oro Valley. Its implementation commits the Town to working cooperatively with neighboring jurisdictions to provide for joint multiple use facilities and public access to these resources.

Trails planning in Oro Valley is guided by the **November 2002 Oro Valley Trails Task Force Report**. Updated in 2008 with a Trails Plan Implementation Report, the Plan summarizes trail accomplishments and identifies new project and program priorities. Several projects share, or have the potential to share continuous corridors with Marana. These include the Cañada Del Oro Wash and trail-heads on the east end of the Tortolita Mountains.

**Pinal County Open Space and Trails Master Plan** - Pinal County adopted its Open Space and Trails Master Plan in 2008. The County Plan establishes the Juan Bautista de Anza (de Anza) Trail alignment, recognizes the trail along the Central Arizona Project and proposes two additional alignments within the Pinal County portion of the Marana Planning Area. It identifies Tortolita Mountain Park as a passive recreation resource. The Plan also identifies Pinal County, the Bureau of Land Management (BLM), Bureau of Reclamation (BOR), Arizona State Land Depart-

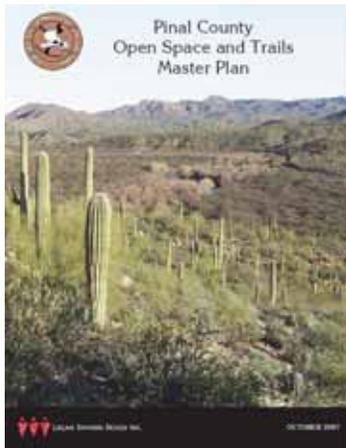


Draft Marana Habitat Conservation Plan Conservation Areas and Linkages. January, 2010

# Marana Parks, Recreation, Trails And Open Space Master Plan

ment (ASLD) and private property owners as the primary entities responsible for implementation of planned parks and trails within Marana's Planning Area.

**Pima County Regional Trail System Master Plan (2010)** - New trail standards, signing, and trail alignments and trail locations highlight this planning effort updating the 1996 Eastern Pima County Trails Master Plan. The Plan also covers trails parks; trailheads, nodes, and boundary access points; various crossings (grade-separated and at grade); and bicycle and pedestrian focused improvements. It specifically identifies several trails, river parks, paths and greenways within the Town including the Juan Bautista de Anza Trail along the Santa Cruz River, Rillito and Cañada Del Oro River Parks, paths and/



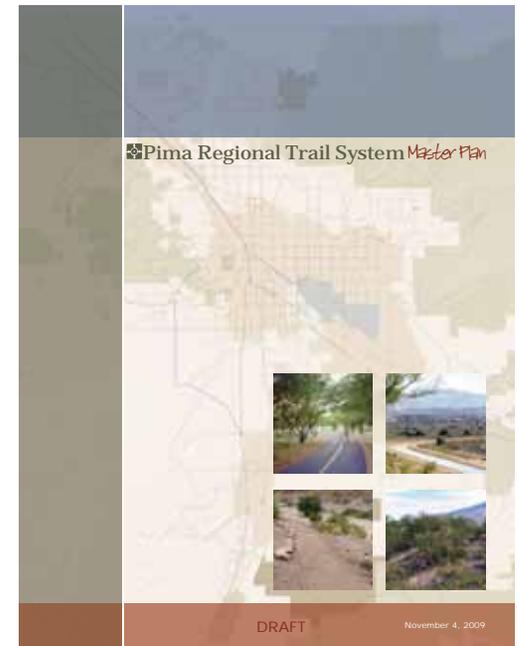
Pinal County Open Space and Trails Master Plan

or trails along Tangerine, Barnett, Moore, Silverbell, Postvale, Sanders Roads, trail alignments along the Butterfield State Route and the Central Arizona Project (CAP) and Greenways along Tangerine Road, Avra Valley Road and Sandario Road. In addition, the Plan includes backcountry trails in Tortolita Mountain Park, the Brawley Wash, and routes into the Ironwood Forest National Monument.

**Ironwood Forest National Monument Draft Resource Management Plan** - Adopted in 2009 this plan focuses on protecting natural, cultural, and visual resources, managing current and future visitors, and increased future use resulting from expanded urbanization in Tucson, Marana and State Trust Land. The RMP proposes alternative actions that the BLM might take with regards to the Monument. Generally, the Monument will partner with other entities and organizations to conserve the natural and cultural resources within the monument and manage the area as a remote area that provides minimal facilities for camping, off-road vehicles and hunting. Specifically, the recommended RMP actions include:

- Coordination with entities that manage archeological resources;
- Partnering with organizations that are pursuing heritage tourism;
- Coordinating with adjacent jurisdictions and planning authorities to manage visual resources consistently on lands adjacent to the monument lands;

- Manage for the use and discharge of firearms;
- Establish visitor centers;
- Manage for sight-seeing, driving for pleasure, vehicle touring, and OHV recreation;
- Provide minimal improvements and maintenance to accommodate allowable uses in accordance with RMP objectives;
- Establish restrictions to limit motorized vehicle use, non-motorized use, non-motorized mechanized use to designated routes, and limit recreation use



Pima Regional Trail System Master Plan. 2009

to designated sites in accordance with RMZ objectives and prescriptions.

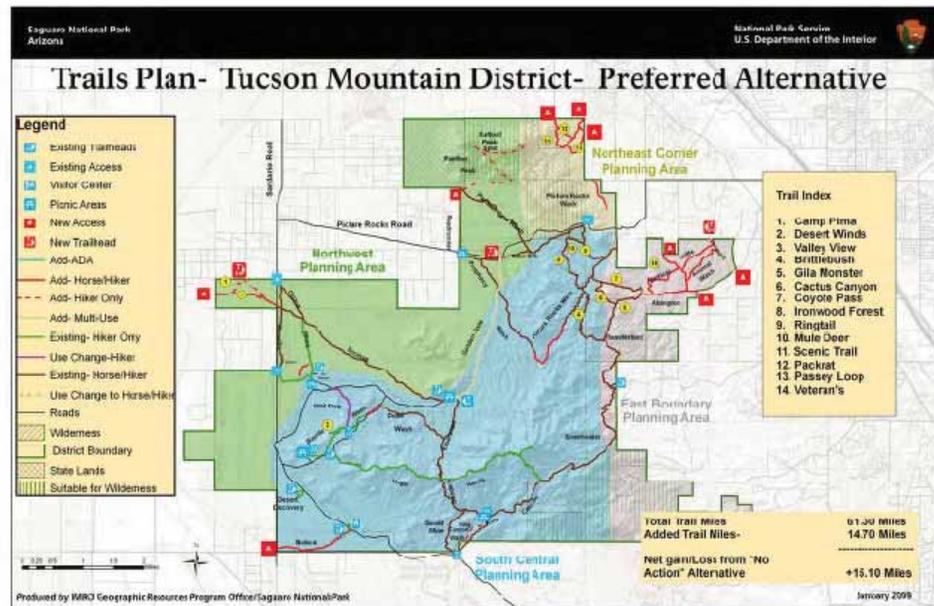
**Saguaro National Park Comprehensive Trail Management Plan 2009** - The purpose of this plan is to prevent impairment and unacceptable impacts on natural and cultural resources; provide reasonable access to the trail network and trailheads; eliminate unnecessary and/or parallel/duplicate trails; ensure a safe and maintainable trail network; provide for a clearly designated trail system; and offer a variety of trail experiences. This plan adds three new horse/hiker trails (Scenic, Packrat and Passey Loop) to the northeast corner planning area adjacent to Marana and new trailheads at Torngat Court, and at Scenic Drive.

**GOALS, POLICIES AND STRATEGIES:**

A **goal** is a general, long term guideline that explains what the Town of Marana wants to achieve with regards to the provision of parks, trails, open spaces and recreation services for the community.

A **policy** is an operational guideline that accomplishes the goal. Because a goal is broad and long term, several policies may be appropriate to accomplish it.

An **action strategy** is a specific action or set of actions that implement, or execute, the policy.



Saguaro National Park Comprehensive Trails Management Plan. 2009.

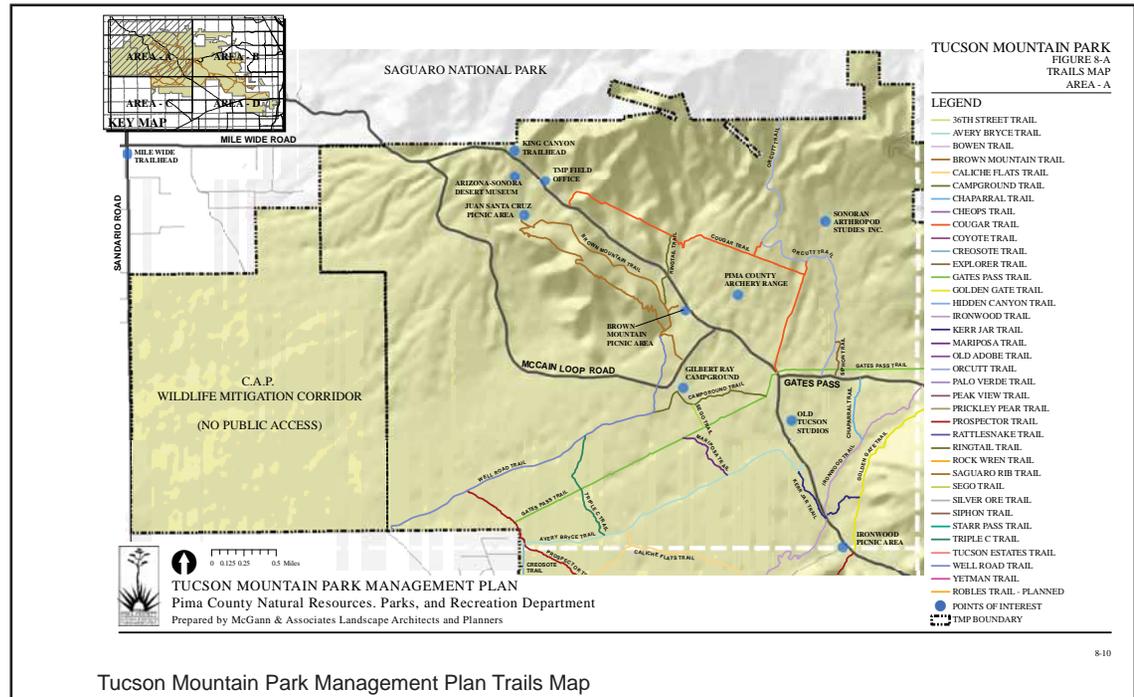
# Marana Parks, Recreation, Trails And Open Space Master Plan

Tucson Mountain Park Management Plan 2008 - Tucson Mountain Park is a 37 square mile natural resource park located south of Saguaro National Park West in Pima County. The site encompasses much of the southern portion of the Tucson Mountain range and portions of the alluvial area to the west. There are several distinct areas that are collectively managed as Tucson Mountain Park including:

- Lands historically included in Tucson Mountain Park;
- The Central Arizona Project (CAP) Wildlife Mitigation Corridor ;
- The Robles Pass Trails Park;
- The BLM Expansion Area.

The Management Plan identifies management objectives, articulates policies, and lists specific actions for Park management of Tucson Mountain Park. Information on management of biological, cultural, visual and physical resources and public use facilities is included in the Plan along with identification of park trails, roadways and maintenance facilities. The Plan guides park administration and management.

PURPOSE OF THE PLAN



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Santa Cruz River  
Photo: PLAN\*et

# Vision

## Introduction

Marana is a growing community offering a high quality of life for its citizens and businesses. The Silverbell and Tucson Mountains to the west, and the Tortolita and Santa Catalina Mountains on the east provide a dramatic backdrop and remarkable, accessible, open spaces for the Town. The Santa Cruz River and the historic Juan Bautista de Anza Trail create a recreation and open space corridor passing through the community. This corridor connects neighborhood, community, and district parks to undeveloped open spaces and other destinations. Marana residents recognize their quality of life is enhanced by these natural resources. They also recognize that community resources - hiking clubs, sports leagues and recreation programs are supported by the Town's natural environment. The environment, Town operated recreation programs and Town and privately developed and operated recreation facilities form the building blocks of community.

When asked about their vision for the Marana Parks, Trails, Open Space and Recreation Master Plan, Town residents, businesses and staff identified a broad range of aspirations addressing all aspects of community life:

- Conserving open space;
- Providing places and facilities for active, outdoor and indoor recreation;
- Contributing to a more sustainable environment;
- Providing non-traditional educational opportunities for citizens;
- Providing opportunities for healthy lifestyles and activities;
- Contributing to the local economy
- Enhancing the reputation of the Town as a destination for outdoor activities and recreation;
- Recognizing the Town's agricultural heritage;
- Recognizing the Town's prehistoric heritage.

These hopes combine with the area natural resources, Town parks, recreation programs, and facilities as the building blocks for a vision for Marana's sustained quality of life.

Green Infrastructure is a network of multi-functional green and open spaces that contributes to a high quality natural and built environment and is



Marana is framed by mountains and open spaces.  
Photo: PLAN\*et.

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an integral component of a high quality of life in a sustainable community. The concept of Green Infrastructure can include:

- Community green spaces within subdivisions;
- Wash, river and wildlife corridors;
- Brownfields and greenfields;
- Public and private parks and play areas;
- Natural and semi-natural wildlife and vegetative habitats;
- Cemeteries;
- Agricultural areas;
- Historic landscapes;
- Nature reserves;
- Local, state and national cultural sites and monuments;
- Development sites with the potential for open spaces and trails;
- Public and private trails, routes, paths, trailheads and other recreational routes, with and without public access, and in both urban and rural locations.

Planning Marana's Parks and Recreation System as Green Infrastructure moves the Town closer to its aspirations by providing Master Plan goals, policies and strategies that will:

- Contribute to the management and administration, conservation and improvement of the local landscape;
- Contribute to the protection, conservation and management of historic landscapes, archaeological and built heritage assets;
- Maintain and enhance biodiversity to ensure that the Parks and Recreation

Master Plan supports the Town's Draft Habitat Conservation Plan;

- Result in the creation of new recreation facilities, programs and open spaces necessary to maintain the quality of life for current and future residents;
- Result in parks and recreation facilities that integrate with natural processes and systems;
- Result in the management and administration of the Parks and Recreation Department in a way that ac-

commodates sustainable growth and provides for sport and recreation;

- Result in facilities that provide high standards of quality and sustainability to deliver social, economic and environmental benefits;
- Provide a focus for social inclusion, community development and lifelong learning.



The Santa Cruz River is a key ecological asset within the Town.

Green Infrastructure refers to an interconnected green space network. This could include natural areas and features, public and private conservation lands, working lands with conservation values, parks, trails and other public and private open space.

**Green Infrastructure: Linking Landscapes and Communities.** Mark Benedict and Edward T. McMahon.

Defining Marana's Parks and Recreation facilities as Green Infrastructure, means the Town's natural and man-made recreation facilities and programs are systems and networks supporting and enriching Marana's social and natural environment. They help protect and restore social and natural ecosystems and provide a framework for the future.

A green infrastructure system, has important sustainable outcomes including:

- Enriched habitat and biodiversity (through conservation of natural resources and resource links such as rivers, washes, wildlife corridors and open spaces);
- Natural landscape processes implemented through sustainable design and management practices of parks and open spaces;
- Cleaner air and water through the use of design techniques that reduce carbon emissions and recharge storm water;
- Increased recreation and transportation opportunities (as a result of understanding trails and recreation facilities as part of a larger transportation system);
- Improved public health (as a result of more people participating in activities and programs);
- Connection to nature and sense of place through meaningful design;
- Enhanced economies of operations



Trails, such as this one through Gladden Farms, are part of the Town's Human Assets. Photo: PLAN-et.

through well planned parks, open spaces, and natural areas which have also been shown to increase property values and decrease the costs of public infrastructure and public services, including the costs for stormwater management and water treatment systems.

Marana's green infrastructure, like any infrastructure system, has ecological, human and sustainable assets. The ecological assets embrace and permeate the community and include the natural desert, rivers, washes, canals and open spaces providing recreation opportunities. These assets support human elements such as trails, parks and community facilities that provide a range of recre-

# Marana Parks, Recreation, Trails And Open Space Master Plan

ation, social and environmental experience. Finally, the ecological and human assets are complemented by sustainable elements such as green building practices, recycling, and water recharge, when practical and possible.

## Vision: Ecological Assets

Ecological Assets are those elements of the Town's Green Infrastructure supporting wildlife, providing an environment for natural processes and vegetation, and constituting scenic views and the natural elements of the Town's setting. Ecological Assets include national forests, parks and wilderness areas, rivers and their 100-year floodplains and washes as well as undeveloped public and private land that has ecological values. Connecting these assets to each other by natural corridors such as rivers, washes, mountain ranges and open spaces should be pursued at every opportunity.

Marana's ecological assets are the open spaces within and around it. These include the Santa Cruz River, the Catalina, Tucson, Silverbell and Tortolita Mountains and the Tortolita Fan and the Los Robles/Brawley and Cañada del Oro washes. These areas continue to be maintained as natural areas by the Town and other entities. They are accessible to Town residents and are known as regional and statewide destinations that attract visitors to Marana and contribute to the Town's economy.

The ecological assets are supported by the Town's Draft Habitat Conservation Plan and

Marana is fortunate that it's Ecological Assets are substantial and connected to larger natural systems. The Ironwood Forest National Monument and Saguaro National Park are connected by the Santa Cruz River and it's floodplain weaving northeast towards Picacho Peak State Park and to the Catalina Mountains via Cañada Del Oro Wash.

The Tortolita Mountains and Tortolita Fan are connected to Coronado National Forest and Tortolita Mountains in Pinal County. The Santa Cruz River and La Cañada del Oro and Los Robles/Brawley Washes are, in their own right, significant Ecological Assets. There has been much work on the part of the County, the Coalition for Sonoran Desert Protection and the Town of Marana to preserve open space in the area of I-10 and Avra Valley Road. A proposed ecological asset and likely area for a regional wildlife corridor includes the land linking the abandoned railroad underpass along Interstate 10 near Avra Valley Road to the Tortolita Mountains and the Tucson Mountains.

Planning by other jurisdictions also proposes connecting Ecological Assets across jurisdictional boundaries. A goal of the Pima County Multi-species Habitat Conservation Plan and the Marana Draft Habitat Conservation Plan is to connect the Tucson and Tortolita Mountains.

## Vision: Human Assets

Human Assets are places people interact. They include parks, trails and buildings supporting the social networks of the community.

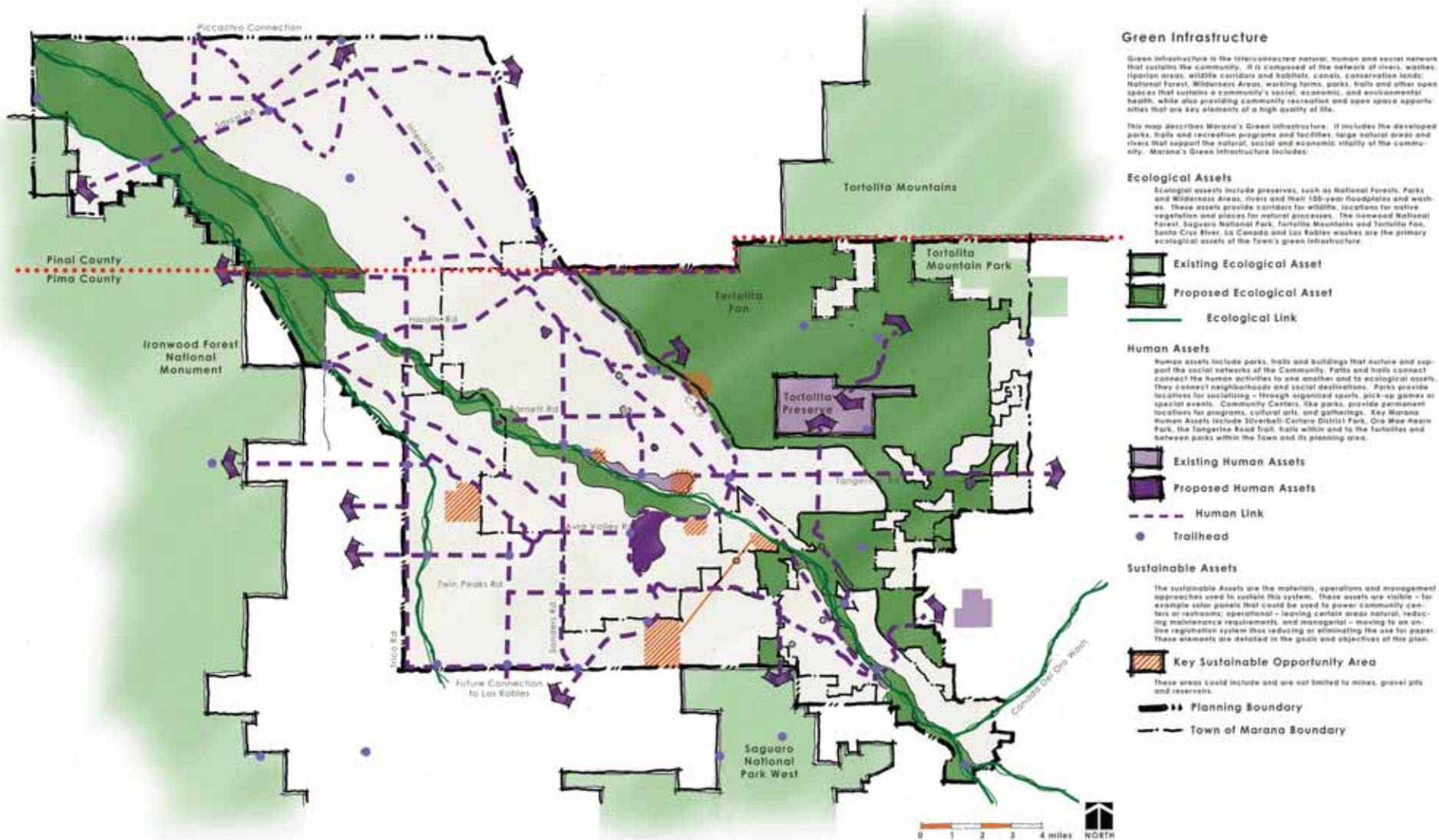
Paths and trails connect Human Activities to one another and to ecological assets. They connect neighborhood and social destinations. Parks provide locations for socializing, organized sports, pick-up games or special events. Community centers provide permanent locations for programs, cultural arts, and gatherings. Key Marana Human Assets include Crossroads at Silverbell Park, Ora Mae Harn Park, the Santa Cruz Multi-Use Path, trails within the Tortolita Mountains and Fan and trails between area parks. Human assets serve as connections to and between ecological assets when the latter do not naturally connect.

**Parks** - Marana's parks provide safe, well maintained and pleasant places and facilities for residents of all ages to enjoy organized sports, unstructured play, passive activities, community and family social events and celebrations.

**Paths and Trails** - The non-motorized network of shared-use paths, trails, and trail-heads link people to place within the Town and region. This trail network provides a safe, enjoyable and healthful experience for users and showcases Marana's heritage, contributing to the strength of its economy, culture, and quality of life.

**Programs** - The Town of Marana provides a broad spectrum of recreation programs, events, and services to the community. These services weave the fabric for developing a strong sense of community reinforcing the importance of life quality in Marana.

# Map OS.1: Marana's Green Infrastructure



# Marana Parks, Recreation, Trails And Open Space Master Plan

## Vision - Sustainable Assets

The Sustainable Assets are the materials, operations and management approaches used to sustain the Green Infrastructure. These assets are visible (for example solar panels that could be used to power community centers or rest rooms) and operational (leaving certain areas natural which helps to reduce maintenance requirements). Sustainable Assets are also economic and managerial. For example, funding maintenance and new facilities necessary to sustain current service levels or using an on-line registration system to reduce or eliminate the use of paper. These assets are described in the Operations and Financing chapters.

**Operations** - The Town has a dedicated parks and recreation staff that is committed to providing quality, well maintained facilities as well as a variety of well organized recreation services to the residents of the community.

**Financing** - Marana's parks, programs and recreation facilities reflect a blend of public and private financing, entrepreneurial ventures and partnerships.

## Green Infrastructure Forms A Framework For This Plan

Much like Grey Infrastructure such as roadways, water and sewer systems, parks and recreation systems are the Green Infrastructure that is fundamental to the quality of life in a community. When a community builds

a road, water or sewer line it builds them to specific standards with capacity to meet specific service levels. In order to construct the roads and water and sewer systems that are the components of Grey Infrastructure, designs and funding strategies must be developed. Finally, as part of any infrastructure program, a community puts in place a maintenance plan to ensure its infrastructure continues to perform.

These same concepts and elements apply to Marana's Green Infrastructure and are included in this Plan. They are:

- Goals that describe residents' aspirations for the Town's Green Infrastructure;
- Park and recreation service levels that were determined by the community. The service levels reflect the desires of Marana residents and businesses and consider the economic generator role played by parks and recreation services.
- Strategies and standards to ensure that programs, facilities, and parks meet community demand and aspirations;
- Classifications that describe the types of parks, trails, and facilities that comprise the system;
- Funding and implementation options to ensure the Green Infrastructure is put in place;

- Standards to ensure that the elements of the system are implemented and operated in a manner that is sustainable - in other words, beneficial to the community as a whole.

The Green Infrastructure emphasis of this plan also supports the Draft Marana Habitat Conservation Plan. This plan is in the development process and complements the Pima County Habitat Conservation Plan. It identifies conservation and mitigation areas throughout the Town. These areas are key to the conservation and preservation of wildlife and vegetation that defines the Sonoran Desert and Marana.

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# PATHS TRAILS

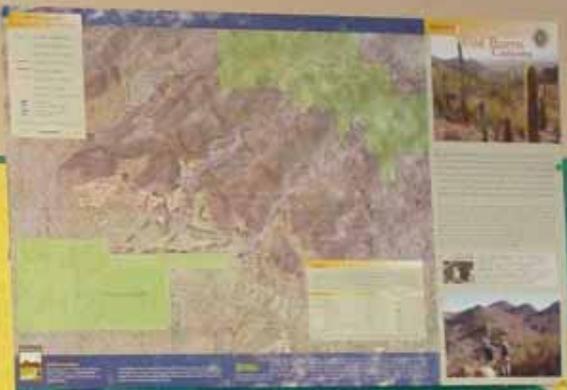
**GOAL:** DEVELOP A CONNECTED AND CONTINUOUS SYSTEM THAT SERVES BOTH RECREATION AND TRANSPORTATION NEEDS AND IS INTEGRATED INTO AN OVERALL MULTI-MODAL SYSTEM.

**QUALITY**  
**DESIRABLE**  
 THAT APPEAL  
 BE BEYOND  
 EXPERIENCES  
 SECTION  
 TECHNIQUES  
 VARIOUS  
 ARE  
 IDENTIFYING  
 THE AREA

**Policy/Deliverable:**

- PROVIDE CONTINUOUS ROUTES WITH MINIMAL GAPS AND LOOPS OF VARIOUS LENGTHS
- MAXIMIZE ALL OPPORTUNITIES FOR CONNECTIONS BETWEEN NEIGHBORHOODS AND LOCAL DESTINATIONS SUCH AS SCHOOLS, PARKS, AND OTHER COMMUNITY FACILITIES AS WELL AS TO REGIONAL DESTINATIONS, REGIONAL PATH & TRAIL CONNECTIONS & EMPLOYMENT BUSINESS DISTRICTS
- PROVIDE LINKAGES AND SHADOW CONNECTIONS BETWEEN SIDEWALKS, TRAIL PATHS, BIKE LANES, & TRAILHEADS
- INTEGRATE PATH & TRAIL OPPORTUNITIES AND TRANSPORTATION POINTS BETWEEN TRANSPORTATION MODES
- MAKE FULL USE OF REGIONAL LINEAR CORRIDORS (C.A.P.) POWER CORRIDORS, BOUNDARY ADJUSTMENT AND OTHER TRAIL AREAS

SO, WHAT DO YOU THINK?



**GOAL:** PROVIDE ACCESSIBLE, WELL-MANAGED AND MAINTAINED NATURAL RESOURCE PARKS WHERE INDIVIDUALS AND FAMILIES CAN RECREATE WITH THEIR NEIGHBORS & STRANGERS

**Policy/Deliverable:**

- ACQUIRE, ESTABLISH, OR MAINTAIN PROTECT THE INDIVIDUAL OPEN SPACE AREAS IDENTIFIED IN THE PLAN AND INCREMENTALLY CREATE THE OVERALL OPEN SPACE SYSTEM NOTED IN THE MASTER PLAN

**GOAL:** PROVIDE ACCESSIBLE PARKS, TRAILS, AND FACILITIES THAT ALLOW PHYSICALLY AND VISUALLY IMPAIRED INDIVIDUALS TO RECREATE OUTDOORS AND ENJOY THE SONORAN DESERT ENVIRONMENT

**Policy/Deliverable:**

- DESIGN CONTACT PARKS TO BE ACCESSED WITHIN THE OPEN SPACE SYSTEM TO THE MAXIMUM EXTENT POSSIBLE BY ALL PHYSICALLY AND VISUALLY IMPAIRED INDIVIDUALS

# PARKS & PARK FACILITIES

**GOAL:** PROVIDE NEIGHBORHOOD, COMMUNITY, DISTRICT, & REGIONAL PARKS TO MEET CURRENT & FUTURE NEEDS

**Policy/Deliverable:**

- PROVIDE AT LEAST ONE PARK PER 1000 RESIDENTS
- PROVIDE COMMUNITY PARKS AT A RATIO OF 1.0 PARK PER 1000 RESIDENTS
- PROVIDE DISTRICT PARKS AT A RATIO OF 1.0 PARK PER 1000 RESIDENTS
- PROVIDE TRAILS AT A RATIO OF 1.0 TRAIL MILE PER 1000 RESIDENTS

**Policy/Deliverable:**

- PROVIDE TRAILHEADS AT A RATIO OF 1.0 TRAILHEAD PER 1000 RESIDENTS
- PROVIDE BIKEWAYS AT A RATIO OF 1.0 BIKEWAY PER 1000 RESIDENTS
- PROVIDE TRAILS AT A RATIO OF 1.0 TRAIL MILE PER 1000 RESIDENTS

**GOAL:** IDENTIFY, IMPROVE, DOCUMENT AND PUBLICIZE THE PROCESS FOR PLANNING, DEVELOPING THE PATH AND TRAIL SYSTEM

**Policy/Deliverable:**

- ENSURE THAT THE TRAIL SYSTEM IS PROPERLY IDENTIFIED, EVALUATED AND ACTED UPON DURING THE PLAN REVIEW & CONSTRUCTION PHASES

**Policy/Deliverable:**

- PROMOTE THE SYSTEM & ITS RELATED EVENTS & ACTIVITIES AS AN INTEGRAL PART OF THE COMMUNITY IN ECONOMIC AND TOURISM RELATED PROMOTIONS & REGISTRATION

Town Staff Comments on the Plan  
 Photo: PLAN\*et

# Planning Process

## Introduction

The Town of Marana initiated the Parks, Recreation, Trails and Open Space Master Plan process in April 2008.

## Planning Process

From the inception of the Plan, Town of Marana citizens and business owners have contributed ideas and comments that have been distilled into the goals, strategies and actions of this Plan.

Throughout the process, the Town Parks and Recreation Citizen Advisory Commission regularly reviewed the progress of and provided guidance on the development of the Plan. Public meetings, focus groups, a telephone survey, the Town's web site and Town-wide events including the Marana Heritage Festival and Founders' Day were all used to reach out to the community. These efforts are detailed in the Community Ideas section of this Plan.

In addition to community engagement, extensive research was undertaken on recreation facilities, recreation levels of service, funding levels and sources, and management structures and

administrative support provided by other jurisdictions similar to Marana. The results provided input into the Town's discussion about the level of services and facilities profiles that are appropriate to Marana, and that would contribute to the Town's quality of life and economic activity. The findings of this examination are included in the Community Ideas chapter of this Plan.

To understand the residents that the Parks and Recreation Department will serve in the future, demographic information about Marana was examined. This information is included in the Context chapter of this plan.

During the development of this Plan, the Town embarked on a Strategic Planning Process that examined all of the Town's functions. A significant outcome of this process was identification of the natural environment and recreation as a key to the Town's economy and quality of life. This Plan moves forward the Strategic Plan. The relationship of the Strategic Plan to the Marana Parks, Recreation, Trails and Open Space Plan is included in the chapter titled Strategic Plan.



The Marana Parks and Recreation Advisory Commission Participates in a planning session. Photo: PLAN\*et.



**View of Ironwood Forest National Monument**

Photo: E. AN et

# Context

## Introduction

Marana is a relatively young community in the Tucson metropolitan area. The Town was Incorporated in 1977, with about 1,500 people inside its ten square mile limits. The Town has a rich pre-history and history that includes indigenous communities, farming, a role in World War II and post-war commercial development. By 2010, Marana grew to slightly over 36,000 residents and 125 square miles within its incorporated limits and 240 square miles within its planning area.

Over the past decades, Marana has transformed. The Town is home to the five-star Ritz Carlton at Dove Mountain resort and premier golf courses. Since 2000, significant master planned communities and developments have been built. These include Dove Mountain in northeast Marana, Gladden Farms in central Marana, Continental Ranch in southwest Marana and the Marana Main Street Activity Area. Each of these master planned communities and developments, as well as other planned and existing neighborhoods, include developed parks and open space.



## Regional Context

Marana's strong growth mirrors Tucson and Pima and Pinal Counties. To the east, between Marana and the Catalina Mountains, is the **Town of Oro Valley**. Oro Valley is a primarily residential community with a strong commitment to the environmental and open space. Oro Valley is also home to many hiking groups that use trails throughout the region, in particular those in the Tortolita Mountains, and Saguaro National Park and Ironwood Forest National Monument.

**Pima County** and the **Saguaro National Park** form Marana's southern border. Tucson, with over 480,000 residents is the second largest city in Arizona and is just south of Marana. It provides a variety of recreation resources used by Marana residents. In particular, Marana residents report relying on public and private facilities outside of Marana for cultural arts, aquatic and private health club facilities. The Saguaro National Park provides opportunities for hiking, horseback riding and bicycling.

To the west, the Town is bordered by unincorporated Pima County and the **Ironwood Forest National Monument**. The unincorporated area is

# Marana Parks, Recreation, Trails And Open Space Master Plan

sparsely populated, and includes residential, agricultural, and mining uses. Most of this unincorporated area is included within the Town's planning area, which wraps around the north border of the National Monument. Residents within the unincorporated Marana planning area use the Town's parks and recreation programs.

The Ironwood Forest National Monument recently updated its Management Plan (described in the Introduction in the Relevant Documents section) assuring that the area will continue to be managed as a remote natural area. Current Monument policies permit shooting and off-road vehicle use. As the practices outlined in the new Management Plan phase out these activities, the Town will need to continue to work with the County, adjacent jurisdictions, and the State to relocate them to an appropriate venue.

State and Federal land and the community of Red Rock frame the Town's northern border west of the I-10. The Town's Planning Area extends north into Pinal County. This area includes the Pinal Airpark and significant areas of State Trust land. The Planning Area spans east and west of the I-10. At the time this Plan was written, no significant development was proposed within the Planning Area. Once the Town's incorporated limits are coincident with its Planning Area, the Town's northern border will be close to Picacho Peak State Park and its western border will abut the Ironwood Forest National Monument.

**Table C.1 : Town Of Marana 2008-2030 Population Forecast**

Year	Conservative	Baseline	Aggressive
2008	33,744	33,744	33,744
2009	34,702	34,861	34,902
2010	36,202	36,636	38,812
2011	38,168	39,002	39,453
2012	40,244	41,541	42,392
2013	42,118	43,873	45,194
2014	43,797	46,004	47,849
2015	45,372	48,004	50,485
2016	46,890	50,015	53,177
2017	48,336	52,007	55,900
2018	49,719	53,922	58,667
2019	51,020	55,781	61,455
2020	52,311	57,626	64,223
2021	53,589	59,451	66,960
2022	54,862	61,269	69,688
2023	56,131	63,082	72,408
2024	57,393	64,886	75,112
2025	58,646	66,676	77,797
2026	59,890	68,453	80,463
2027	61,129	70,223	83,119
2028	62,364	71,987	85,765
2029	63,591	73,739	88,393
2030	64,815	75,488	91,017

Source: Elliot Pollack and Associates

## Local Context

The Town of Marana includes important national, state, regional and local open space and resources. The Santa Cruz River extends through Marana from the southeast to the northwest. The Santa Cruz River is the locus of the historic Juan Bautista De Anza National Historic Trail, which is designated on the Pima Regional Trail System Master Plan as a shared use trail. The 1,200 mile trail connects Nogales Arizona to San Francisco, California and generally follows the route of the historic 1775 Anza Expedition. Portions of the trail along the river that have been channelized are paved, other parts are undeveloped.

Historically, Marana was an agricultural area. Since 1997, when the Town's population was estimated at less than 7,600 people, Marana has grown to an active community of just over 36,000 people (2010 - conservative). Between 2010 and 2020 the town is conservatively projected to grow to over 52,311 people. (See Table C.1.)

The majority of the Town's population is located in large subdivisions. Continental Ranch is generally located between Twin Peaks and Cortaro Roads and is one of the Town's largest and oldest master planned communities. Dove Mountain and Gladden Farms are newer master planned communities. Dove Mountain is located east of the freeway, north of Tangerine Road at Dove Mountain Drive. Gladden Farms is located between Moore and Sandario Roads on the west side of I-10. Continental Reserve is

located south of Silverbell Road, west of I-10. Each of these communities provides neighborhood parks and trails that are managed by their homeowner associations for community member use. A community center is planned in a future phase of the Gladden Farms Master Planned Community.



**BENCHMARKING - MARANA AS COMPARED TO OTHER COMMUNITIES**

**FINDINGS - HOW DOES MARANA COMPARE TO OTHER COMMUNITIES?**

Category	Marana	Community A	Community B	Community C	Community D	Community E	Community F	Community G	Community H	Community I	Community J
Population	10,000	15,000	20,000	25,000	30,000	35,000	40,000	45,000	50,000	55,000	60,000
Area (sq. mi.)	100	150	200	250	300	350	400	450	500	550	600
Population Density	100	100	100	100	100	100	100	100	100	100	100
Median Household Income	\$40,000	\$45,000	\$50,000	\$55,000	\$60,000	\$65,000	\$70,000	\$75,000	\$80,000	\$85,000	\$90,000
Unemployment Rate	5%	6%	7%	8%	9%	10%	11%	12%	13%	14%	15%
Homelessness Rate	0.5%	0.6%	0.7%	0.8%	0.9%	1.0%	1.1%	1.2%	1.3%	1.4%	1.5%
Public Safety	100	100	100	100	100	100	100	100	100	100	100
Public Works	100	100	100	100	100	100	100	100	100	100	100
Public Health	100	100	100	100	100	100	100	100	100	100	100
Public Housing	100	100	100	100	100	100	100	100	100	100	100
Public Safety	100	100	100	100	100	100	100	100	100	100	100
Public Works	100	100	100	100	100	100	100	100	100	100	100
Public Health	100	100	100	100	100	100	100	100	100	100	100
Public Housing	100	100	100	100	100	100	100	100	100	100	100

**OUR NEIGHBORS**

**Parks and Recreation Programs by Year**

- 2008: 10 programs
- 2009: 12 programs
- 2010: 15 programs
- 2011: 18 programs
- 2012: 20 programs
- 2013: 22 programs
- 2014: 25 programs
- 2015: 28 programs
- 2016: 30 programs
- 2017: 32 programs
- 2018: 35 programs
- 2019: 38 programs
- 2020: 40 programs



# Community Ideas

## Introduction

The Marana community was asked about important beliefs regarding parks, facilities, and recreation programs throughout the planning process. Ideas were solicited from the community at large via a survey and at community events, public meetings and groups focused around specific recreation issues. The Town also solicited comments through its web page. The ideas gathered through these efforts are summarized below.



Public Comment on the Plan was solicited at community events, such as the Heritage Festival. Photo: PLAN-et.

## Community Survey

### Methodology

A random digit dial telephone survey of 400 Marana households was conducted in late 2008 to help identify desired facilities and programs. The survey sample size provides a five percent (5%) margin of error. The sampling area included the Marana Planning Area. The full survey is included in [Appendix I](#).

### Conclusions

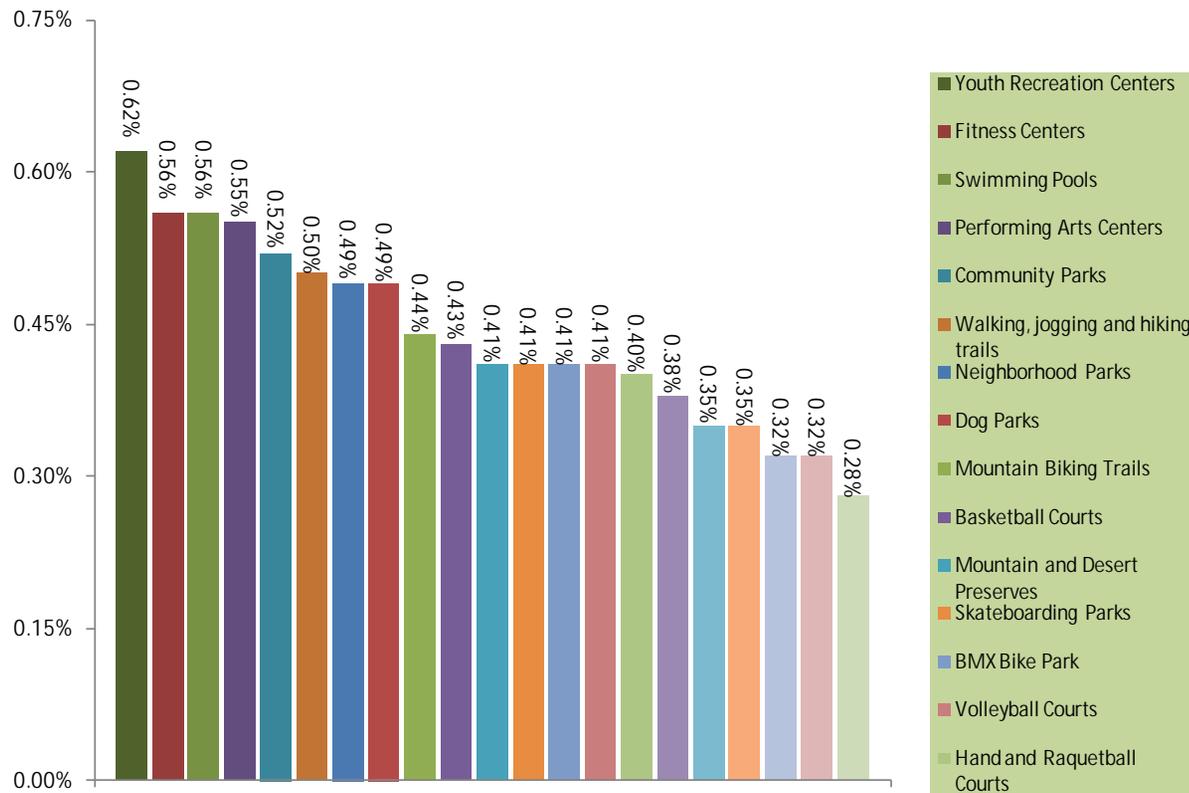
The survey found that Marana residents are pleased with the overall level of service provided

by their Parks and Recreation Department with 73% of the Town's residents reporting that they found the quality of the Town's recreation facilities excellent or good. The Town's facilities are well used. Overall, 53% of residents used Town parks and recreation facilities more than once a month, with 24% of all residents using them more than once a week. More than 80% of the Town's residents reported using the Marana parks and recreation facilities more than once a year. Almost all (96%) households with children used the Town's parks and recreation facilities at least several times a year. Importantly, Town facilities are also heavily used by two-thirds of households without children.

While Marana residents participate in a wide variety of activities, they do desire additional facilities and programs. As shown in Figure C1.1, the survey found residents wanted more youth recreation centers (62%), fitness centers (56%), more swimming pools (56%) and a performing arts center (55%). Residents also want more community and neighborhood parks (52 and 49 percent, respectively) hiking and jogging trails (50%) and dog parks (49%).

# Marana Parks, Recreation, Trails And Open Space Master Plan

Figure CI.1: Facilities % of Residents Say Marana Needs More



Residents identified a strong need for recreation programs for the physically challenged (64%) as well as for live performances (63%), youth theatre (62%) and adult and youth fitness and wellness programs (61 and 59 percent respectively). Over half of all residents also stated that the Town needed more non-sports youth, aquatics and outdoor recreation programs. Figure CI.2 details program needs voiced through the survey.

The survey also examined the extent to which Town Parks and Recreation Programs and Facilities serve the different age groups within Marana. Overall, respondents, and especially those in West Marana and Dove Mountain, feel that teens are under-served by programs and facilities. Additionally, slightly more than half of all respondents (51%) feel that working age adults are not well served.

When asked about spending priorities, respondents identified lighted playing fields, outdoor pools, and indoor recreation facilities as top priorities. Almost two-thirds (65 and 64 percent, respectively) stated that they would support some options to raise additional parks and recreation funds including imposing a bed tax and spending a larger share of the Town budget on parks and recreation. Residents were split about raising parks and recreation facility and program fees. Residents opposed increases to sales tax and imposition of an annual facilities fee for parks and recreation programs.

## Public Events

Residents attending Marana's Heritage Festival, Founders' Day or one of the public meetings held during the development of this Plan provided feedback about the Plan goals, services and programs. At these events, they also reviewed maps describing existing and planned trails. Comments provided by the residents at public events are listed in [Appendix II](#).

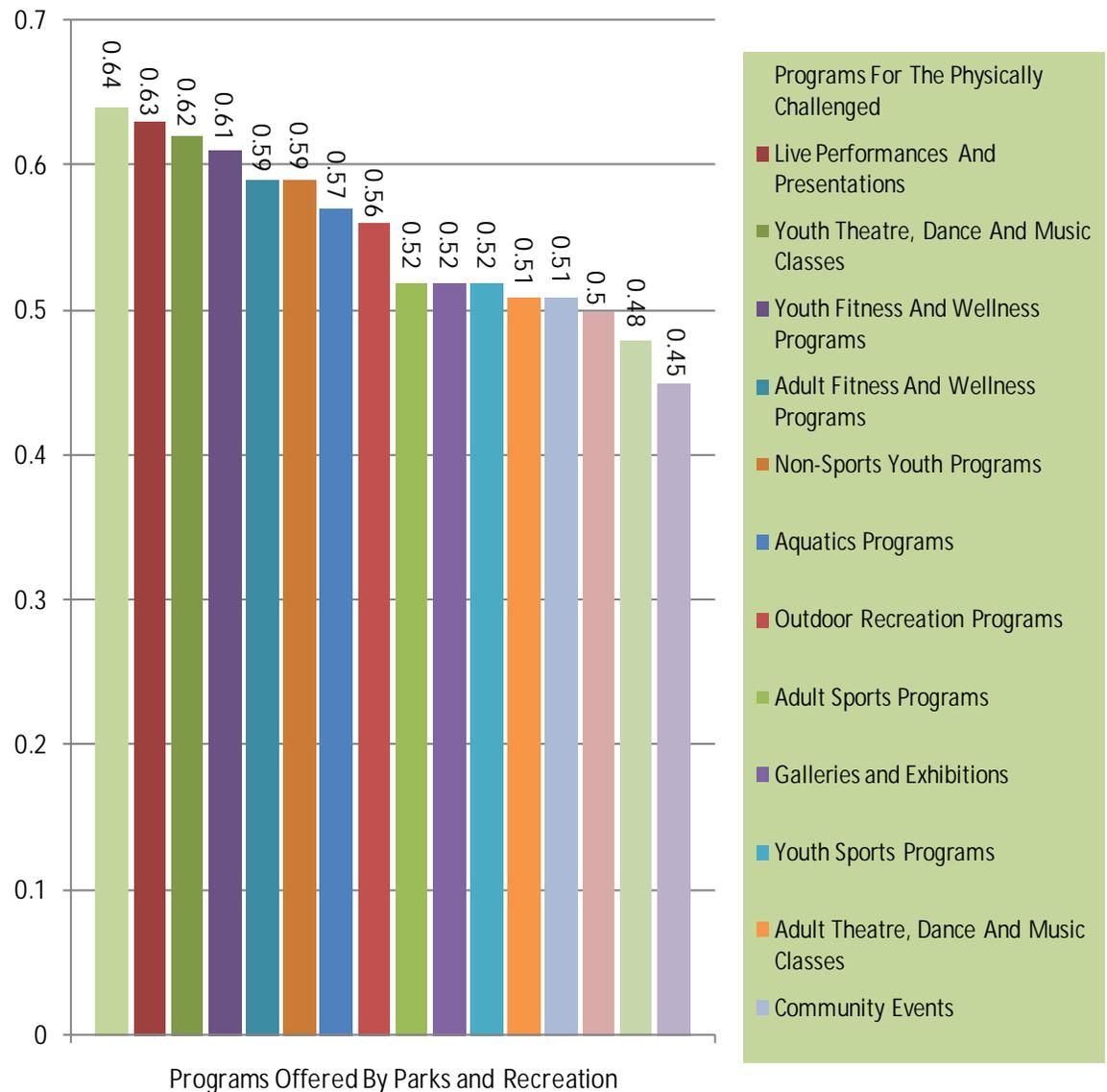
## Focus Groups

To understand issues associated with specific user groups, key stakeholders were contacted and interviewed on September 15th and 16th, 2008.

The Focus Groups included representatives of:

- Sports Leagues/Groups,
- Youth and After School Programs including Kids Night Out,
- Development Community/Landowners,
- Surrounding jurisdictions including Pima County, Oro Valley, Ironwood Forest National Monument, Saguaro National Park,
- Economic Development Entities such as the Chamber of Commerce and the Community Food Bank,
- Homeowner Associations including Gladden Farms, Continental Ranch and Heritage Highlands,
- Potential recreation partners such as the YMCA, Schools, Lord of Grace Lutheran Church and the Pima Coun-

Figure CI.2: Programs: % Say Marana Needs More



# Marana Parks, Recreation, Trails And Open Space Master Plan

- ty Library,
- Clubs and organizations such as the Disc Golf Association, Pima Trails Association, Dove Mountain Hiking Club and Catalina County Line Riders,
- Visual artists.

Each Focus Group was asked:

- What activities do you currently sponsor/participate in?
- What are your or your group's comments regarding the adequacy of Town facilities/services
- What facility/service deficiencies could you identify?
- Based on your or your groups needs, what facilities/services would you like to see the Town provide in the future?
- Marana doesn't have to do everything for everyone. Do you have any ideas regarding potential partnerships or unique service arrangements that would serve your needs or otherwise benefit the Town?

A summary of focus group comments is located in [Appendix II](#).



A public comment board at Founders' Day.  
Photo: PLAN-et.

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Marana Municipal Complex  
Photo: PLAN\*et

# Strategic Plan

Recreation is one of the five Town of Marana Strategic Plan focus areas.



HERITAGE



PROGRESS INNOVATION



RECREATION



COMMERCE

## Introduction

During the process of developing the Marana Parks, Recreation, Trails and Open Space Master Plan, the Town embarked on an overall community strategic planning exercise resulting in a **Strategic Vision and Plan**. The Town's overall vision, focus areas and strategic goals include key references to the Town's desert open spaces and recreation programs and are:

## Vision

Marana is the centerpiece of the Sonoran Desert Experience, where fun and progress meet.

## Five Focus Areas

- Commerce
- Community Building
- Progress and Innovation
- Heritage
- Recreation

## Five Strategic Goals

- Build upon the unique combination of assets to attract and maintain career-oriented commerce.

- Create a safe community with a strong sense of place where diverse people are motivated to be involved and feel connected, needed and appreciated. Foster an open atmosphere that embraces change, creativity, innovation and calculated risk.
- Maintain a sense of community character by linking the past, present and future.
- Showcase the unique Sonoran Desert environment by providing diverse recreational opportunities that create economic benefits and accommodate a healthy lifestyle.

This plan implements the Strategic Plan Focus Areas through the Green Infrastructure approach to parks and recreation master planning. This approach requires ongoing support and contribution to parks and recreation programs and facilities that enhance the high quality of life envisioned by Marana residents and outlined in the Strategic Plan.

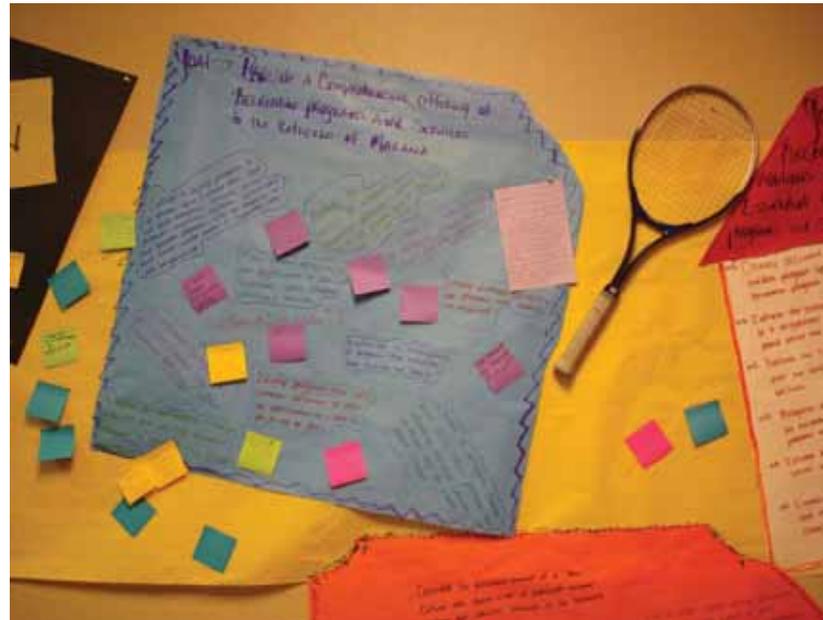
Each element of the Green Infrastructure approach supports the Town's Strategic Plan. The Environmental Elements of the Town's Green Infrastructure move the Strategic Plan Heritage and Recreation Focus Areas forward with goals and

# Marana Parks, Recreation, Trails And Open Space Master Plan

strategies that result in the wise conservation of open spaces and historic trails. This element also addresses the conservation of the Town's agricultural heritage through goals and strategies that promote programs to teach residents and visitors about the agricultural heritage and pre-history of the Town.

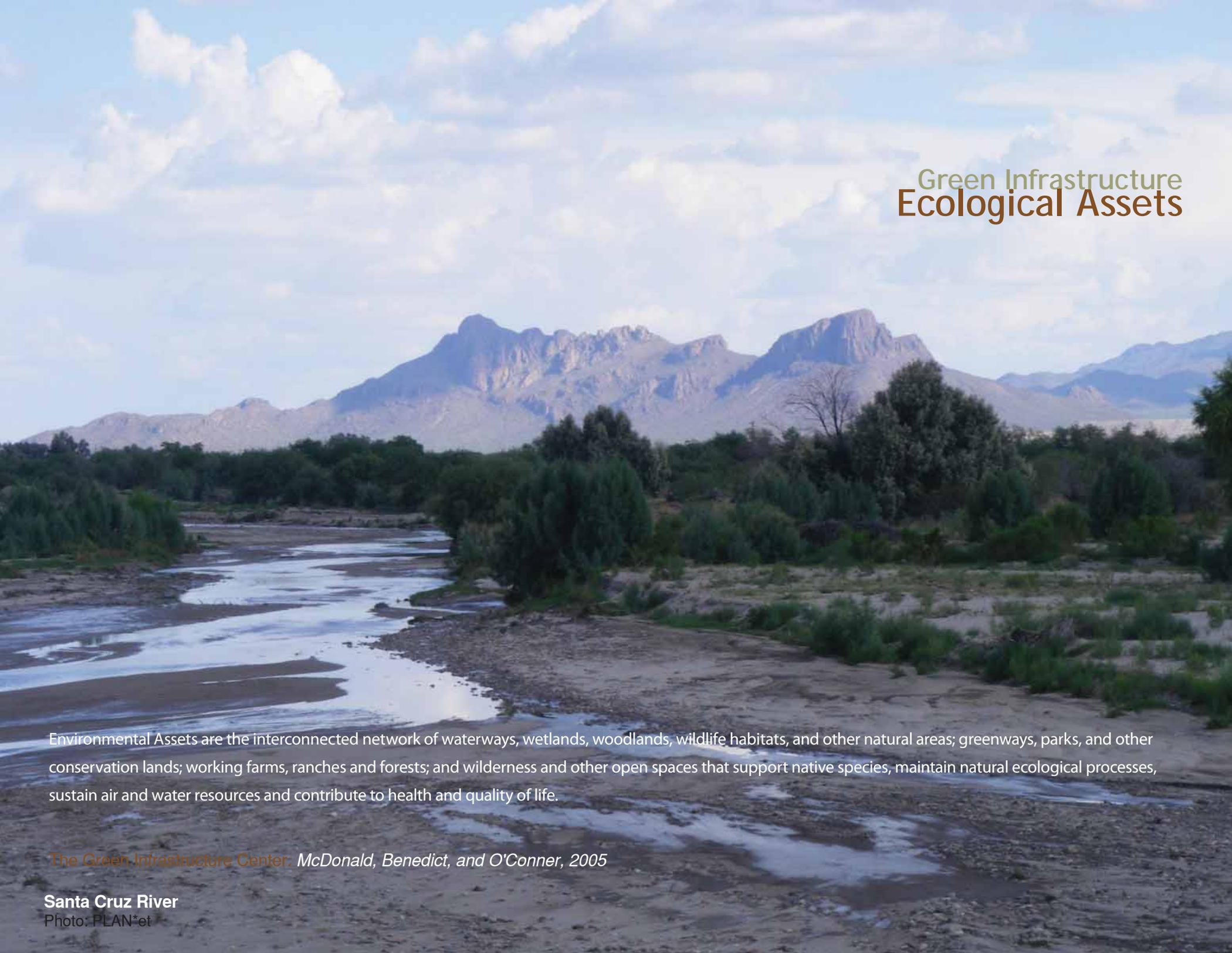
The Commerce and Community Building Strategic Plan Focus Areas are supported by all elements of the Town's Green Infrastructure. The Master Plan chapters that support the Community and Environmental Assets of the Green Infrastructure include goals and strategies that can result in special events and programs that are attractive to residents and visitors. The Open Space chapter of this plan, which supports the Environmental Elements of the Town's Green Infrastructure includes goals and strategies that address conservation of open spaces and natural areas. These areas attract visitors and provide settings for premier resorts and activities such as the Ritz Carlton and the Accenture Match Play Golf Tournament.

The Facilities Maintenance and Operations and Funding and Implementation chapters of the Plan support the Sustainable Elements of the Town's Green Infrastructure. These chapters include strategies and actions that will result in wise use and conservation of environmental and financial resources. Innovations and approaches in these elements move forward the Strategic Plan Progress and Innovation Focus Areas.



Ideas from the Town's Parks and Recreation Department Staff led to operational and program innovations that will move forward the Strategic Plan Progress and Innovation Focus Areas

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## Green Infrastructure Ecological Assets

Environmental Assets are the interconnected network of waterways, wetlands, woodlands, wildlife habitats, and other natural areas; greenways, parks, and other conservation lands; working farms, ranches and forests; and wilderness and other open spaces that support native species, maintain natural ecological processes, sustain air and water resources and contribute to health and quality of life.

*The Green Infrastructure Center: McDonald, Benedict, and O'Conner, 2005*

**Santa Cruz River**

Photo: PLAN\*et

# Open Space

## Introduction

The Town of Marana's environmental assets include a remarkable network of public and private open spaces. For the purposes of this Master Plan, Marana's Environmental Assets include Marana's open spaces. Open spaces are defined as natural areas that may or may not include trails and peripheral facilities (such as parking areas and/or trail heads). Marana's open spaces include natural undisturbed areas including the Tortolita Mountain Park, the Santa Cruz River, Los Robles/Brawley and Cañada Del Oro Washes, the Tortolita Fan and the Central Arizona Project Canal. These areas are conserved through a variety of plans and programs such as the Marana Draft Habitat Conservation Plan, the Town of Marana General Plan, the Pima County Multi Species Habitat Conservation Plan, and the Pima County Comprehensive Plan.



Agriculture is an important part of Marana's Open Space Heritage and Green infrastructure. Photo: PLAN-et

## Overview

### Current Conditions

Within Marana, the Santa Cruz River, Los Robles Brawley and La Cañada del Oro Washes, Tortolita Mountains and the Tortolita Fan offer residents and visitors accessible and remarkable open spaces and riparian corridors.

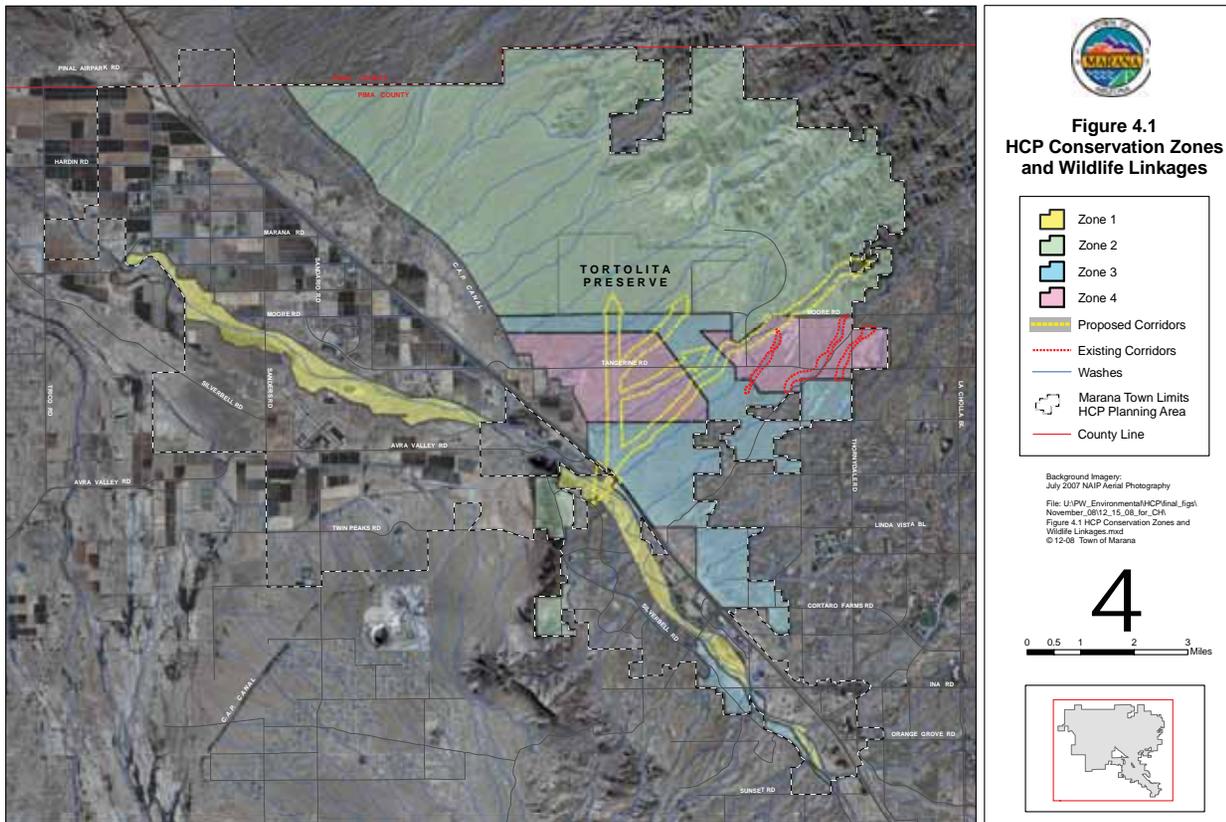
The Tortolita Fan is a large alluvial fan that extends from the preserve to the west and southwest. The Fan is owned by the Arizona State Land Trust. It is not protected from development. The Fan is bordered by the Central Arizona Project Canal to the west and the Tortolita Mountains to the north and east and the confluence of the Santa Cruz River and Canada del Oro Wash to the south.

Within the Tortolita Fan is the 2,400 acre Tortolita Preserve. The Preserve is owned by the State Land Department and is conserved through a 99-year lease held by the Town. The Town has coordinated with volunteers to construct a network of trails throughout the Preserve.

The Santa Cruz River, which runs through Marana northwest to southeast, is largely channelized on its east side through the developed portions of the

# Marana Parks, Recreation, Trails and Open Space Master Plan

CAP Conservation Zones and Wildlife Linkages. Source: Town of Marana



Town. North of Sanders Road, the river is unchannelized. It's significant, 20+ mile reach provides open space and recreation opportunities. The river's 100-year floodplain intersects with that of Los Robles/Brawley Wash, and creates an almost one square mile wide floodplain that is a significant open space resource bounded by the Wash, the River, Pinal Air Park Road and approximately East Missile Base Road (extended) to the north.

A Management Plan for the "El Rio Open Space" disc golf course, adjacent to the river has been developed to ensure compatibility between disc golf and the wildlife linkage within which this open space is located.

The Los Robles/Brawley Wash is a largely unchannelized wash that lies between the Santa Cruz River and the Silverbell Mountains. Because this wash is still separated from developed areas such as Continental Ranch and Continental Reserve, it retains its natural character.

The Cañada del Oro Wash is located at the southeastern edge of the Town, east of the I-10. This wash has been impacted by development and is a regional trail connection. The confluence of the Cañada del Oro Wash with the Santa Cruz River is west of the I-10 and the Union Pacific Railroad. These two features pose a significant obstacle for connectivity with the Santa Cruz Multi Use Path. The Bureau of Reclamation's Central Arizona Project Canal is another, man-made open space feature. The elevated canal has a substantial right of way that is the location of a planned regional trail.

The Town's Draft Habitat Conservation Plan is designed to protect key species and complement the Pima County Multi-Species Habitat Conservation Plan. The overall objectives of the Draft Habitat Conservation Plan, which do not include open space conservation, include:

- Facilitating compliance with the Endangered Species Act for planned urban development and capital improvement projects;
- Promoting achievement of regional economic objectives including the orderly and efficient development of certain lands, while recognizing property rights and legal and physical land use constraints; and
- Complementing other regional conservation planning efforts such as Pima County's Sonoran Desert Conservation Plan and the City of Tucson's Habitat Conservation Plan project.

The Draft Habitat Conservation Plan provides an excellent starting point for identification of key open space areas that can be integrated into the Town's Green Infrastructure and that can support passive trail-based non-motorized recreation activities within Marana. The conservation areas identified by the Town's Draft Habitat Conservation Plan are shown in Map OS.1. While some of these lands are not accessible for recreation purposes, they are an important component of the overall open space system.

## Open Space In Marana

Marana's open space can be divided into:

- **Natural Undisturbed Open Space**, which is appropriate for sensitive wild-life habitat and linkages
- **Developed Open Space**, such as ball fields, parks with facilities, and golf courses
- **Natural Open Space** with low impact recreational activities such as hiking, bicycling, and equestrian trails, potentially including picnic areas and rest-rooms at trailheads.

## Opportunities, Challenges, And Results

### Retain The Natural Character Of The Los Robles/Brawley Wash

#### Challenge:

The Los Robles/Brawley Wash is currently outside the Town's developed area. As development moves west, across the Santa Cruz River, this open space can offer a unique opportunity for hikers, bikers, and birders.

#### Opportunity:

Conserve the Wash, through density transfers, restrictions on development within erosion hazard zones and encouraging development to include the wash floodplain and erosion hazard zones as part of open space set asides.

#### Result:

North-south connectivity throughout the Town, and to routes that connect to other destinations within and outside of the Town will be enhanced.

#### OPPORTUNITIES, CHALLENGES AND RESULTS

Preparing a long-range policy document such as this Plan, requires key issues be defined and then analyzed. This analysis identifies “opportunities,” “challenges,” and “results.”

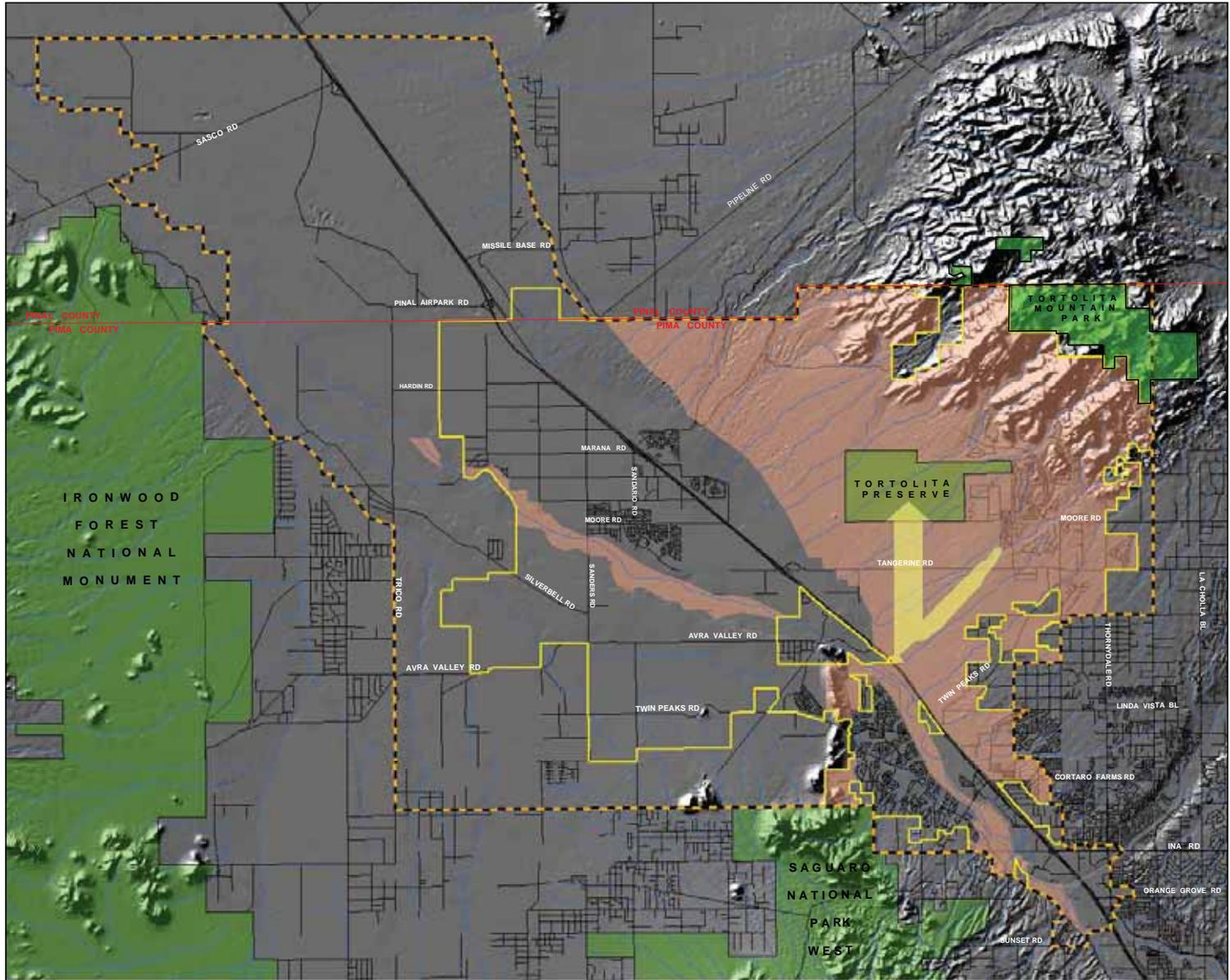
An effective planning document essentially says, “Here’s an opportunity to achieve the community’s vision. the challenge of making this happen is overcoming one or more issues. As a result of overcoming the issues, the Town will take certain steps.

An “opportunity” is a specific result accomplishing the objectives, goals and policies of the Marana Parks, Recreation, Trails and Open Space Master Plan.

A challenge” is a physical, fiscal, operational, administrative issue standing between the opportunity and its successful implementation. “Result” states what type of strategy needs to be implemented ensuring the Town turns the opportunity into an asset.

# Marana Parks, Recreation, Trails and Open Space Master Plan

MAP OS.1: HCP Conservation Zones And Linkages



## MARANA 2010 General Plan

### Environmentally Sensitive Lands

-  Proposed Wildlife Corridor
-  Environmentally Sensitive Lands
-  Parks/Preserves
-  Planning Area
-  Marana Town Limits
-  Washes
-  Pima County Boundary



Data Disclaimer: The Town of Marana provides this map information "As Is" at the request of the user with the understanding that it is not guaranteed to be accurate, correct or complete and conclusions drawn from such information are the responsibility of the user. In no event shall The Town of Marana become liable to users of these data, or any other party, for any loss or direct, indirect, special, incidental, or consequential damages, including but not limited to time, money, or goodwill, arising from the use or modification of the data.

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© Town of Marana 3/2010

## Conserve The Floodplain Between The Los Robles/Brawley Wash And The Santa Cruz River North Of Pinal Airpark Road

### Challenge:

Privately owned farmland and a large nearly one-square mile of undeveloped land are crossed by the Santa Cruz River and Los Robles/Brawley Wash in the Town's northern Planning Area.

### Opportunity:

This area could be conserved or preserved through density transfers, restrictions on development within erosion hazard zones, and encouraging development to include the wash floodplain and erosion hazard zones as part of required open space set asides.

### Result:

This largely undeveloped area, adjacent to the Pinal Airpark, is a unique open space that could be conserved where the Los Robles/Brawley Wash and Santa Cruz River floodplains merge, retaining the desert landscape and natural vegetation.

## Permanently Preserve The Tortolita Mountain Preserve And The Tortolita Fan

### Challenge:

The Tortolita Mountain Preserve and Tortolita Fan are resources of Statewide and national significance. While the Town had the opportunity to prepay the 99 year lease on

the land, it would not have ultimately resulted in Town ownership of the land. Instead, the Town decided to continue the lease as is in hopes that alternatives might be found to transfer ownership.

### Opportunity:

The Arizona Preserve Initiative (API) is an opportunity to purchase State Land for conservation purposes. Other opportunities to conserve the land also exist, including land trusts, leases, and trades. These opportunities should be pursued.

### Result:

As leased land, there is time to plan for conservation of these lands through their ultimate purchase or other methods, such as and not limited to a phased purchase of these lands in whole, or a phased land purchase program. Funding options could include levies, bonds or working with Trusts.



The Santa Cruz River is a significant open space within the Town of Marana. Photo: PLAN-et

# Marana Parks, Recreation, Trails and Open Space Master Plan

## Connect The Tortolita Fan To Open Spaces On The West Side Of The I-10 And Central Arizona Project

### Challenge:

I-10, Union Pacific Railroad, and the Central Arizona Project are physical barriers to connecting the Tortolita Fan and the recreation opportunities it contains to Marana west of I-10.

### Opportunity:

Connecting the Tortolita Fan to Marana west of I-10 would increase safe access to a wide range of recreation opportunities. These connections include the Marana Road to Cochise Canyon Trail and the Hardin Road Trail alignment.

### Result:

The identified crossings could be enhanced to make them more usable by people and wildlife.

support agriculture and add to the Town's Green Infrastructure and open space portfolio. Agricultural uses could be conserved using partnerships with land trusts that accept and manage land donated for tax or other purposes. The Town could also support conservation of key farmland parcels by allowing density transfers from these parcels to other areas (for example, to the Town Center or other areas planned for high density).

### Result:

Support would be provided to the Community Food Bank, including its local farm, which operates out of Heritage Park. The food bank operates "Snacks for Kids" a program that provides food for the Marana public schools summer meals program and the Marana Food Bank.

As Marana develops, farming and ranching areas, important to community character, will be preserved.

## Local Agriculture And Farming

### Challenge:

As Marana develops, local agriculture and farming activities are replaced by subdivisions and commercial development. Agriculture is important to Marana's cultural heritage and provides open space in the form of fields and corrals.

### Opportunity:

Additional opportunities for local agriculture through farmers markets held at district or community parks within the Town could

**OPEN SPACE GOALS, POLICIES AND ACTION STRATEGIES**

**GOAL 1: Provide Community Residents The Broadest Possible Range Of Opportunities For Natural Resource- Based Outdoor Recreation (Hiking, Mountain Biking, Birding, Etc.)**

<b>Policy</b>		<b>Action Strategy</b>	
OS.1	Implement the Towns’ Green Infrastructure through development of a community open space system consisting of natural resource parks, mountain parks, preserves, agricultural and farm, and other areas and construct within these areas where public use is permitted, appropriate facilities for natural resource-based recreation.	OS.1.1	Collaborate with the Bureau of Land Management, the State Land Department, Pima County, Pinal County, and Town of Oro Valley to protect as open space the Tortolita Mountain and Fan.
		OS.1.2	Collaborate with the Bureau of Land Management related to signs, gateway routes, and the development of an off-site information center for the Ironwood Forest National Monument.
		OS.1.3	Collaborate with the National Park Service related to signs, gateway routes, and the development of an off-site information center for the Saguaro National Park.
		OS.1.4	Collaborate with the Bureau of Land Management to create opportunities for Marana residents to recreate within the Ironwood Forest National Monument.
		OS.1.5	Collaborate with the Central Arizona Water Conservation District to develop recreational facilities along the CAP canal and within the “green-up area” east of the canal.
		OS.1.6	Collaborate with the National Park Service to create opportunities for Marana residents to recreate within the Tucson Mountain District of Saguaro National Park.

# Marana Parks, Recreation, Trails and Open Space Master Plan

Policy	Action Strategy
	OS.1.8 Collaborate with other jurisdictions and agencies to expand the open space system and to construct facilities that will enable the public use and enjoyment of the component parks, preserves, and other open space lands.
	OS.1.9 Initiate discussions with land trusts and farmers to explore opportunities for agricultural conservation.
	OS.1.10 Ensure the conservation of the Avra Valley I-10 connection across the I-10 and the railroad tracks between the Tortolita and Tucson Mountains.
	OS.1.11 Ensure the conservation of a regional wildlife corridor between the Tucson and Tortolita Mountains with sufficient width and undisturbed natural open space to be viable.

## GOAL 2: Create Facilities Such As Trail Systems Within Special Use Parks That Are Capable Of Supporting Town Sponsored Recreation Programs Appropriate To The Park.

Policy	Action Strategy
OS.2 Plan and construct appropriate public use facilities within special use parks that will support Town sponsored recreation and fitness programs.	OS.2.1 Evaluate and identify the potential of each component natural resource area to support facilities that can be utilized for recreation and fitness programs.

## GOAL 3: Create Facilities Such As Trails And Picnic Areas Within Natural Resource Parks That Are Capable Of Supporting Community Events That Are Of A Scale Appropriate To The Resource.

Policy	Action Strategy
OS.3 Provide technical and logistical support to non-profit "friends" organizations and individual volunteers.	OS.3.1 Assign a Parks and Recreation Department staff member (or members) to serve as the liaison between the Department and the various "friends" organizations in the community.

**GOAL 4: Advance The Establishment And Long-Term Management Of Natural Resource Parks Through Cooperative Relationships With Federal, State, And County Agencies.**

Policy		Action Strategy	
OS.4	Pursue innovative collaborations with other jurisdictions and agencies where appropriate for the establishment and management of the open spaces identified in this Plan.	OS.4.1	Organize or/and participate in annual or more frequent coordination and planning workshops with other jurisdictions and resource management agencies.
		OS.4.2	Work with the Bureau of Land Management (BLM) to position Marana as the Gateway to the Ironwood Forest National Monument.

**GOAL 5: Use The Community's Open Space System For The Mandated Protection Of High Value Habitats And Important Wildlife Populations.**

Policy		Action Strategy	
OS.5	Use the community's open space system to comply with mandated resource conservation and protection measures.	OS.5.1	Support implementation of the Town of Draft Marana Habitat Conservation Plan.
		OS.5.2	Organize annual or more frequent coordination and planning workshops with other jurisdictions and resource management entities.

**GOAL 6: Use Open Space Areas As Multiple-Use Lands That Conserve Natural Resources, Provide Opportunities For Recreation, And Function To Protect The Community From Flooding And Other Natural Hazards.**

Policy		Action Strategy	
OS.6.1	Incorporate into the community's open space system, where appropriate, lands that are subject to natural hazards such as flooding.	OS.6.1	Evaluate riparian areas for their potential inclusion in the community's open space system.
		OS.6.2	Consider revising the rezoning ordinance to include standards that result in the protection of wildlife corridors, unique vegetation and other natural resources as a condition of development.
OS.6.2	Incorporate areas that have high natural resource and environmental values into the Town's open space system, even though these areas may not be appropriate for recreation use.	OS.6.3	Identify those open space and critical habitat areas that are inappropriate for recreation facilities such as trails or interpretive areas, and prohibit their use.

# Marana Parks, Recreation, Trails and Open Space Master Plan

**GOAL 7: Preserve An Open-Space Corridor Along The Juan Bautista De Anza National Historic Trail To Allow Contemporary Users To Experience An Environment With Features That Were Present At The Time Of The Juan Bautista De Anza Expedition.**

Policy		Action Strategy	
OS.7	Work cooperatively with the National Park Service and Pima County to construct the Juan Bautista de Anza National Historic Trail through the Town of Marana.	OS.7.1	Use all available resources, including working with the Pima County Regional Flood Control District to secure the Santa Cruz River as an open space corridor and to construct the Juan Bautista de Anza National Historic Trail.

**GOAL 8: Preserve, Protect, And Interpret Historic Sites In The Tortolita Mountains And Elsewhere That Date Back To The Pre-historic Settlement Of The Area And That Speak To The Origins Of The Local Ranching And Farming Industries.**

Policy		Action Strategy	
OS.8	Protect all known pre-historic and historic cultural resource sites in the community including those related to the origins of the farming and ranching industries.	OS.8.1	Conduct sample surveys to establish the scope of cultural resources in the Tortolita Mountains and elsewhere and focused surveys in the vicinity of proposed development sites.
		OS.8.2	Work with and encourage Marana Residents to become cultural stewards of local resources.

**GOAL 9: Provide Public Access To Areas Such As The Internal Portions Of The Tortolita Mountain Range Or The Proposed Wildlife Corridor Connecting The Tucson And Tortolita Mountains and Large Tortolita Fan And Other Appropriate Open Spaces and Wildlife Corridors Within And Adjacent To the Town Where Users Can Experience Undisturbed Natural Landscapes Without Contemporary Urban Development.**

Policy		Action Strategy	
OS.9	Maintain within the community's open space system back-country or primitive areas with improvements in these areas limited to a low density trail system.	OS.9.1	Identify specific areas within the Tortolita Mountain range that can appropriately be managed as back-country areas.
		OS.9.2	Manage back-country and primitive areas to minimize the impact of human activities on wildlife and vegetation ecosystems.
		OS.9.3	Develop and Intergovernmental Agreement (IGA) with the Arizona State Land Department to control off-road use in the Tortolita Fan.

**GOAL 10: Protect Pre-Historic Cultural Resource Sites From Damage By Creating Natural Resource Parks That Encompass Them And By Interpreting The Resource Where Appropriate.**

Policy	Action Strategy
OS.10 Make significant cultural resource sites and surrounding undeveloped land integral components of the community’s open space system.	OS.10.1 Work with Pima County and others to acquire land surrounding cultural resource sites and make improvements as needed to allow for cultural resource monitoring and interpretation.

**GOAL 11: Develop And Manage A Natural Open Space System As A “Quality-Of-Life” Amenity That Encourages Businesses To Locate And Expand In Marana.**

Policy	Action Strategy
OS.11.1 Acquire, establish, or otherwise protect the individual open space areas identified herein and incrementally create the overall open-space system proposed by this Plan.	OS.11.1.1 Collaborate with other jurisdictions and agencies to acquire and manage the natural open space system described in this Master Plan.
OS.11.2 Actively promote the Town of Marana’s open space system as a quality-of-life amenity.	OS.11.2.1 Showcase the community’s natural open space features using the Town’s web site and printed informational / promotional materials.
	OS.11.2.2 Consider and update ordinances that prevent dumping, littering and other activities (such as unregulated OHV and ATV use) that have negative impacts on the Town’s open space system.

**GOAL 12: Develop Within The Natural Open Space System, Facilities Such As Trails That Attract Not Only Local Residents But Also Visitors From Other Arizona Communities, Other States, And Other Countries.**

Policy	Action Strategy
OS.12.1 To support a multiple-use approach to the management of the community’s natural open-space system, and develop world-class facilities that will attract tourists.	OS.12.1 Evaluate and identify the potential of each component natural resource area to support facilities and events that can attract both local and out-of-town participants.

# Marana Parks, Recreation, Trails and Open Space Master Plan

**GOAL 13: Create Unique Opportunities For Natural Resource Based Recreation That Will Make Marana A Tourist Destination And Result In The Increased Use Of Local Hotels And Resorts.**

Policy	Action Strategy
OS.13.1 Actively promote the Town of Marana’s open space system and related facilities as tourist destinations.	OS.13.1.1 Showcase the community’s natural open space features utilizing the Town’s web site and printed materials.
	OS.13.1.2 Support local non-profit organizations that promote Marana as a tourist destination.

**GOAL 14: Continue To Coordinate The Goals Of This Plan With The Marana Habitat Conservation Plan**

Policy	Action Strategy
OS.14.1 Support the Town of Marana Draft Habitat Conservation Plan.	OS.14.1.1 Evaluate proposals for projects and development within the Town’s Planning Area in keeping with the Town of Marana Draft Habitat Conservation Plan goals.

**GOAL 15: Provide Residents With Well Managed And Maintained Natural Resource Parks Where Individuals And Families Can Recreate With Their Neighbors And Friends.**

Policy	Action Strategy
OS.15.1 Acquire, establish, or otherwise protect the individual open space areas identified herein and incrementally create the overall open-space system proposed by this Master Plan.	OS.15.1.1 Continue to collaborate with other agencies and jurisdictions to acquire and protect as natural open space the Tortolita Fan.
	OS.15.1.2 Work with private developers and the Pima County Regional Flood Control District to preserve areas within the 100-year floodplain of the Santa Cruz River and Los Robles/Brawley Wash as natural open spaces and areas for paved and unpaved trails.
	OS.15.1.3 Work with private landowners to conserve, either as an agricultural preserve or as open space, the floodplain between the Santa Cruz River and Los Robles/Brawley Wash.



# Marana Parks, Recreation, Trails and Open Space Master Plan

## **GOAL 16: Provide Accessible Parks, Trails, And Facilities That Allow Physically And Visually Impaired Individuals To Recreate Outdoors And Enjoy The Sonoran Desert Environment.**

<b>Policy</b>	<b>Action Strategy</b>
OS.16.1 Design and construct public use facilities within the natural open space system so that they can be used by all community residents including the physically and visually impaired.	OS.16.1.1 Use the concept of “universal access” in the design of public use facilities within the community’s open space system.
	OS.16.1.2 Obtain access to Central Arizona Project (CAP) sites and incorporate them as parks, open spaces or other recreation assets.

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## Green Infrastructure Human Assets

Human Assets strengthen our sense of connectedness to each other, our history and environment. These assets are what makes a community livable. They promote conviviality, citizen participation and involvement and contribute to residents social, emotional and physical well-being.

Interpreted from [Social Sustainability](#) by Trevor Hancock.

# The Parks System

## Introduction

Green Infrastructure exists in layers. Similar to the layers of Grey Infrastructure (water and sewer pipes are underground, the streets and sidewalks are on the surface, and sometimes, utility lines are in the air), the land on which a park is located is an ecological asset and comprises one layer of the Green Infrastructure. The physical additions to the land such as ball fields, community centers, playgrounds and picnic grounds that turn undeveloped land into a park - where community members interact - are another layer. These improvements are Human Assets of the Town's Green Infrastructure. This section discusses these assets and establishes five (5) classes of parks and standards.



San Lucas Community Park. Photo: Town of Marana

## Current Conditions

An inventory of existing and planned public and private park facilities was completed in December 2009. The inventory included eight public and 36 private parks and neighborhood facilities within the Town's planning boundary. The existing public parks included in the inventory are:

- Ora Mae Harn District Park,
- San Lucas Community Park,

- Continental Ranch Community Park,
- Continental Reserve Community Park,
- Gladden Farms Neighborhood Park,
- Wade McLean Community Park,
- El Rio Community Park,
- The Crossroads at Silverbell District Park.

Planned Parks include

- Pima Farms Trailhead Neighborhood Park
- Sanders Grove Community Park
- Cascada Park
- An unnamed regional park on BOR land.

Private and publicly accessible and public (Pima County) non-Town owned parks and recreation facilities accessible to Town residents include:

Public Parks:

- Mike Jacobs Regional Sports Park,
- Arthur Pack Regional Park,

Private Parks:

- Dove Mountain Neighborhood Park,
- Continental Ranch Neighborhood Recreation Center No. 1,
- Continental Ranch Neighborhood Recreation Center No. 2 (Windmill Park),

# Marana Parks, Recreation, Trails And Open Space Master Plan

- Sunflower Neighborhood Recreation Center.
- 

These HOA private neighborhood amenities are only available to HOA members of the development they serve.

In addition, private recreation facilities include the Heritage Highlands clubhouse, Gallery Sports Club (Dove Mountain), Sunflower Community Clubhouse (Continental Ranch) and 36 neighborhood recreation areas that range in size from .2 to almost seven acres and average approximately 2.22 acres each. These privately owned sites collectively provide approximately 25 grass sites with turf play areas, four swimming pools (includes one lap pool), six full-sized courts, 17 ramadas, three restroom buildings, and 26 playgrounds. Nine of the private neighborhood parks/neighborhood recreation areas have parking spaces. Appendix IV lists private parks and facilities in Marana. Map PK.1 shows the private recreation areas within the town.

Arthur Pack Regional Park is an existing Pima County Park. It is used extensively by individuals residing within the Town of Marana's planning boundary. The Mike Jacobs Regional Sports Park is a Pima County owned and privately managed sports park that charges an entry and use fee.

Marana obtains parks through parkland dedication via zoning and acquisition. Title 6 - Subdivisions Section 06.03.02 of the Town's Ordinance requires all new residential projects that are larger than 50 dwelling

units and have a density of three (3.0) dwelling units per acre or greater provide, at the developer's expense, an improved, on site recreation area in compliance with the Park Trail and Open Space System Master Plan. The Ordinance further requires that at a minimum, the on site recreation areas provided by the developer be:

- 100 sq. ft. per each apartment unit;
- 140 sq. ft. per each town home or patio unit;
- 185 sq. ft. per each single family unit.

Overall, Marana includes approximately 758 acres of planned and existing public neighborhood, community and district parks (excluding Arthur Pack Regional Park and 26 acres of private detention basin parks). This includes the 500 acres of planned regional park on BOR land, the planned four-acre Pima Farms Trailhead neighborhood and 20-acre Sanders Grove and 40-acre Cascada community parks. Excluding the Planned parks, the Town includes approximately 193 acres of developed public and private neighborhood, community and district parks. These parks and corresponding acres are listed in Table PK.2. Table PK.1, Acres Necessary To Maintain Current Standards, shows the number of park acres per capita today and the total number of acres per capita that will be necessary to maintain current park service levels through 2020. Regional Park needs are currently met by the Pima County owned Arthur Pack Regional Park.

Maintaining the current level of services shown in Table PK.1 through 2020 will require the Town to acquire approximately 35

to 88 acres of new neighborhood parks, 26 to 73 acres of community parks, 46 to 76 acres of new district parks, and between 75 to 123 acres of regional parks (Includes Arthur Pack Regional Park). Additionally, over the next decade, the Town will need to provide between 33 to 54 miles of trails.

## Park Standards

Parks and open spaces are the most significant, visible, and defining element of Marana's Green Infrastructure. Adding this layer of Human Assets to the Town's Green Infrastructure expands the ways in which the community uses its Green Infrastructure and interacts with each other.

This Plan establishes the standards for Town parks. These standards were developed by combining best industry practices obtained from the benchmarking study, comments from Town staff and community input.

### General Park Standards

**Pedestrian And Bicycle Access** - All parks shall be connected to other Green Infrastructure assets via sidewalks, bicycle lanes or shared use pathways.

**Safety** - Unsupervised play areas will be visible from the street or adjacent uses. If parks also serve a detention purpose, play areas and connections to them are to be elevated out of the detention area so they stay dry and accessible during flood events and are visible from the street.

Table PK.1: Acres Necessary To Meet Current Standards					
Population Scenario	Year	2008	2010	2015	2020
Conservative		33,744.00	36,202.00	45,372.00	52,311.00
Baseline		33,744.00	36,636.00	48,004.00	57,626.00
Aggressive		33,744.00	38,812.00	50,485.00	64,223.00
Park Type	Total Acres	Current Ac./1000 persons	To Maintain Current Standard - Acres Needed By:		
		2008	2010	2015	2020
Neighborhood*	62.80				
Conservative		1.90	4.67	22.09	35.28
Baseline		1.90	5.49	27.09	44.37
Aggressive		1.90	9.63	31.18	57.91
Community**	46.50				
Conservative		1.38	3.39	16.02	25.59
Baseline		1.38	3.99	66.15	79.41
Aggressive		1.38	6.98	69.57	88.50
District***	83.60				
Conservative		2.48	6.09	28.81	46.00
Baseline		2.48	7.16	35.33	59.17
Aggressive		2.48	12.56	41.48	75.51
Region****	136				
Conservative		4.03	9.91	46.86	74.83
Baseline		4.03	11.66	57.47	96.25
Aggressive		4.03	20.43	67.47	122.84
Trails (miles)	60				
Conservative		1.78	4.37	20.68	33.01
Baseline		1.78	5.14	25.36	42.46
Aggressive		1.78	9.01	29.77	54.19

\* Includes Continental Reserve, Wade McClean and El Rio and private parks less detention areas. \*\* Includes Continental Ranch, Gladden Farms and San Lucas Community Parks. \*\*\* Includes Ora Mae Harn and Crossroads at Silverbell \*\*\*\*Arthur Pack Park currently serves Marana Residents and the acreage of this regional park was used to determine current standards.

# Marana Parks, Recreation, Trails And Open Space Master Plan

**Context** - Facilities that are lit or that generate substantial traffic shall be located away from residences.

**Diversity** - Multiple-use neighborhood facilities offering a diverse variety of recreation opportunities for users of all ages and abilities are preferred. Throughout a community where neighborhood parks are provided, each park should offer a unique programmatic emphasis.

A variety of developed uses in community parks is also desired to provide the greatest range of services. Maintaining this approach for district parks increases versatility, although at the district level, each park shall have a different programmatic emphasis.

**Shade, Water And Trash** - Shaded seating areas, potable water and trash receptacles shall be available at all parks.

**Sustainable Design/Materials** - Hardscape and softscape shall use, whenever possible and practical, LEED-accredited practices and design or practices and design found to be sustainable by the Town of Marana.

**Support Adjacent Natural Features** - Locate parks so they enhance or add to existing and planned open spaces, natural topography and native vegetation. With the exception of active play fields, parks shall not be stormwater detention basins. All recreation facilities shall not be inundated during storm events.

**Views** - Views are critical and reinforce a visitor experience. Locate park sites to maximize views of natural features and minimize views of visitor and support facilities. Park Design shall incorporate viewshed quality into design considerations.

**Culture/Traditional Activities** - Incorporation of local history and traditional land uses into park design is encouraged.

**Energy And Utilities** - Renewable and efficient energy and utility systems such as solar light fixtures, and permeable surfaces to promote water recharge are required where possible and practical.

**Support Facilities** - Safety, visual quality, noise and odor are all factors that shall be considered when siting recreation support services and facilities. Support facilities shall be separated from public use and circulation areas. In certain circumstances, interpretation that explains the sustainable benefits of utilities, energy systems, and waste recycling areas could be incorporated into support facility design.

**Access** - Locate recreation amenities in areas that are accessible by vehicle, bicycle, foot and wheelchair. All facilities within developed parks designed for public use shall be accessible by the public.

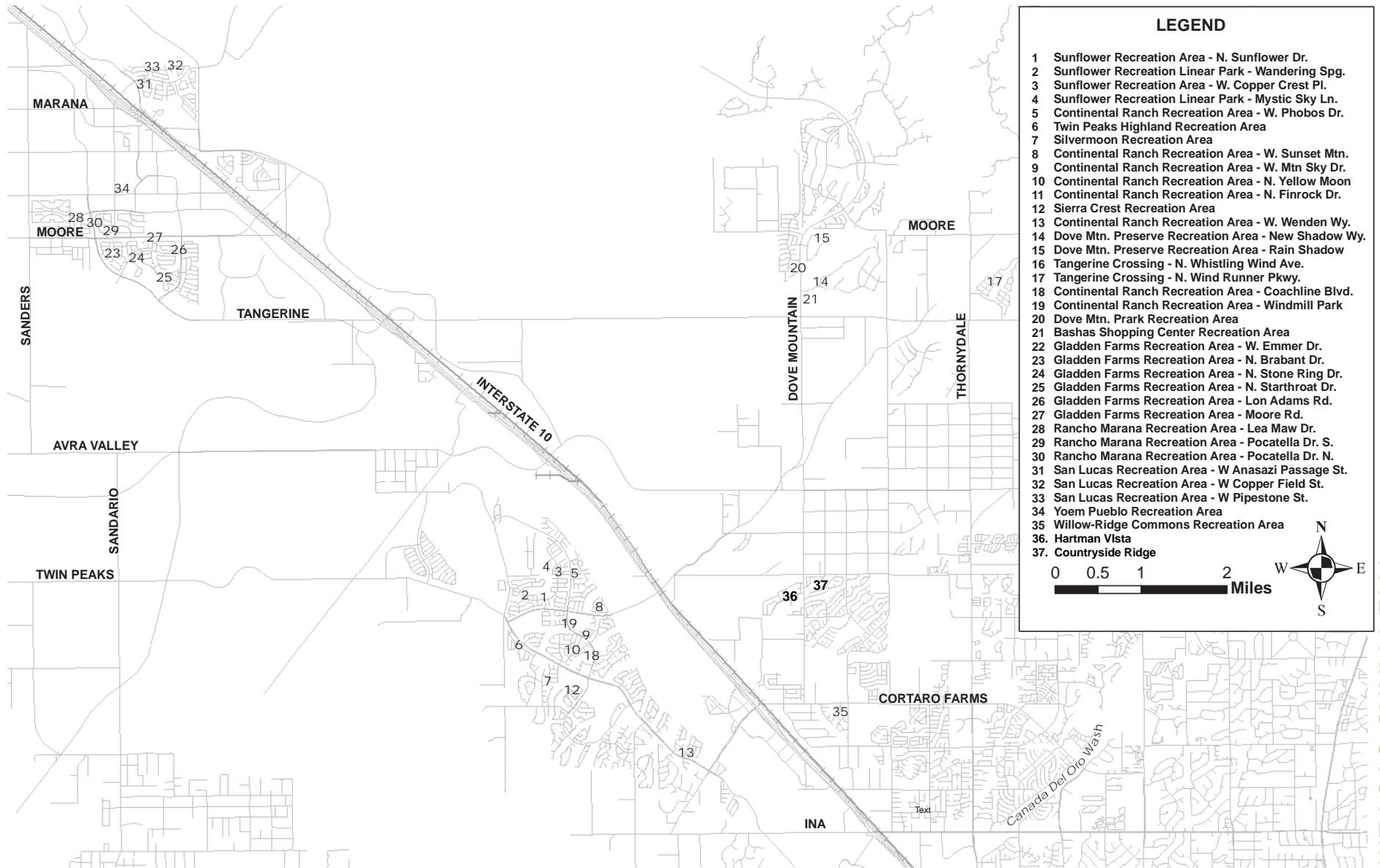
Table PK.2. Existing Public Parks	
Park	Acres
Ora Mae Harn Park	34.7
Continental Ranch Park	17
Continental Reserve Park	9.2
San Lucas Park	13.5
Gladden Farms Park	16
Wade McLean Park	4.9
El Rio Park	1.3
Crossroads at Silverbell	48.9
Private Parks (excludes detention basins)	48.76*
<b>Total</b>	<b>194.26</b>

\* Excludes Gladden Farms Detention Basin (21.96 acres) and Rancho Marana Detention Basin (4.18 acres).



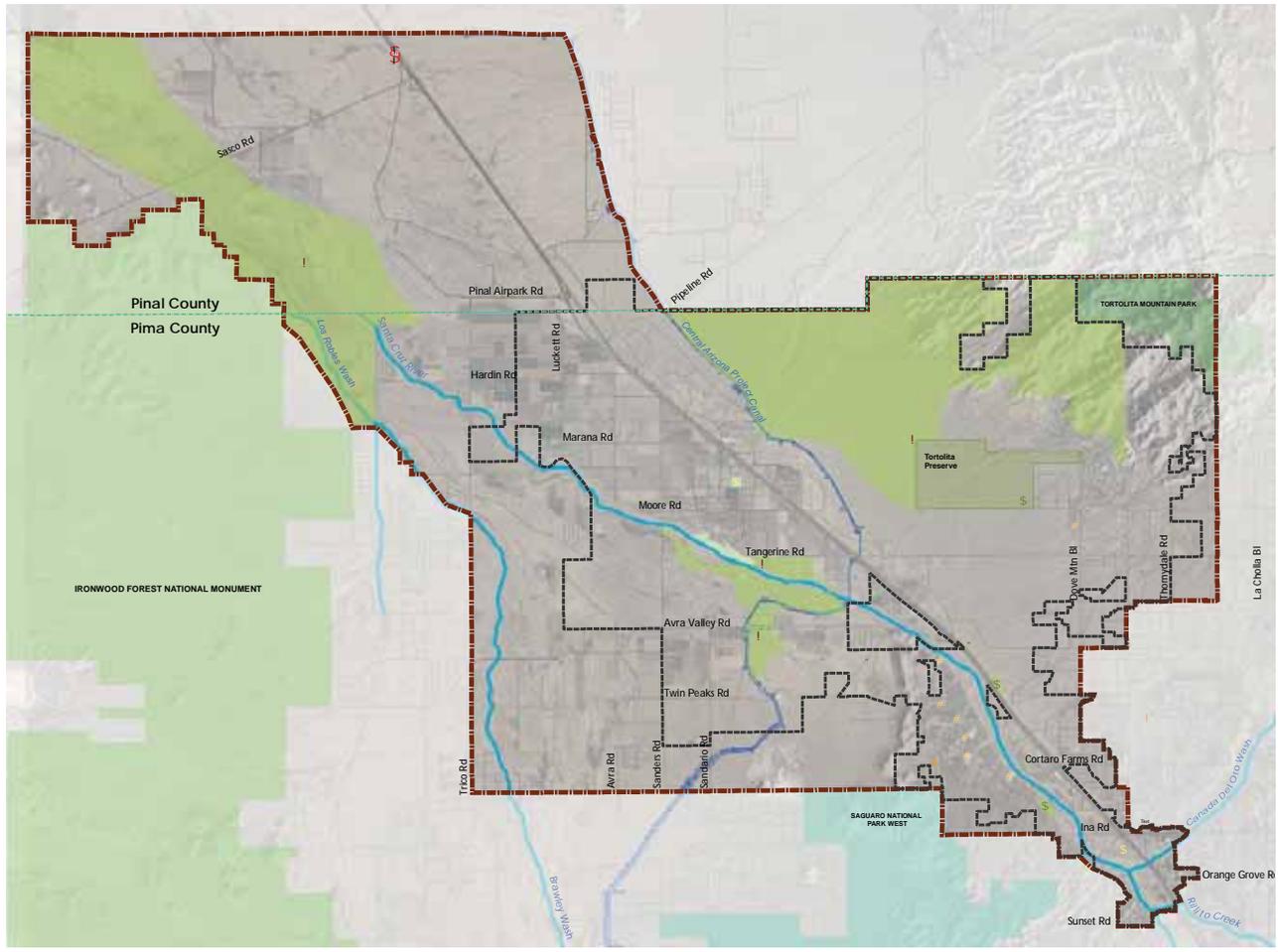
The pool at Ora Mae Harn Park. Photo: PLAN-et.

# Map PK.1. Private Recreation Areas Within Marana



# Marana Parks, Recreation, Trails And Open Space Master Plan

## Map PK.2 Public Parks



**Legend**

- Pinal and Pima County Boundaries
- Marana Town Limits
- Marana Planning Area Boundary
- ! Existing Regional Parks
- ! Proposed Regional Parks
- \$ Existing District Parks
- \$ Proposed District Parks
- # Existing Public Neighborhood Parks
- # Proposed Public Neighborhood Parks
- Existing Community Parks
- Proposed Community Parks
- Existing Park Boundary
- Proposed Park Boundary
- Street Network
- Marana Proposed Roads
- Railroad
- Rivers and Washes
- Central Arizona Project Canal

0 0.5 1 2 3 4 Miles

<b>Table PK.3: Town Of Marana Recommended Standards (Per PRAC meeting on 2-19-09)</b>					
		<b>2008</b>	<b>2010</b>	<b>2015</b>	<b>2020</b>
<b>Population</b>	<b>Conservative</b>	33,744	36,202	45,372	52,311
	<b>Baseline</b>	33,744	36,636	48,004	57,626
	<b>Aggressive</b>	33,744	38,812	50,485	64,223
<b>Park Type</b>	<b>Future Standard Acres Per 1,000 residents</b>	<b>Total Acres Needed By</b>			
<b>Neighborhood</b>	<b>1.99</b>				
<b>Conservative</b>		3.04	7.93	26.18	39.99
<b>Baseline</b>		3.04	8.80	31.42	50.57
<b>Aggressive</b>		3.04	13.13	36.36	63.69
<b>Community</b>	<b>2.73</b>				
<b>Conservative</b>		45.62	52.33	77.37	96.31
<b>Baseline</b>		45.62	53.52	84.55	110.82
<b>Aggressive</b>		45.62	59.46	91.32	128.83
<b>District</b>	<b>2.48</b>				
<b>Conservative</b>		0.00	6.09	28.81	46.00
<b>Baseline</b>		0.00	7.16	35.33	59.17
<b>Aggressive</b>		0.00	12.56	41.48	75.51
<b>Region</b>	<b>8.67</b>				
<b>Conservative</b>		156.78	178.11	257.68	317.88
<b>Baseline</b>		156.78	181.88	280.51	364.00
<b>Aggressive</b>		156.78	200.76	302.04	421.24
<b>Trails (miles)</b>	<b>1.78</b>				
<b>Conservative</b>		0.06	4.44	20.76	33.11
<b>Baseline</b>		0.06	5.21	25.45	42.57
<b>Aggressive</b>		0.06	9.09	29.86	54.32
<p>*Includes Continental ranch, Continental Reserve, Gladden Farms and Wade McLean Parks as neighborhood parks, and private parks and recreation areas exclusive of Gladden Farms and Rancho Marana detention basins. Excludes Pima Farms Trailhead. ** Planned Sanders Grove Community Park excluded. ***Ted Walker District Park Excluded. ***Arthur Pack Regional Park and Mike Jacob Sports Park excluded.</p>					

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Neighborhood, Community, District, and Regional Park Standards

This section defines and provides levels of service for the types of parks and presents levels of service for neighborhood, community, district, regional, and special use parks. A summary of this information is included in Table P.2: Additional Acres Necessary Based on Master Plan Recommended Standards (Per Parks And Recreation Advisory Committee Meeting On 2-19-09).

### Types of Parks

This Plan establishes five classes of park. These are:

- Neighborhood Park;
- Community Park;
- Regional Park;
- District Park;
- Special Purpose Park.

Each of these parks serves a distinct purpose and is described below. Detailed standards and facilities appropriate to each of these park types follow the descriptions of each park type and include a conceptual park design, demonstrating integration of the various facilities into a cohesive park environment.

### Neighborhood Parks

A neighborhood park is a one to 10 acre park serving users within a one-quarter mile circumference of its location. These parks are privately owned and operated by home owner associations. Neighborhood parks should not include Town owned or managed facilities.

Marana has 36 planned and existing private neighborhood parks with an approximate total land area of 73 acres. The privately owned neighborhood parks include two large detention areas (Gladden Farms and Rancho Marana) which have limited facilities (walking paths, 2 ramadas and drinking fountain) and are not included in this Plan's neighborhood park calculations. Exclusive of these detention areas, the total private park acreage is 47.4 acres. Map P.2 shows these parks. For planning purposes only all public parks less than 10 acres are considered neighborhood parks. This was done in order to develop an accurate assessment of future park demand in accordance with the park classifications of this Plan. (Consideration of these parks as neighborhood parks for planning purposes does not change the Plan and Town policy of requiring private ownership and maintenance of neighborhood parks.) As a result, the following Town-owned and maintained community parks are included in the neighborhood parks discussion and inventories:

- Continental Ranch Community Park,
- Continental Reserve Community Park,
- Gladden Farms Community Park,
- Wade McLean Community Park,

- El Rio Community Park

Continental Ranch and Gladden Farms Master Planned Communities are served by parks. El Rio Park is located on the north end of the Continental Ranch Master Planned Community and serves as a trailhead for the Santa Cruz Shared-Use Path. Wade McLean Park is located at the south end of Continental Ranch and is associated with Coyote Trails Elementary School. It also serves as a trailhead to the Santa Cruz Shared Use Path. Continental Reserve Park is located in the Continental Reserve Master Planned community and is associated with Rattlesnake Ridge Elementary School. Pima Farms Trailhead neighborhood park is undeveloped and is planned to provide access to saguaro National Park West from Continental Reserve. It is not included in the neighborhood park demand projections.

The 2010 neighborhood park service level is approximately 1.90 acres of neighborhood park per 1,000 residents. Peer communities surveyed as a part of this planning process provide an average of 1.99 acres per 1,000 residents. The Town chose to use the benchmark standard of parks for future planning purposes. To achieve this standard by 2020, and depending on the Town's population growth rate, the Town will require an additional 34 to 64 acres of neighborhood parks for its population.

## Community Park

A community park has a service radius of one mile. Passive and active facilities are located on a ten to 40 acre community park site.

Marana has three existing community parks totaling approximately 38 acres. These parks are Continental Ranch, San Lucas, and Gladden Farms community parks. All are located in Master Planned Communities. Two parks (Gladden Farms and Continental Ranch) are located west of I-10. Two parks were funded and built by private developers. Two additional planned community parks, Casacada and Sanders Grove parks, are planned.

In 2010, The Town provided approximately 1.12 acres of community park per 1,000 residents. Peer communities surveyed as a part of this planning process provide an average of 1.82 and a median of 2.73 acres of community park per 1,000 residents. The Marana Parks and Recreation Advisory Commission determined that the Town should meet the median benchmark average for community parks. Applying this standard to Marana, the Town requires an additional 54 acres (i.e., one to two more community park) to meet current service level requirements and an additional 105 to 137 acres

are necessary to meet 2020 demand.

## District Parks

A district park has a service radius of 2.5 miles. District parks are 40-80 acre-sites and offer passive and active recreation facilities. They may be Town or County owned.

Marana has two existing district parks that total approximately 84 acres. These parks are Ora Mae Harn Park and Crossroads at Silverbell Park. District Parks in Marana are associated with specialized community centers. The Marana Senior Center and Marana Pool are located at in Ora Mae Harn Park. The Pima county Geasa-Marana Branch Library neighbors the park. The Crossroads at Silverbell Park is the Town's newest park, located south of Continental Ranch west of I-10. The park includes the Wheeler Taft Abett Library and historic and pre-historic sties.

The Town currently provides approximately 2.48 acres of district park per 1,000 residents. Because of the wide variation in district parks, no peer community service standard was established. However, programs and facilities provided by district parks have a service area of 10,000 to 20,000 persons (NRPA). Using Marana's average household size, and an average density of 3.7 units per acre, these facilities would, according to the NRPA, have a service area ranging from two to four miles. Consequently, a 2.5 mile service area and a service standard of 2.48 acres per 1,000 residents was established

for Marana district parks.

Currently, the Town is well served by district parks. By 2020, between 46 and 75 acres of district parks (the equivalent of one new district park) will be necessary to maintain current standards.



Neighborhood parks may contain facilities that are unique to each, providing diverse recreation opportunities.  
Photo: AECOM.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Regional Parks

Regional Parks are larger than 80 acres in size and serve a radius of about five miles from the park. Currently, there are not Regional Parks in Marana and residents are served by Arthur Pack Regional Park operated by Pima County and located east of Marana and I-10. The Pima County owned and privately operated Mike Jacobs Sports Park is also used for league play.

The current service standard for Marana, considering Arthur Pack Regional Park, is 4.03 acres per 1,000 residents. This standard is below that desired by the Town. To improve this standard, Marana has a cooperative agreement with the Bureau of Reclamation (BOR) to develop 500 acres of BOR land on Avra Valley Road west of the Marana Regional Airport. Development of this Park will increase the regional park service standard for the Town to 8.67 acres per 1,000 residents, and provide adequate public regional park to meet projected needs through 2020, without consideration of Arthur Pack regional park or the Mike Jacobs Sportspark, which are south and east of Marana.

The Town of Marana recently completed an Environmental Assessment on the Bureau of Reclamation property, clearing the way for the planned regional park. The site is planned as a sports complex that will include play fields for various team sports (including softball, baseball, and soccer), trails, community events, picnicking, and equestrian use, with associated facilities, including rest rooms and parking. The park would be

developed primarily for day use; no overnight uses will be allowed. Phasing in various amenities of the park over a 10 year period is planned to begin in 2010, as the Marana area develops and park use increases. The Town anticipates developing 50 acres of the park for a softball/baseball complex, 60 acres for field sports, 50 acres for specialty uses and conserving 150 acres of the park as undeveloped open space.

## Special Purpose Parks

Special Purpose Parks are unique facilities that are designed around a specific function or ecological asset. The Marana Heritage River Park, located along the east bank of

the Santa Cruz River in northern Marana is intended to interpret the area's rich history and cultural traditions. The park totals approximately 240 acres and includes the Marana Heritage Farm and a portion of the Santa Cruz Shared Use Path.

Other special purpose parks could include sports, aquatic, equestrian, interpretive parks or natural area parks. Special use parks enhance Marana's green infrastructure. Because they are unique attractions and do not generally include traditional park improvements, they are not including in park demand, funding or financing projections.



A neighborhood park provides a place for close-to-home play and supervision.  
Photo: AECOM

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# Marana Parks, Recreation, Trails And Open Space Master Plan

Figure PK.1: Example Neighborhood Park - 3.4 Acres



# Neighborhood Park

**Size:** 1-10 acres

## Service Area:

The immediate neighborhood to a distance of 1/4 mile radius.

## Description:

Neighborhood parks are privately owned and maintained. Developed to provide both passive and active recreation, this small park serves as a social and recreation focal point of the neighborhood. It is a destination within walking distance that provides ease of access for young and senior adult users, while serving users of all ages. Usually stand-alone, this type of park can often be located adjacent to an elementary school maximizing resources to the benefit of the community.

## Service Standard:

1.99 acres per 1000 residents or 937 s.f. per unit (10 acre park)

## Facilities:

Where multiple park sites are provided in a single subdivision or within a master planned community, the program within each park shall be varied to provide a range of recreation facilities.

## Fields:

- Multi-use fields without lights

## Courts:

- Play court without lights
- Basketball court without lights\*
- Tennis court without lights\*
- Sand volleyball without lights\*

## Playgrounds / Play Structures:

Play Structures to be shaded.

- Play structures / area (2-5 yrs.) With shade canopy
- Play structures / area (5-12 yrs.) With shade canopy

## Buildings:

- Restroom building\*
- Picnic / shade ramada

## Pedestrian Improvements:

- ADA walkways to park facilities
- Perimeter or looped walking path\*
- Exercise course\*
- Connections to regional trail system (where applicable)

## Skate / Bicycle Facilities:

- Skate / bike features (grind rails, etc.)

## Access And Parking:

- Vehicular access from local street
- On-site motor vehicle parking\*

## Landscape And Irrigation Improvements:

- Tree planting
- Shrub planting
- Native plant revegetation / restoration
- Turf only in areas used for recreation purposes. Turf shall not be used as a landscape or decorative element.

## Irrigation:

- Automatic irrigation system - drip
- Automatic irrigation system - sprinkler / turf
- Local / on-site controllers

## Access Control:

- Perimeter post and cable

## Utilities And Miscellaneous:

- Potable water
- Electric
- Sanitary sewer\*

## Site Amenities:

- Drinking fountain
- Benches (with shade)
- Picnic tables (with shade)
- Bicycle parking
- Trash receptacles

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Site Lighting:

- Dusk-to-dawn security lighting
- Security lighting along perimeter walking trails.

## Signs:

- Standard park identification sign / monument\*
- Park use regulation signs\*
- Facility / field identification signs\*

## Sustainable Elements

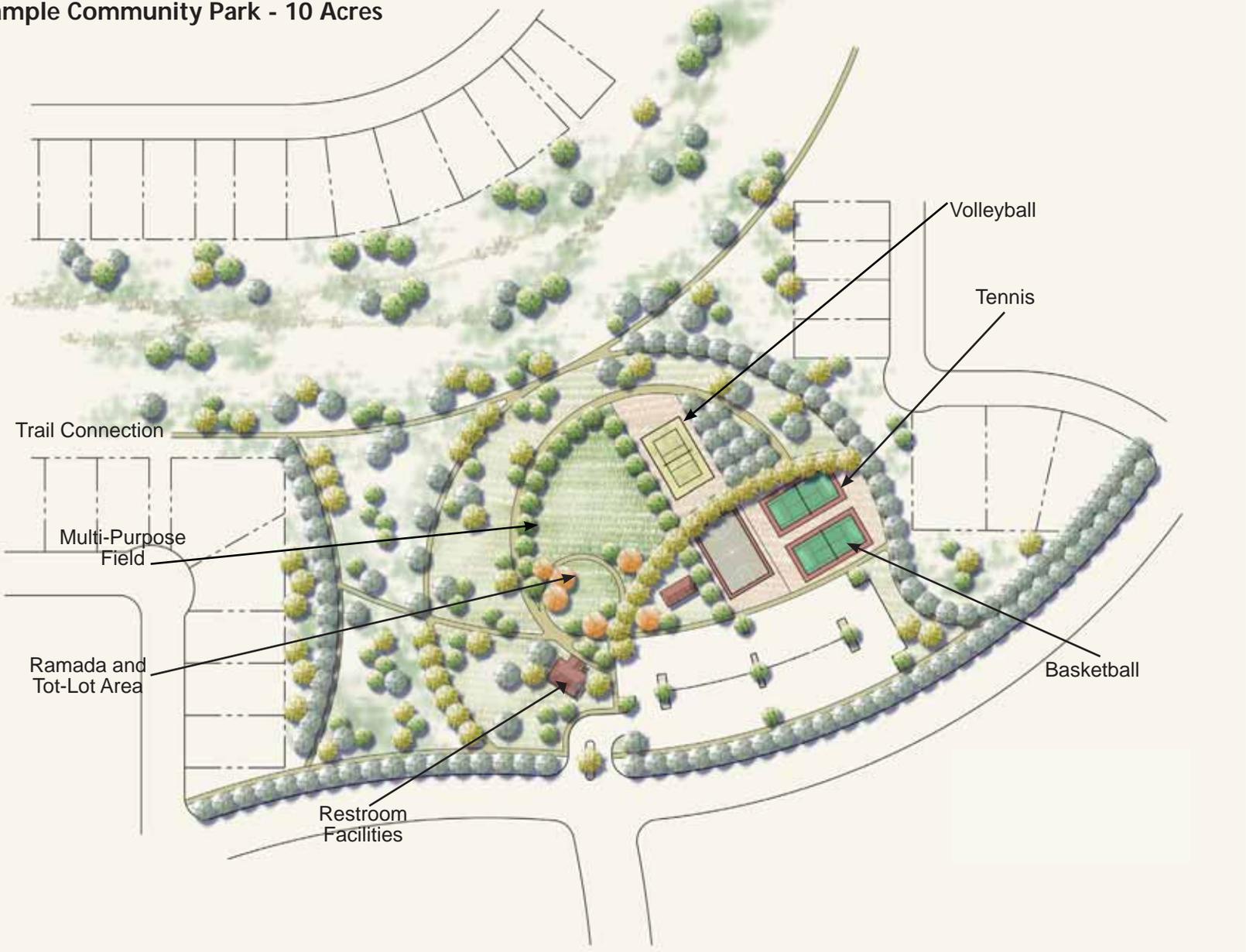
- *Recycling containers:* make recycling in the park convenient to promote higher usage.
- *Turf:* turf is exclusively used in areas designed for recreation and not as a decorative material.
- *Paving material:* use of porous or recycled material to create pedestrian circulation system throughout parks.
- *Reclaimed Water:* Use reclaimed water for irrigation.\*

\*Optional Park Elements

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# Marana Parks, Recreation, Trails And Open Space Master Plan

Figure PK.2 Example Community Park - 10 Acres



# Community Park

**Size:** 10-40 acres

## Service Area:

The surrounding community to a distance of one (1) mile radius.

## Description:

Developed to provide active and passive recreation activities, the community park is a social and recreation focal point for multiple neighborhoods. These parks are generally built by a private developer and dedicated to and maintained by the Town. Designed to serve users of all ages and abilities, it is often located on collector streets and is accessible by vehicle, bicycle or walking. Usually a stand-alone facility, this type of park can often be located adjacent to a middle or elementary school to maximize resources and to benefit from joint use of facilities such as fields, swimming pools, multi-use courts or skate parks.

## Service Standard:

2.74 acres per 1000 residents or 117 s.f. (20 ac. community park) to 234 s.f. (40 ac. community park) per unit.

## Facilities:

Specific facilities and amenities for each park will be determined by the Town Parks and Recreation Director.

## Fields:

- Multi-use fields without lights are required.
- Multi-use lit fields\*

## Courts:\*

All courts shall be lit.

- Play court
- Basketball court
- Tennis court
- Sand volleyball

## Playgrounds / Play Structures:

All play areas shall be shaded.

- Play structures / area (2-5 yrs.) With shade canopy
- Play structures / area (5-12 yrs.) With shade canopy

## Pedestrian Improvements:

- Perimeter or looped walking path\*
- Exercise course\*
- Connections to regional trail system (where applicable)

## Skate / Bicycle Facilities:

- Skate / bike features (grind rails, etc.)

## Recreation Buildings:

In larger parks, facilities for indoor recreation activities or programs may be appropriate. If determined appropriate by the Parks and Recreation Director, these parks shall include adequate land area to accommodate buildings for indoor recreation facilities.

## Access and Parking:

- ADA walkways to park facilities
- Vehicular access from local street
- On-site motor vehicle parking
- Rest room building
- Picnic / shade ramada

## Landscape And Irrigation

### Improvements:

- Tree planting
- Shrub planting
- Native plant revegetation / restoration
- Turf grass (other than playing fields)

### Irrigation:

- Automatic irrigation system - drip
- Automatic irrigation system - sprinkler / turf
- Connected to centralized control

### Access Control:

- Perimeter post and cable
- Gates at motor vehicle entry locations\*

### Utilities And Miscellaneous:

- Potable water
- Electric
- Sanitary sewer
- Telephone (for irrigation controllers)
- On-site storage and maintenance facilities/buildings

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Site Amenities:

These amenities are required.

- Drinking fountain
- Benches (with shade)
- Picnic tables (with shade)
- Bicycle parking
- Trash receptacles
- ADA walkways to park facilities
- Recycling Containers

## Site Lighting:

- Dusk-to-dawn security lighting

## Signs:

- Standard park identification sign / monument
- Park use regulation signs
- Facility / field identification signs

## Sustainable Elements

- *Regional Trail Connections:* Create healthy communities, paving material should be permeable and location of trail should not adversely affect wash habitat.
- *Outdoor Synthetic Courts:* Made from recycled material.
- *Paving Material:* Use of alternative paving and bioswales in parking areas to prevent and filter runoff.
- *Solar Lighting:* Use renewable energy sources for night and security lighting.
- *Reclaimed Water:* Use reclaimed water for irrigation.\*

\*Optional Park Elements



Multi-use fields are a requirement of community parks.  
Photo: AECOM.



A community park offers a wider range of recreation opportunities. Photo: AECOM.

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# Marana Parks, Recreation, Trails And Open Space Master Plan

Figure PK.3: Example District Park - 65 Acres



## District Park

**Size:** 40-80 acres

### Service Area:

The surrounding community to a distance of a 2.5 mile radius.

### Description:

These parks are generally built, owned and maintained by the Town or County. Developed to provide more active than passive recreation, this large park serves a social and recreational focal point for a large area of the community. Designed to serve users of all ages and diverse community-based recreation needs, it is located on major arterial streets and is accessible predominantly by vehicle or bicycle.

### Recreation Buildings:

Each district park shall have a community building(s) designed with a unique programmatic emphasis.

### Service Standard:

2.48 acres per 1,000 residents or 37 s.f. (40 acre park) to 75 s.f. (80 acre park) per unit.

### Facilities:

Specific facilities and amenities for each district park will be determined by the Town Parks and Recreation Director.

### Fields:

- Multi-use fields without lights\*
- Multi-use fields with lights (lacrosse / football etc.)
- Soccer fields with lights
- Softball fields with lights (Fast Pitch)
- Softball fields with lights (Adult Slow Pitch)
- Baseball fields with lights (Little League)
- Baseball fields with lights (Pony League)
- Baseball fields with lights (full-size)
- Synthetic turf soccer / lacrosse / football fields\*

### Courts:

All courts shall be lit.

- Play court with lights\*
- Basketball court with lights
- Tennis court with lights
- Sand volleyball without lights\*
- Sand volleyball with lights

### Playgrounds / Play Structures:

All play areas shall be shaded.

- Play structures / area (2-5 yrs.) With shade canopy
- Play structures / area (5-12 yrs.) With shade canopy
- Bouldering walls\*
- Climbing walls\*

### Buildings:

- Community center
- Restroom building
- Concession building
- Group ramada
- Picnic / shade ramada
- Operations and maintenance garage
- Interpretive / educational ramadas\*
- Aquatic facilities:
- Multi-feature aquatic center\*
- Competitive swimming pool\*
- Splash park\*

### Pedestrian Improvements:

- ADA walkways to park facilities
- Perimeter or looped walking path
- Exercise course\*
- Connections to regional trail system (where applicable)
- Security lighting along perimeter trails



Skate Park at Continental Ranch Community Park. Photo: PLAN-et.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Equestrian Facilities:

- Equestrian trails\*
- Equestrian staging area\*

## Skate / Bicycle Facilities:

- Skate / bike features (grind rails, etc.)
- Skate / bike park

## Access and Parking:

- Vehicular access from local street
- On-site motor vehicle parking

## Landscape And Irrigation Improvements:

- Tree planting
- Shrub planting
- Native plant revegetation / restoration
- Turf grass (other than playing fields)

## Irrigation:

- Automatic irrigation system - drip
- Automatic irrigation system - sprinkler / turf
- Central system controllers

## Access Control:

- Perimeter post and cable
- Gates at motor vehicle entry locations\*

## Utilities And Miscellaneous:

- Potable water
- Electric
- Sanitary sewer
- Telephone (for irrigation controllers)
- On-site storage and maintenance facilities/buildings.

## Site Amenities:

These amenities are required.

- Drinking fountain
- Benches (with shade)
- Picnic tables (with shade)
- Bicycle parking
- Trash receptacles
- Recycling containers

## Site Lighting:

- Field lighting
- Dusk-to-dawn security lighting

## Signs:

- Standard park identification sign / monument
- Park use regulation signs
- Facility / field identification signs

## Sustainable Elements

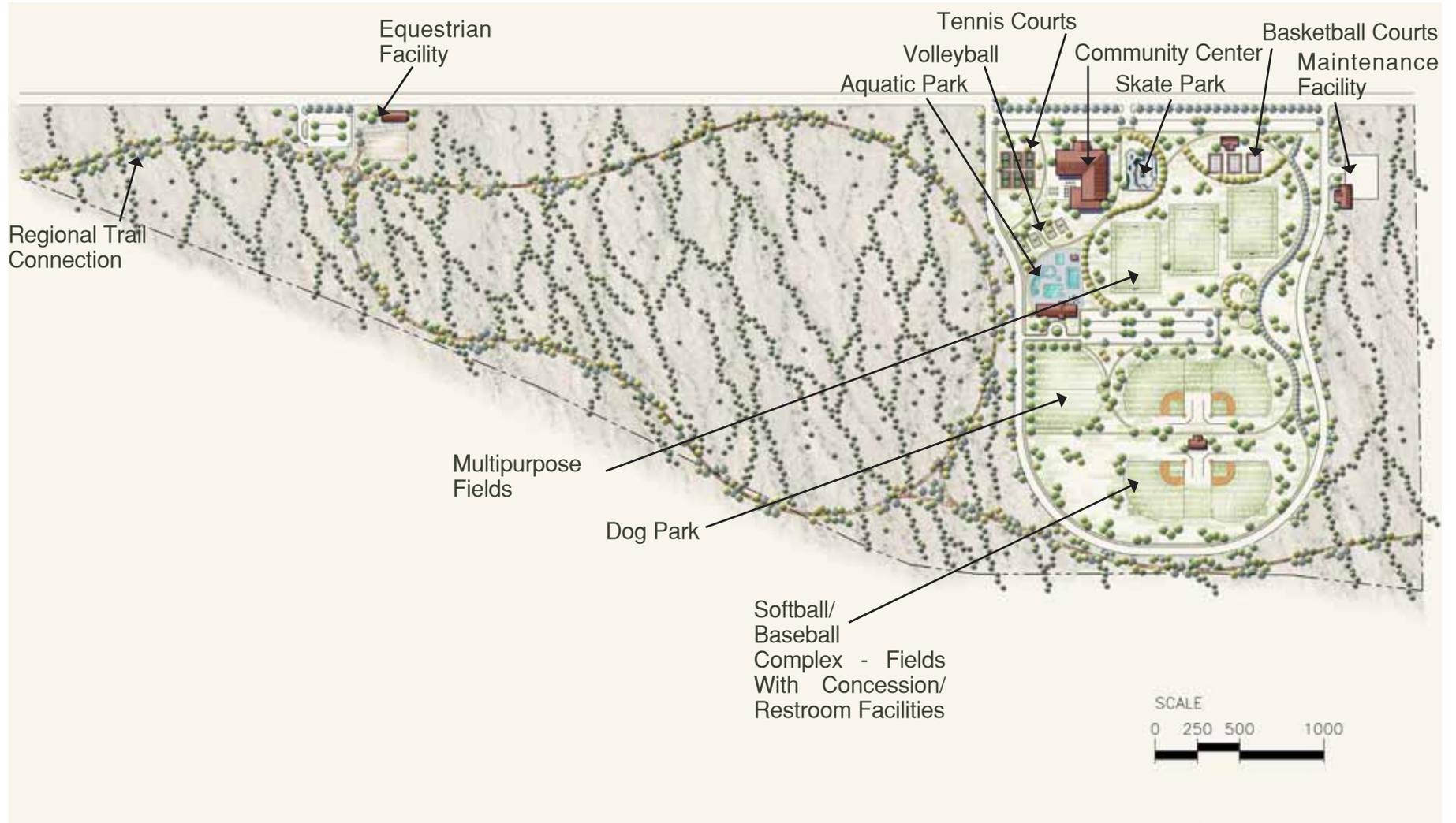
- *Sustainable Buildings:* Use of gray water and low flow facilities, recycled material for building, and energy efficient equipment are a few ways to create green infrastructure in buildings.
- *Limited Turf Areas:* Use turf only on sports fields, this lowers water consumption and maintenance costs. Planting native plants in the other parts of the park creates habitat areas.
- *Recharge and Recycle:* Incorporate trees, shrubs, bio-filtration islands and storm water channels to collect and filter on site stormwater. Use recycled material for elements in the parking including, rails, benches, bars, etc. Consider linear designs to limit concrete use, but allow for same amenities.
- *Reclaimed Water:* Use reclaimed water for irrigation.\*

\*Optional Park Elements

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# Marana Parks, Recreation, Trails And Open Space Master Plan

Figure PK 4: Example Regional Park - 383.6 Acres



# Regional Park

**Size:** 80+ acres

**Service Area:**

The surrounding community to a distance of 5 mile radius.

**Description:**

Regional Parks start as a hierarchy, with all of the active and passive uses typical of a neighborhood, district, and community park incorporated as uses possible in a regional park. A regional park is designed for a diversity of community-based recreational needs and users. It can provide extensive passive recreation and regional facilities that compliment other urban resources. Regional Parks are often located on major arterial streets and accessible predominantly by vehicle. In Marana, regional parks connect to the green infrastructure with trails, linear parks, and trails.

**Service Standard:**

8.67 acres per 1000 residents 75 s.f. (80 acre park) per unit.

**Facilities:**

Specific facilities and amenities for each district park will be determined by the Parks and Recreation Director.

**Fields:**

- Multi-use fields with lights (lacrosse / football etc.)
- Soccer fields with lights
- Softball fields with lights (fast pitch)
- Softball fields with lights (adult slow pitch)
- Baseball fields with lights (little league)
- Baseball fields with lights (pony league)
- Baseball fields with lights (full-size)
- Synthetic turf soccer / lacrosse / football fields\*
- Tournament (multi-field) complexes

**Courts:**

- All courts shall be lit.
- Play court with lights\*
  - Basketball court with lights
  - Tennis court with lights
  - Sand volleyball with lights

**Playgrounds / Play Structures:**

- All play areas shall be shaded.
- Play structures / area (2-5 yrs.) With shade canopy
  - Play structures / area (5-12 yrs.) With shade canopy
  - Boulderling walls\*
  - Climbing walls\*

**Recreation Buildings:**

- Community center designed with a unique programmatic emphasis.
- Rest room building
- Concession building
- Group ramada
- Picnic / shade ramadas
- Operations and maintenance garage and facilities
- Interpretive / educational ramadas\*

**Aquatic Facilities\*:**

- Multi-feature aquatic center
- Competitive swimming pool
- Splash park

**Pedestrian Improvements:**

- ADA walkways to park facilities
- Perimeter or looped walking path
- Exercise course\*
- Connections to regional trail system (where applicable)

**Equestrian Facilities\*:**

- Arena with supporting facilities
- Equestrian trails
- Equestrian staging area

**Skate / Bicycle Facilities:**

- Skate / bike features (grind rails, etc.)
- Skate / bike park

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Access and Parking:

- Vehicular access from local street
- On-site motor vehicle parking

## Landscape:

- Tree planting
- Shrub planting
- Native plant revegetation / restoration
- Turf grass (other than playing fields) for active and passive recreation only. Turf shall not be used as a decorative landscape element.

## Irrigation:

- Automatic irrigation system - drip
- Automatic irrigation system - sprinkler / turf local / central site controllers

## Access Control:

- Perimeter post and cable
- Gates at motor vehicle entry locations\*

## Utilities and Miscellaneous:

- Potable water
- Electric
- Sanitary sewer
- Telephone (for irrigation controllers)

## Site Amenities:

- Drinking fountain
- Benches (with shade)
- Picnic tables (with shade)
- Bicycle parking
- Trash receptacles
- Recycling containers

## Site Lighting:

- Field lighting
- Dusk-to-dawn security lighting

## Signs:

- Standard park identification sign / monument
- Park use regulation signs
- Facility / field identification signs

## Sustainable Elements

- *Transit stop:* locating parks along public transit lines increases access and decreases carbon emissions.
- *Buildings and materials:* LEED silver or better accredited buildings.
- *Desert preservation:* undeveloped natural areas such as hillsides, mountains and rivers incorporated into the overall design of the park, connected to larger open spaces or regional trails and accessible by foot and where appropriate, horse and bicycle.
- *Photovoltaic:* used on buildings to offset energy consumption.
- *Reclaimed water:* Use reclaimed water for irrigation.\*

\*Optional Park Elements



Special Purpose Park Marana River Heritage Park Heritage House (top) and vegetable garden (bottom). Photo: Town of Marana.

# Special Purpose Park

**Size:** Varies, depending on purpose

**Service Area:**  
Community-wide.

**Description:**  
Special Purpose Parks are unique facilities designed around a specific function or ecological asset. Special Purpose parks could include sports, aquatic, equestrian, natural area, or interpretive parks. Special Purpose Parks may require a user fee.

**Facilities:**  
Specific facilities and amenities for each special purpose park will be determined by the Parks and Recreation Director.

- Playgrounds / Play Structures:**
- Play structures / area (2-5 yrs.) With shade canopy
  - Play structures / area (5-12 yrs.) With shade canopy
  - Boulderling walls\*
  - Climbing walls\*

**Recreation Buildings:**  
Buildings as related to the core function of the park.

- Pedestrian Improvements:**
- ADA walkways to park facilities
  - Connections to regional trail system (where applicable)

- Access and Parking:**
- Vehicular access
  - Bicycle access
  - On-site motor vehicle parking

**Landscape:**  
Landscape appropriate to the core function of the park. Unless it is an historic element, or its use is essential to the core function of the park, Turf shall not be used (except for active and passive recreation areas) as a landscape element.

- Irrigation:**
- Automatic irrigation system - drip
  - Automatic irrigation system - sprinkler / turf local / central site controllers

- Access Control:**
- Perimeter post and cable
  - Gates at motor vehicle entry locations\*

- Utilities and Miscellaneous:**
- Potable water
  - Electric
  - Sanitary sewer
  - Telephone (for irrigation controllers)

- Site Amenities:**
- Drinking fountain
  - Benches (with shade)
  - Picnic tables (with shade)

- Bicycle parking
- Trash receptacles

**Site Lighting:**  
As appropriate to the core function of the park.

- Signs:**
- Standard park identification sign / monument
  - Park use regulation signs
  - Facility / field identification signs

- Sustainable Elements**
- *Transit Stop:* Locating parks along public transit lines increases users and decreases carbon emissions.
  - *Buildings and Materials:* LEED Silver or better accredited buildings.
  - *Desert Preservation:* Undeveloped natural areas such as hillsides, mountains and rivers incorporated into the overall design of the park, connected to larger open spaces or regional trails and accessible by foot and where appropriate, horse and bicycle.
  - *Photovoltaic:* Used on buildings to offset energy consumption and for security lighting.
  - *Reclaimed Water:* Use reclaimed water for irrigation.\*

\*Optional Park Elements

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Opportunities, Challenges And Results

### Meeting Future Demand

#### Challenge:

The Town generally obtains neighborhood and community parks through land dedications required as a part of the entitlement process. Town ordinance requires neighborhood park dedications based on subdivision size. Generally, these dedications result in an open space set-aside of one percent for a subdivision with approximately four dwelling units per acre or two percent for a subdivision with approximately five or more dwelling units per acre. These standards are at the low end of the national spectrum which ranges nationally from one to 12% of total lot size minimum open space dedication. Additionally, development fees are used for acquisition of and improvements to district parks. The Town is currently developing a 500-acre regional park that should meet demand through 2020.

Neighborhood parks provided by development in accordance with the Town's zoning code are within walking distance of most homes and include facilities that meet the standards included in this Plan for neighborhood parks. The Town has had mixed results with regards to the provision of community parks by developers, and developers do not contribute to district parks within the Town. Additionally, while the current standards do require Town approval of any park site and improvement dedications, they do not differentiate with regards to type of facility.

As the Town continues to develop, the need for community and district parks will continue to increase. Implementing the current standard will not help the Town to address this anticipated shortfall of district and community park sites and facilities. For example, under the current dedications, at three dwelling units per acre, a 640 acre subdivision would yield approximately eight acres of parkland. Assuming a 1/4 mile service area radius for neighborhood parks, and a one mile service radius area for community parks, a minimum of four acres of neighborhood and five acres of community park would be required. Consequently, this standard is inadequate to meet both neighborhood and community park demand.

#### Opportunity:

Revise the Town Ordinance to a tiered to meet the park service level requirements outlined in this Plan. Using densities similar to those at Continental Ranch (3.7 du/acre), for example, and the Plan service standards, a single neighborhood park serves approximately 283 homes. A community park serves approximately 4,662 homes. A tiered Improvement Requirement could provide the results shown in Table OS.1: Tired Improvement Requirement.

Park Type	Sq. Ft. Re-quired	Units in Ser-vice Area	Total Park Acres
Neighborhood	308	283	2
Community	94	4662	10.6
Total Dedication	402		12.6

#### Result:

Land dedication is directly related to the demand and use by the people living within the service areas. The land dedicated is also allocated to the type of park needed to serve the new population.

### Community Park Distribution

#### Challenge:

Marana is bisected by I-10 and the Central Arizona Project. On the west side of I-10 is the older part of the Town, including the Continental Ranch and newer (2006) Gladden Farms Master Planned Communities, the Town administrative offices and both existing community parks.

On the east side of I-10 is the Dove Mountain master planned community with the Ritz Carlton Resort and low density residential development. Access to Dove Mountain opened the east side of I-10 to increased development potential. There is one community park (San Lucas) east of I-10 in Marana.

**Opportunity:**

The Town is continuing its lease on lands within the Tortolita Fan. There are parcels that are part of the Tortolita Fan, along the periphery of Tortolita Mountain Park as well as privately owned sites that are generally flat and could accommodate sensitive development of another community park that would meet demand and provide active and passive facilities.

**Result:**

A community park could be developed east of I-10 and north of Tangerine Road, enabling the Town to meet the demand for a community park in this area.

**Developing District And Regional Parks To Meet Future Demand**

**Challenge:**

The Town recently completed Crossroads at Silverbell Park, featuring three baseball/softball fields, two soccer fields, two basketball courts, a sand volleyball complex, a Pima County library, and preserved natural areas and historic structures.

A 500 acre Regional Park is planned on Bureau of Recreation land along Avra Valley Road, east of the Marana Airport.

Development fees from new home construction and sales tax based provide some funding for development of these parks.

As the Town continues to grow, development fees will not provide adequate funding for re-

habilitation of existing community facilities, construction of new facilities, and alternative sources of funding need to be identified.

**Opportunity:**

The Town regularly updates and re-assesses it's development fee schedule. Parks and Recreation Department participation in this process, and inclusion of green infrastructure capital costs enables the Town to collect park impact fees for these planned improvements. Exploring other revenue sources such as partnerships, grants, and new fees are is also important to enhancing revenue streams.

**Result:**

Funding for acquisition and construction of new district and regional parks.

**Providing For Off Highway Vehicle (OHV) Use**

**Challenge:**

OHV users living within the Town limits have expressed an interest in designating an area that is reserved for their use. The Town does not have a designated area for OHV use. Currently, OHV users ride in the Santa Cruz floodway and floodplain, in the Ironwood Forest National Monument and on State Trust Land and undeveloped land within the Town's Planning Area. Off-trail OHV use can severely damage the environment.

OHV use in Arizona is regulated by State Law that is enforced by a variety of agencies. Some vehicles are required to be licensed.

In many cases, permits are required to use State Trust land for OHV activities. Currently, two designated OHV areas are in Pima County and proximate to Marana, the Redington Pass Backcountry Touring Area and the Coronado National Forest, Santa Catalina Ranger District. Both of these sites are south and east of Marana. Typically, OHV trails require more maintenance and management than non-motorized trails.

The Bureau of Land Management is completing its Ironwood Forest National Monument Regional Management Plan. The Plan includes four management alternatives, all of which have recommendations regarding reduced or no OHV use in the Monument.

**Opportunity:**

The Ironwood Forest National Monument provides opportunities for OHV use likely to be phased out. Until those opportunities are terminated, the Town can continue to partner with the BLM to allow OHV use in the Monument.

**Result:**

In the future, the Town and County may need to partner with other agencies to identify and develop an OHV park.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Rodeo/Equestrian Facilities

### Challenge:

The Town of Marana has a strong agricultural heritage equestrian and rodeo tradition. The Town has one large commercial arena; the Marana Western Heritage Arena located on school district property at the northeast corner of Postvale and Barnett Roads. The arena is managed through an agreement with a local, non-profit corporation. Reflecting the area's character, there are also other smaller, private arena facilities. Other commercial arenas exist east of I-10 and in the northern areas of town. The Western Heritage Arena is managed by the Marana Western Heritage Committee. Concerns that the land upon which the arena is located will be sold in the near future have prompted the Committee to approach the Town to assist them in finding a new site for the arena. Additionally, the Committee believes that rebuilding the arena on a new site would enable the Town to benefit from a larger, modern facility that could attract national and international equestrian/rodeo events.

### Opportunity:

As other Arizona communities have proven, a class-competitive, modern rodeo and equestrian arena can attract visitors and visitor dollars into an area. Relocating the arena to modern facilities with parking, lighting, and modern improvements will enhance and diversify the Human Assets included the Town's Green Infrastructure.

The Bureau of Reclamation Site, planned as a Regional Park is accessible to visitors and residents, and large enough to support parking and service facilities an Arena would require. Partnering with the Western Heritage Committee by providing the land for the arena could enable the Town to share basic site infrastructure, such as water, sewer electric and parking that would be necessary to the arena and constructed by private developer as part of the arena.

### Result:

With a commercially competitive arena facility, the Town can compete to draw well-attended events to Marana.

## Shooting Range

### Challenge:

The Ironwood Forest National Monument currently permits the use of firearms. The update of the Monument's Management Plan will include changes that prohibit the use of firearms within the Monument. There is a concern that unless a specific facility is identified for this activity, recreational shooting could occur in areas that pose a threat to residents of the area.

### Opportunity:

Work with Pima or Pima County and/or a private facility to construct a shooting range outside the Town limits.

### Result:

The Town will provide facilities that meet the wants of its residents in a safe and appropriate location.

## Competitive Aquatics

### Challenge:

One swimming pool is operated by the Town at Ora Mae Harn Park. The County-owned Wade McLean Pool is located at Marana High School. While the Town pool is used for swimming classes, no competition size facility exists within the Town.

### Opportunity:

A partnership between the Town, not-for-profit organizations and other jurisdictions to could be used to fund and build a competition size swimming facility in Marana. This facility could serve schools, not-for-profit organizations and Town recreation needs.

### Result:

An Olympic-size swimming pool is a recreation facility that serves Town residents and can attract visitor dollars through competitive events.

## Facilities For Lacrosse

### Challenge:

While the Town has adequate fields for soccer and softball, it continues to be challenged by an increase in demand for lacrosse fields. With the growth of the sport in recent years, it is likely that demand for lacrosse fields will continue to increase.

### Opportunity:

In the future, require lit, multiple purpose fields that serve lacrosse, soccer, and other field sports to be constructed.

### Result:

Multi-purpose fields will provide opportunities for a broad variety of competitive sports.

## Engagement In The Development And Permitting Process

### Challenge:

The Parks and Recreation Department works with the Planning Department during the development review process. Site plans are reviewed and approved by the Planning Department. Often these site plans include open spaces, parks, and trails that will either be maintained by the Homeowners Association or dedicated to the Town and maintained by it. In instances where the Town will not receive a trail, park or open space dedication, Parks and Recreation Department Staff is not generally included in site plan review. Consequently, opportunities for connectivity are missed or facilities may not be placed in

locations that complement other, existing or planned facilities.

### Opportunity:

Appoint a Parks and Recreation Department staff liaison to attend all rezoning pre-application meetings and to review and make recommendations on all requests for rezoning. If site plan approval is required, ensure that the site plan is reviewed by and receives sign off from a designated Parks and Recreation Department staff member.

### Result

Enhanced coordination with the Planning Department will ensure that new development provides recreation facilities appropriate to the Town and in conformance with this Plan.



This neighborhood park within the Dove Mountain Master Planned Community is privately owned and maintained.  
Photo: PLAN-et.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## PARKS SYSTEM GOALS, POLICIES, AND ACTION STRATEGIES

### GOAL 1: Provide Neighborhood, Community, District And Regional Parks To Meet Current And Future Needs.

Policy	Action Strategy*
P.1.1 Provide neighborhood, community and district parks in accordance with the standards and population projections included in this Plan.	P.1.1.1 Through new development, work to identify and secure by 2020 or by the time Marana's population is between 52,000 and 64,300 people, between 31 and 55 acres of new neighborhood parks.
	P.1.1.2 In platted and/or developed areas that are not well served by neighborhood parks, consider purchasing and developing vacant lots as neighborhood parks.
	P.1.1.3 In platted and/or developed areas that are not well served by neighborhood parks, consider providing neighborhood park facilities on the periphery of community or district parks.
	P.1.4 Work to identify and secure by 2020, or by the time Marana's population is between 52,000 and 64,300 people, between 85 and 117 acres of land for new community parks.
	P.1.1.5 Work to identify and secure by 2020, or by the time Marana's population is between 52,000 and 64,300 people, between 46 and 76 acres of land for new district parks.
	P.1.1.6 Work with the Arizona State Land Department, Bureau of Land Management (BLM), National Park Service (NPS), Army Corps of Engineers (ACOE), and private landowners to secure easements, right of way and land for trails and trailheads in accordance with the Trails Map.
	P.1.1.7 Develop a Regional Park on land currently owned by the Bureau of Reclamation at Avra Valley Road and the Central Arizona Project Canal.

\* Acquisitions reflect undeveloped land already owned by the Town.

Policy		Action Strategy*	
P.1.2	Provide linear parks that provide connections between the green infrastructure elements and other destinations within and adjacent to the Town.	P.1.2.1	Work with the Bureau of Reclamation, Arizona State Land Department, Pima County Flood Control District, Army Corps of Engineers (ACOE), the Central Arizona Project and other entities to create linear parks and trails within 100 year floodplains, erosion hazard setback zones and other non-developable features that are located alongside of significant washes, rivers, transmission lines and canals.
		P.1.2.2	Through the Specific Plan process and ACOE 404 mitigation plans, and working with the Pima and Pinal County Flood Control Districts, conserve land for natural open spaces and recreation use within the 100-year floodplain along the Santa Cruz River and significant washes within the Town.

**GOAL 2: Provide Parks For Special Uses.**

Policy		Action Strategy	
P.2.1	Provide Mountain Parks within the flatlands of the Tortolita Mountains, or within sparsely vegetated and disturbed areas of the Tortolita Fan.	P.2.1.1	Work with private landowners and the State Land Department to secure vacant land for use as a community or district park east of I-10.
P.2.2	Identify areas for motorized Off Highway Vehicle (OHV) use within Pinal or Pima County that are accessible and available to Marana residents.	P.2.2.1	Continue to partner with the Bureau of Land Management to provide OHV trails within Ironwood Forest National Monument.
		P.2.2.2	Work with the Arizona State Land Department, Bureau of Land Management (BLM), National Forest Service (NFS), National Park Service (NPS), Army Corps of Engineers (ACOE) and private landowners to secure easements, right of way, and land for ATV use areas outside of the Town limits.
P.2.3	Identify facilities for shooting	P.2.3.1	Work with Pima and Pinal Counties to identify and develop a shooting range outside the Town limits if the Ironwood Forest National Monument closes to riflery and archery.
P.2.4	Identify opportunities for other types of special use parks.	P.2.4.1	Explore options for the development of urban reservoirs or lakes.

# Marana Parks, Recreation, Trails And Open Space Master Plan

Policy		Action Strategy*	
P.2.4.	Provide dog parks in key locations that are accessible to Marana residents.	P.2.4.1	Provide, in addition to the dog parks at Crossroads at Silverbell and San Lucas Community Parks, dog parks at the planned Cascada Park and Bureau of Reclamation regional park site.
P.2.5	Provide special use parks that take advantage of man-made and natural resources	P.2.5.1	Continue to work with local farmers and the Community Food Bank to create agricultural preserves that support local farms.
		P.2.5.2	Continue to work with the Santa Cruz River Natural Heritage Alliance and other partners to provide interpretation at the Santa Cruz River.

**GOAL 3: When Economically Appropriate And Feasible, Partner With Private Recreation Providers And Associations To Offer Specialty Parks And Facilities.**

Policy		Action Strategy	
P.3.1	Support unique specialty recreation activities within the Town.	P.3.1.1	Work with the private recreation providers by offering advertising for park events in the Town's recreation publications.
P.3.2	Support the rodeo providers within the Town.	P.3.2.1	Work with the Western Heritage Committee to identify and provide a site for the rodeo arena at the planned Bureau of Reclamation Regional Park through a partnership that provides site electric, water and sewer for the park as a component of the private development of the arena.
		P.3.2.2	Provide advertising for rodeo events in the Town's recreation publications and on the Town's Parks and Recreation Web site.
P.3.3	Provide a facility for Disc Golf,	P.3.3.1	Continue to work with the Marana disc golf community to provide limited assistance for the construction and maintenance of the existing disc golf course.
		P.5.3.2	Provide advertising for local disc golf community events in the Town's Parks and Recreation Publications and a link to disc golf community web sites from the Town's Parks and Recreation web site.

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Gladden Farms Trail  
Photo: PLANet

# The Trail System

## Introduction

Trails (unpaved) and paths (paved) are integral to Marana's Green Infrastructure. They contribute to the social life and health of the community by connecting Marana's ecological, human and sustainable assets. While paths and trails are usually accessible from any location, trailheads provide a designated point of access where amenities such as parking, water, and restrooms may be available. Fundamentally, the Town of Marana Trail System is based on:

- *Connectivity*: to local and regional destinations;
- *Convenient Access*: for residents and visitors to walk or ride to the system;
- *Accommodation*: of all types of users and,
- *Celebration*: of Marana's unique history, culture, and character.

## Overview/Current Conditions

Paved paths and unpaved trails currently exist in Marana. Both types of facilities are considered shared-use. The combination of paths and trails provide for a wide variety of both transportation and recreational use. The smooth surface of paved

paths best accommodate uses such as roller bladders, strollers, road bicycles and wheelchairs. The natural and unpaved surface of trails best accommodates users such as equestrians and joggers. Currently, path and trail names in Marana do not necessarily reflect their surface condition creating confusion for users who desire a certain surface to accommodate their use.

Marana owns and maintains just over fifty-seven (57) miles of existing paths and trails. An additional 3.5 miles of trails are owned and maintained by the Gladden Farms Homeowners Association. The facilities owned by the Town include back country trails in the Tortolita Mountains and Fan and the Santa Cruz Multi-Use Path. The Santa Cruz Multi Use Path in Marana is considered as the Marana portion of the Juan Bautista de Anza National Historic Trail.

An additional one hundred and twenty (120) miles of paths and trails are proposed in Marana in a variety of documents including the Pima Regional Trail System Master Plan, the prior Parks and Recreation Master Plan and in documents submitted for Master Planned Communities. Approximately



A shared use path within the Town.  
Photo: PLAN-et.

# Marana Parks, Recreation, Trails And Open Space Master Plan



Marana Transportation Plan, July 2001: Future Bicycle and Pedestrian Facilities



July 2000 Town of Marana Parks, Trails and Open Space System Master Plan Trail System Map

## THE TRAIL SYSTEM

102 miles of planned paths and trails are included in the Pima Regional Trails System Master Plan alone. These trails include an approximately 25 mile long trail/path along the Central Arizona Project Canal (CAP) and an approximately 17 mile long portion of the historic Juan Bautista de Anza Trail (east) following the Santa Cruz River as well as other routes. The CAP Trail will connect south through Tucson, with a long term vision to connect to Phoenix and to the Colorado River to the northwest. The Anza Trail connects from Mexico to California.

The Town also maintains trails within the Tortolita Mountains. These trails include Wild Burro, Alamo Springs, Wild Mustang,

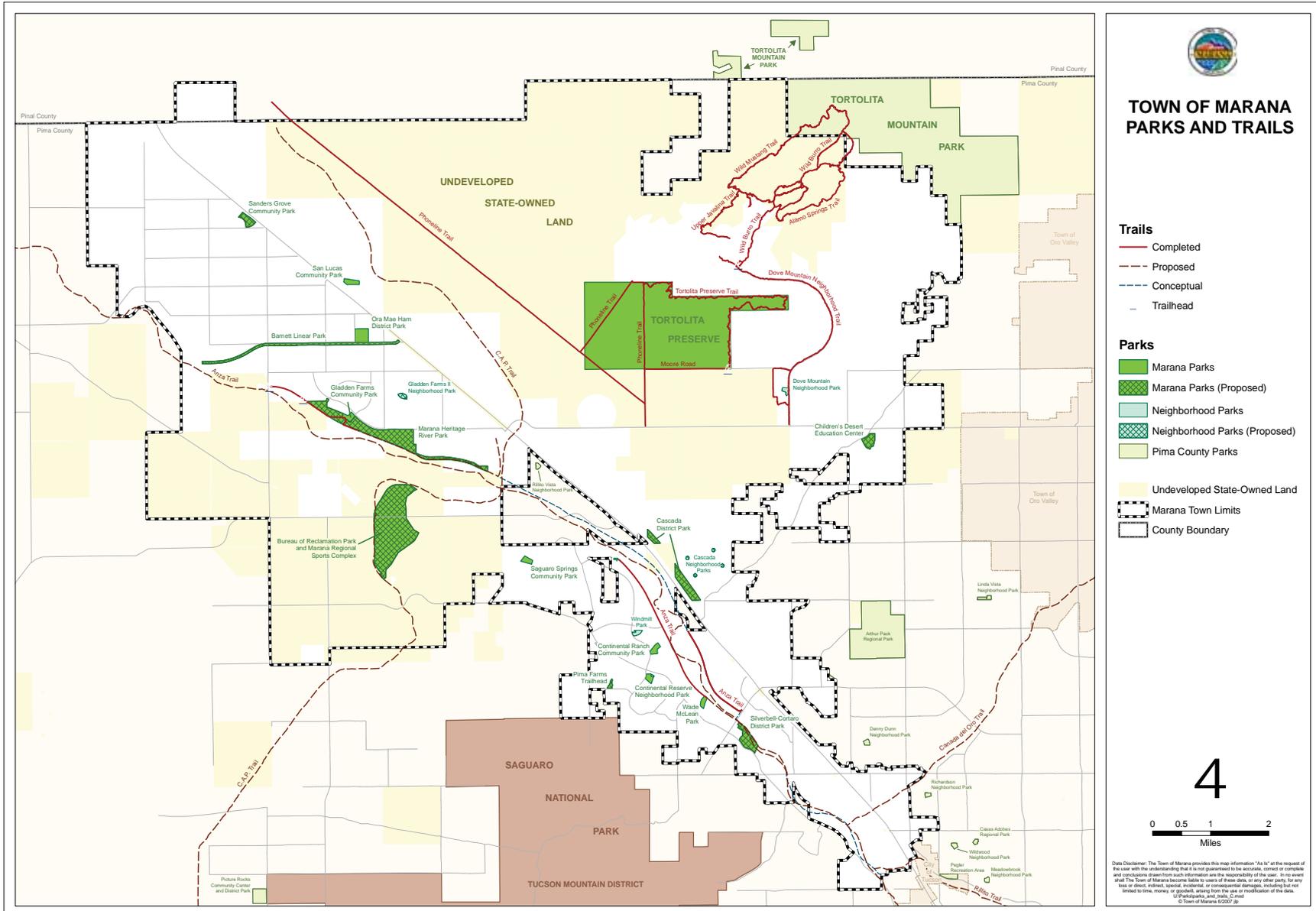
and Cochie Springs Trails and are used extensively by the Town's active hiking community. Active hiking clubs exist at Heritage Highlands, Dove Mountain, and Sunflower. The Town also hosts regular hikes in the Tortolita Mountains.

The Town identifies on and off-street trails and multi-use paths in a variety of documents. The July 2001 Transportation Plan also includes a trails plan that shows on and off-street bicycle facilities and sidewalks through 2025. The July 2000 Town of Marana Parks and Recreation Master Plan identifies trails including primary, connector and local trail categories. In this plan, multiple use trails are located along washes, the Santa

Cruz River and the CAP Canal. Currently, planned and existing multiple use trails are identified on the Town of Marana Parks and Trails Map. (Map T.1: 2009 Town of Marana Parks and Trails.)

The Town's trail system ties into the Pima County regional system, trails in Oro Valley, Pinal County and trails within Saguaro National Park West, located on the southern boundary of the Town. Saguaro National Park recently updated its plan to include new trails and entry points from the Pima Farms Trailhead, in south Marana. The Ironwood Forest National Monument provides a destination on the west side of Marana for trail users.

Map T.1: 2009 Town Of Marana Parks And Trails



# Marana Parks, Recreation, Trails And Open Space Master Plan

To enhance Marana's Town Center, the Town designated a greenway along Barnett Road, connecting Ora Mae Harn Park to the Santa Cruz River. Other important connections include the separated path and bicycle route along Tangerine Road, and connections between the Central Arizona Project Canal and the west side of the Tortolita Mountains.

## Trail Standards

### Per Capita Trail Standards

The Benchmark Survey found an average of .9 miles of trails per 1,000 residents. Marana currently provides 1.82 miles of trails per 1,000 residents. To maintain this standard, and assuming densities remain constant, by 2020 the number of miles of trail system would have to increase, depending on growth, by 33 to 54 miles.

For a trail to be considered as a park credit associated with development, it must 1) meet the standards for a "Path" as described in this Plan, 2) it must be accessible to the public, and 3) it must directly connect to the Town's trail system.

### Specific Trail Standards

The standards in this Plan apply to all public and private trails in Marana. The Trail Standards were initially developed for the Pima Regional Trail System Master Plan. They are included in **Appendix III** and ensure consistency with the Regional Trail System. The details, drawings, and tables included

in the Standards shall be used to guide development of Marana and the regions' trails, paths, pedestrian areas, enhanced bicycle and pedestrian corridors, access areas, and special crossings. The Standards address non-motorized, paved paths and unpaved trails intended for recreation and connectivity. They include trails in parks, along drainage features, other open space areas and along vehicular routes. Detailed information is provided for individual trail and trailhead facilities, as well as for facilities that combine paved and unpaved trails within one corridor (such a Greenway or River Park). Additionally, specific materials, widths, and clearances are identified for each trail type and trail facility. Standards for on-street bicycle



The Juan Bautista de Anza Trail follows the Santa Cruz River through Marana. Photo: PLAN-et.

facilities are not included in this plan, and are provided in the Town's Transportation Plan.

The Standards are organized into two parts: Main Trail Elements and Supporting Elements. Main Trail Elements apply to the specific type of trail or path. Supporting Elements refer to those additional elements that are necessary for a safe and well-functioning trail system. Main Trail Elements include:

- *Trails and Trail Corridors.* This includes facilities constructed within a developed area along a wash, road or open space or greenway.
- *Single-track Trails and Corridors.* These trails and corridors are generally located in undeveloped areas such as, but not limited to, a wash corridor or in Special Use Parks and the Tortolita Mountains.
- *Paths and Path Corridors.* Paths and path corridors are smooth surface travel-ways for all types of users.
- *Riverparks and Greenways.* Riverparks and greenways are considered Special Use Parks. These types of parks typically follow washes or rivers.

Supporting Elements include:

- *Trailheads.* Trailheads are located along all types and levels of trail and path corridors. They provide parking spaces, as well as non-vehicular access to local and regional destinations and open space areas. The Standards include guidelines for standard

trailheads and trailheads with equestrian amenities.

- *Entry Nodes.* Entry Nodes are developed access areas along all types of path and trail corridors that serve to encourage and welcome neighborhood and local pedestrian, equestrian, and bicycle access to the path/trail system. While they provide minimal amenities, they most importantly provide trail system signs.
- *Boundary Access Points.* Boundary Access Points are the smallest, most basic entry point to the natural resource areas surrounding Marana. They are generally a four-foot wide gap in the boundary fence with a small trail sign. Parking is not provided.
- *Crossings.* The Trail Standards include guidelines for grade separated and at grade crossings.
- *Signs.* The Standards include guidelines for all types of signs located along the trail system.
- *Pedestrian Activity Areas.* Areas of highest population density and with the greatest mix of uses deserve a higher level of pedestrian improvements and accommodations. The Standards include guidance for amenities and facilities in these types of areas.

The Standards additionally provide guid-

ance for some types of trails and trail facilities that are not currently located or planned within Marana. However they are provided for future consideration and use when opportunities may arise.

### Trail Map

The Parks, Recreation, Trails And Open Space Trail Map (Map T.2) describes the location and types of trails that are planned and exist within the Town. The Trail Map should be consulted in the review of all development proposals, and new development and transportation improvements that include a planned trail segment identified on the Trail Map shall provide the trail segment as part of the development proposal or transportation improvement, and in accordance with the Trail Standards provided in Appendix C of this plan.



This trail connects the Marana Heritage River Park with the Santa Cruz River. Photo: PLAN-et.

### Corridors

*Paths and trails always occur within a definable setting, or corridor. This plan identifies and includes standards for trail corridors, and within a corridor, for the ideal spatial relationships of paths and trails to each other, to roadways, buildings, river edges, walls, fences, property lines, and other features. The standards include a recommended corridor width that is made up of a combination of the path and/or trails, available right of way (right of way width minus pavement and median width), easements, tracts and/or setbacks. Every effort should be made to maintain the corridor widths to promote user safety and comfort, a respect for the environment, and respect for neighbors. It is likely that the recommended corridor widths can be accommodated within available right of way and land already set aside for utility easement, buildings, and landscape setbacks.*

*Trail and path users are particularly sensitive to adjacent to roadways. The corridor standards in this plan increase the distance between the road and trail or path where the roadways are widest, busiest and noisiest. The standards allow narrower setbacks of the trail from the road along quiet neighborhood streets. As a result, the recommended corridor with varies based upon the type of roadway and type of trail/path. When available corridor widths are extremely narrow, this plan recommends that the path and/or trail should meet the standard width and the landscape area/setback standard between the facility and the road should be reduced.*

# Marana Parks, Recreation, Trails And Open Space Master Plan

The Parks, Recreation, Trails And Open Space Master Plan Trail Map builds upon the Pima Regional Trail System Master Plan (2010). Additionally, it incorporates and adds to routes identified in the Pinal County Trails and Open Space Plan. This plan supports the shared use philosophy of the Pima Regional Trail System Master Plan, "Respectful mutual accommodation - all users share all paths and trails unless there is a safety issue or technical limitation."

The Town of Marana Trail System also provides a denser system of local links and connections than are currently planned, and incorporates the regional trails and routes identified in the Pima and Pinal Counties' Plans.

## Challenges, Opportunities And Results

### East-West Connections

#### Challenge:

The I-10, the Union Pacific Railroad, the CAP, the Santa Cruz River and Los Robles/Brawley Wash are generally north-south features that limit opportunities for east west connections. As a result, trails on the west side of the I-10 do not connect to the Tortolita Mountain Park or the Catalina Mountains (with the exception of Tangerine Road). Trails on the east side of the I-10 connect to the Central Arizona Canal, but do not provide direct non-motorized access to key human assets

of the Town's Green Infrastructure, notably Crossroads at Silverbell and Ora Mae Harn Parks. The I-10 and Union Pacific Railroad provide significant barriers to east-west trails that should connect to the Santa Cruz River and to Ironwood Forest National Monument.

#### Opportunity:

The reconstruction of Tangerine and Cortaro Roads, paths and trails along Hardin and Sasco Roads, and the proposed new intersection at Avra Valley Road at I-10 will enhance east-west connectivity in Marana. Intersection improvements at Marana Road/ Cochie Canyon Trail would also provide an important connection that is easily accessible to Marana's Town Center. Missile Base Road provides another east/west trail connection east of the I-10 as it crosses the railroad tracks and the CAP.

Washes that flow roughly east/west between Sasco and Pinal Airpark Roads could provide locations for paths/trails and trail underpasses at the time freeway/frontage road and railroad corridor improvements are made. These corridors would enhance connectivity between the CAP and the Santa Cruz River as well as become green infrastructure cores for potential future development.

Even with improved intersections along the I-10, the freeway corridor still provides a significant barrier. Paths and/or trails paralleling both sides of the freeway would provide convenient routes to these limited crossings, as well as make the corridor truly multi-modal.

#### Result:

Enhanced connectivity across I-10 and from I-10 to the Santa Cruz River.

### Access To Tortolita Mountain Park And The Tortolita Preserve

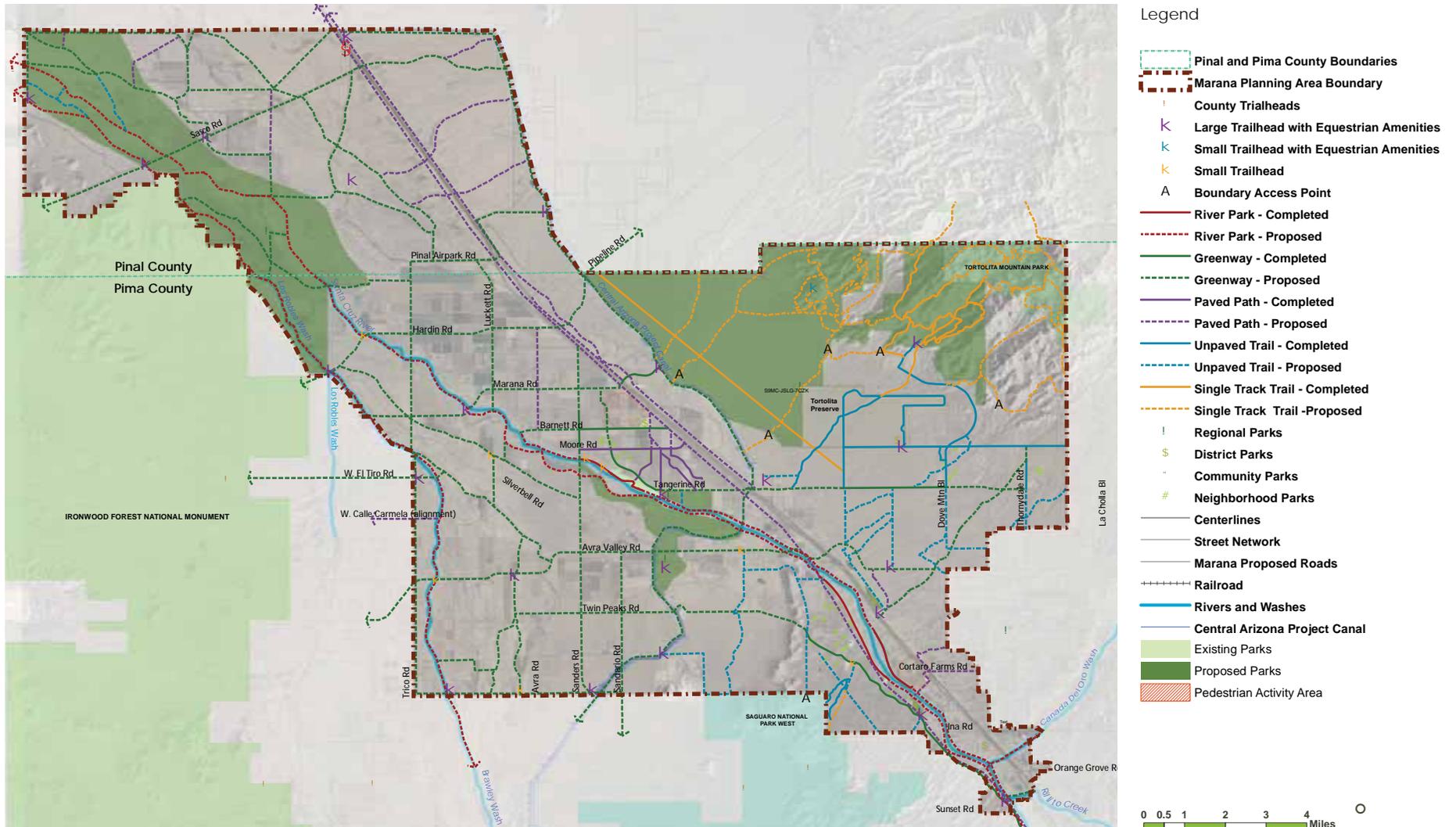
#### Challenge:

Large master planned communities line the east and south side of the Tortolita Mountains and the Tortolita Preserve. Development will continue to be attracted to the edges of this remarkable resource. While the bulk of the Tortolita Mountains and Fan (the area between the Tortolita Mountains and the CAP) is planned as public open space, the majority of Marana residents will not live close to these resources. Additionally, access from the north and west is extremely limited. A limited number of trailheads have been provided to extend access to those who do not live immediately adjacent to these resources. Consequently, it is critical to maintain access to this resource from populated areas.

#### Opportunity:

Opportunities to work with developers and public agencies to preserve lands, build trails, and provide additional publicly accessible trailheads that provide immediate access into the lands exists as development around the Tortolita Mountains continues. These trailheads could be constructed as a part of the development, include parking and basic amenities, and dedicated to and maintained by the Town.

Map T.2: 2010 Parks, Recreation, Trails and Open Space Master Plan Trail Map



# Marana Parks, Recreation, Trails And Open Space Master Plan

## Result:

Public access to the Tortolita Mountains is maintained.

## Connectivity To Ironwood Forest National Monument

### Challenge:

West of the Town is the The Ironwood Forest National Monument. At its northern edge, the Monument shares a border with the Marana Planning Area. The Monument is managed as a primitive wilderness area, with undesignated camping areas and few roads. The New Management Plan, continues this approach, and includes additional restrictions regarding the types of activities that could occur in the Monument. The Management Plan does not anticipate additional trails or additional access points.

### Opportunity:

The main entry points into the Monument are Silverbell and Sasco Roads. Both of these roads are designated trail corridors. Extending these corridors into the National Monument links this key ecological asset into the Town's Green Infrastructure and provides a quality destination for all types of trail users.

West El Tiro Road, though largely outside of Marana's Planning Boundary, also provides a location for a trail corridor into the Monument and links to north/south corridors along Trico Road and the Brawley Wash.

## Result:

Trail connections expand access into Ironwood Forest National Monument.

## Meeting Basic Trail Standards

### Challenge:

As Marana's population grows, the construction of new trails is necessary to maintain the standards of this plan. However, trail standards that are determined by miles per capita can be misleading. For example, a large portion of the Town's planned trails are along the Santa Cruz River and the CAP. Whereas construction of these trails would result in the Town maintaining its current standard of 1.82 miles of trail per 1,000 population by 2020, they are not easily accessible to the vast majority of Town residents and do not access all of Marana's important destinations.

### Opportunity:

An alternate standard for trails is based upon physical access. Currently, most residents live within one-half to one-quarter mile of a planned or existing trail or bicycle route. To maintain this standard, the Town would have to increase its trail system commensurate with new development. This approach could also be more cost-effective, as existing trails could serve infill development, and new trails necessary to serve the periphery could be constructed as a component of new development. All new trails and paths would contribute to the enhanced connectivity to Marana's regional and local destinations.

Other existing resources can provide additional trail and path corridor opportunities. Undeveloped desert areas have many drainages and washes. Farmland areas have comprehensive networks of irrigation canals and laterals. All of these linear corridors are suitable for path and trail use immediately and can become the focus of open space areas in new development.

## Result:

Trails are closer to Marana's residents.

## Equestrian Access

### Challenge:

North Marana has maintained a rural character that includes large equestrian and hobby farm lots. Many roads are narrow, and right of ways are undeveloped.

### Opportunity:

Because north Marana is largely undeveloped and not zoned for future master planned communities, an opportunity exists to work with landowners to dedicate trail easements allowing equestrians to cross their property. Unpaved trail routes connecting to the Santa Cruz River to the west could be identified and signed, with very little cost to the Town and thereby enhance the equestrian lifestyle.

## Result:

Equestrian access to the Santa Cruz River and Juan Bautista de Anza National Historic Trail.

## Conveying Marana's History And Culture

### Challenge:

Large and relatively fast development often occurs without regard to a region's culture and history. Corporate architecture and design based on rigid standards creates a sameness in a community. Marana has a complex and layered history. The community draws strength from this history and celebrates it in many ways.

### Opportunity:

Creating trails that convey the historic and cultural character of key corridors such as the Anza Trail along the Santa Cruz River, the Butterfield Stage Route roughly following the I-10 corridor, and the Town's proposed greenway between Ora Mae Harn and Marana Heritage River Parks can help celebrate the Town and identify regional trail segments as distinct to Marana. Designing trails that interpret their historic relevance, the cultural significance of the areas through which they pass (the Town's Greenway passes through historic agricultural areas), or that celebrate important natural resources and views (such as the trail along Tangerine Road) makes trails into destinations. This can contribute to the Town's strategic goal of becoming a recreation capital as well as enhance the relevance and meaning of the Town's Green Infrastructure to its residents and visitors.

### Result:

Increased appreciation for and awareness of the Town's cultural resources and history.

## Increase Opportunities To Access The Trail and Path System

### Challenge:

Designated access points provide a formal entry to the system and opportunities for meeting places, facilities such as restrooms and parking, maps, and interpretation. Trailheads add to the cost of trail maintenance and construction, yet are critical to providing equitable access to all.

### Opportunity:

New trailheads can be provided in a number of ways. Trailheads can be an integral part of community, district, and some neighborhood parks. Trailheads can be stand-alone facilities in critical areas where no other park sites exist. Trailheads should also be included in the trails and open space systems of Master Planned Communities thereby reducing the cost of construction and maintenance of these facilities while preserving clear and designated access points for the entire community

### Result:

Trailheads provided at multiple points throughout Marana.

## Consistency In Trail System Planning

### Challenge:

Marana has trails identified in four documents; the July 2000 Transportation System Master Plan, the July 2000 Park, Trail and Open Space Master Plan, the Town's Park and Trail Map and in the Pima Regional Trail System Master Plan. While these documents have trails in common, they differ in some substantial respects.

### Opportunity:

This Plan is consistent with other regional plans. Marana's plans should build upon and be consistent with other regional plans such as the Pima Regional Trail System Master Plan.

### Result:

A single, recognized plan with clear and consistent standards and map would reduce confusion with regards to trail location and design.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Connectivity To National And Regional Resources Out- side The Town Limits

### Challenge:

The Ironwood Forest National Monument, Picacho Peak and the Saguaro National Park West all lie on the edges of Marana or its Planning Area Boundary. While the Saguaro National Park is located directly on the Town's border, and has trailheads directly accessible from the Town, the Ironwood Forest National Monument entrance is a few miles from the Town's west border. Picacho Peak is a few miles north of the Town's Planning Area Boundary in Pinal County.

### Opportunity

Pinal and Pima Counties have recently adopted trails plans. While these plans do not include links from Marana to Picacho Peak and include few links from Marana into the Ironwood Forest National Monument, these plans could be amended to include them. Additionally, the Marana trails plan can build upon the trail networks of these plans to enhance access to critical open space and/or resource areas. Because access to these resources (Ironwood Forest National Monument in particular) is along local roadways, funding, through Enhancement, Heritage, or Transportation funds or other resources could be identified to develop these links.

### Result:

Marana's Green Infrastructure will connect to other, larger ecological assets with statewide and national significance.

**THE TRAIL SYSTEM GOALS, POLICIES, AND ACTION STRATEGIES**

**GOAL T1: Develop A Connected And Continuous System That Serves Both Recreation And Transportation Needs And Is Integrated Into An Overall Multi-Modal System.**

Policy	Action Strategy
T.1.1 Provide continuous routes with minimal gaps and loops of various lengths.	T.1.1.1 Require trails identified on the Trails Map included in this plan that are within proposed new developments be constructed at the same time as roads and other critical infrastructure, in accordance with the Trail Standards included Appendix III of this Plan.
T.1.2 Maximize all opportunities for connections between neighborhoods and to local destinations such as schools, parks and other community facilities as well as to regional destinations, regional path and trail corridors, and employment.	T.1.2.1 Create linkages with other parks and recreation facilities throughout the Tucson Metropolitan Area.
	T.1.2.2 Continue development of the shared-use path along the Santa Cruz River.
T.1.3 Provide access to natural open space areas and parks including those on Federal, County, Marana, other jurisdictions and private land where appropriate.	T.1.3.1 Incorporate major destinations/ landmarks for recreation to ensure they are properly marketed and utilized.
T.1.4 Integrate with, connect, support and complement the various elements of the Pima Regional Trail System Master Plan including routes, facility types and design guidelines.	T.1.4.1 Create linkages with other parks and recreation facilities throughout the Tucson Metropolitan Area
	T.1.4.2 Incorporate small desert parks at trailheads to create multiuse opportunities.
T.1.5 Provide linkages and smooth transitions between sidewalks, trails, paths and bike lanes, transit terminals/centers, sidewalks, bus stops, and park & ride lots.	T.1.5.1 Work with Tucson Electric Power (TEP), Arizona Public Service (APS) and other power providers to secure ROW for public trails under utility lines 64KV and greater.
T.1.6 Incorporate path and trail related amenities into bus stops, park & ride lots and other transition points between transportation modes.	T.1.6.1 Work with the the Arizona Department of Transportation, the Town's Transportation Department to provide connections between trails and the motorized transportation system.

# Marana Parks, Recreation, Trails And Open Space Master Plan

Policy		Action Strategy	
		T.1.6.2	Work with the Bureau of Reclamation to finalize trail easements along the Central Arizona Project.
T.1.7	Make full use of regional linear corridors such as the Central Arizona Project Canal, power lines, gas line easements, Interstate corridors, roadways, scenic corridors, rivers, washes, and open space areas.	T.1.7.1	Work with the Arizona Department of Transportation to secure trail easements and crossings along Interstate 10.
		T.1.7.2	Work with the National Park Service and Pima County to secure funds to complete the Juan Bautista de Anza Trail into and through Marana.
		T.1.7.3	Work with Pima County and the Bureau of Land Management to develop a trail connection into Ironwood Forest National Monument along Silverbell Road.
		T.1.7.4	Work with the Arizona State Land Department and Pinal County to develop a trail connections to Picacho Peak.

## GOAL T2: Provide A Quality Trail Experience For All Users.

Policy		Action Strategy	
T.2.1	Develop facilities that will appeal to all levels of ability and interest while providing a variety of experiences.	T.2.1.1	When designing and designating specific trails, take into consideration subtle grade changes, focused and changing views, changes in landscape, physical challenges, markers for entry, arrival and departure, serene places, intimate spaces, dramatic places, group gathering spaces, and places to stop, look, feel and absorb.
		T.2.2.2	Provide trails in urban, suburban and backcountry environments.
		T.2.2.3	Provide various levels of difficulty on unpaved trails by varying the slope, terrain and side conditions.

Policy		Action Strategy	
T.2.3	Integrate construction materials and techniques that respect various user needs and are functionally and aesthetically compatible with the area's character.	T.2.3.1	In keeping with this the Town's Green Infrastructure, use recycled materials, permeable surfaces and other sustainable and LEED-certifiable materials in trail and trail facility construction.
T.2.4	Create new trail designations and districts appropriate to the context of the trail experience.	T.2.4.1.	Create a pedestrian district in the Marana Main Street Activity Area and in the commercial district located at I-10 and Cortaro Road.

**GOAL T3: Identify, Improve, Document And Publicize The Process For Planning, Developing And Maintaining The Path And Trail System.**

Policy		Action Strategy	
T.3.1	Work with the appropriate Town departments to ensure that the trail system is properly identified, evaluated and acted upon during the plan review and construction inspection process of private development & Town managed development.	T.3.1.1	Appoint a Parks and Recreation Department staff member to serve as a liaison between the Planning Department and the Parks and Recreation Department. Assign the liaison responsibility for reviewing rezoning requests and variances and requests for site plan approval for conformance with the Trails System Map.
		T.3.1.2	Appoint a Parks and Recreation Department Staff member to serve as a liaison between the Transportation and Engineering Departments and the Parks and Recreation Department. Assign the liaison responsibility for reviewing planned roadways and roadway improvements for conformance with the Trails System Map.
T.3.2	Provide proper notification to neighborhoods and user groups of pending facility planning and construction.	T.3.2.1	Leverage the use of technology in communicating with residents and employees.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## GOAL T4: Promote And Increase Awareness Of The Path And Trail System.

Policy	Action Strategy
T.4.1 Promote the benefits of the system including but not limited to economic development, transportation, air quality, safety, connectivity, community image, health/wellness, and fun/adventure.	T.4.1.1 Issue press releases about individuals who use the trails for exercise, commuting and recreation. T.4.1.2 Provide trail markers and interpretation that describe the benefits of trail use.
T.4.2 Promote public awareness of the multiple uses of paths and trails.	T.4.2.1 Include a “trail of the month” feature on the Town’s web site. Use this opportunity to describe a particular trail or Town asset accessible by a trail.
T.4.3 Promote the interconnectivity of the path and trail system with other modes of transportation and with important destinations within and outside Marana.	T.4.3.1 Connect Town Trails to regional trails identified in this Plan and the Pima and Pinal Counties’ trails plans.
T.4.4 Involve the community in design, construction and maintenance through events and activities.	T.4.4.1 Partner with groups that support Juan Bautista de Anza Trail to evaluate a multi-jurisdictional historical recreation of the Juan Bautista de Anza Trail journey. T.4.4.2 Explore options for using community groups as volunteer labor for major events. T.4.4.2 Expand the Town’s volunteer program. T.4.4.4 Develop community “Trail Design and Build” days and support and celebrate National Trails Day. T.4.4.5 Develop and/or support hiking, riding and bicycling clubs.
T.4.5 Develop a sense of ownership and connectivity to the path and trail system.	T.4.5.1 Develop and adopt a path/trail/trailhead program. T.4.5.2 Integrate the path/trail system into Town, community, and neighborhood events and activities.

Policy		Action Strategy	
		T.4.5.3	Develop ways to personalize trails through use of local artists, youth projects and places for people to “Leave Their Mark” (i.e. cairns).
		T.4.5.4	Provide interpretation along the trails that includes neighborhood identity/themes throughout the system.
		T.4.5.5	Implement a Volunteer Awards Program that recognizes outstanding contributions or community innovations to the path and trail system.
T.4.6	Promote the system and its related events and activities as an integral part of the community in economic and tourism related promotions and publications.	T.4.6.1	Advertise and promote the Marana trails system in tourism-related publications.
		T.4.6.2	Provide copies of the Marana Trails Map to local hotels and hotel concierges.

**GOAL T5: Develop Educational And Interpretive Components To The Path And Trail System.**

Policy		Action Strategy	
T.5.1	Create safety education programs.	T.5.1.1	Work with the Arizona State Department of Transportation and Pima County to coordinate promotion and development of existing and new public safety education programs related to bicycle and pedestrian safety at elementary, middle and high schools.
		T.5.1.2	Identify possible projects for Safe-Route-To-School programs and State funds.
T.5.2	Include interpretive signs on local and regional flora, fauna, environment, and history/heritage.	T.5.2.1	Provide information about the Tortolita Fan along the Tangerine Road Trail.
		T.5.2.2	Provide information about the Central Arizona Project and the role of water and agriculture in the Town’s development along the Central Arizona Project Canal and the Town’s greenway.
		T.5.2.3	Coordinate with Pima County regarding signing along the trail, while developing a distinctive sign program for that indicates when a trail is within Marana corporate limits.

# Marana Parks, Recreation, Trails And Open Space Master Plan

Policy		Action Strategy	
T.5.3	Exploit all opportunities to educate users about trail use.	T.5.3.1	Coordinate promotion and development of existing and new public safety education programs related to bicycle and pedestrian safety.
		T.5.3.2	Identify possible projects for Safe-Route-To-School programs and state funds.
		T.5.3.3	Provide a trail map on the Town's web site that can be downloaded, and that can be enlarged to show specific locations and facilities.
T.5.4	Exploit all opportunities to educate users about the environment through which trails pass.	T.5.4.1	Provide information about the river system along the Santa Cruz Trail and trails along the la Cañada Del Oro and Los Robles/Brawley Washes.
		T.5.4.2	Include interpretive signs on local and regional flora, fauna, environment, and history/heritage.

**GOAL T6: Provide A Multiple-Use Path And Trail System That Includes Facilities For All Types Of Non-Motorized Uses Including But Not Necessarily Limited To Hiking, Walking, Bicycle Riding, And Horseback Riding.**

Policy		Action Strategy	
T.6.1	Provide and appropriate mix of paved and unpaved facilities.	T.6.1.1	Maintain the Old Tangerine Road Crossing of I-10 as a trail crossing.
		T.6.1.2	Require trails within subdivisions and developed areas to be paved or to have a stabilized surface approved by the Marana Parks and Recreation Department.
		T.6.1.3	Discourage paved trails and paths within the Tortolita Mountain Preserve, the Santa Cruz River Floodway, the Los Robles/Brawley Wash Floodway.
		T.6.1.4	Require paved and unpaved trails along the Central Arizona Trail.
		T.6.1.5	Require a paved trail along the Santa Cruz River levee.
		T.6.1.6	Provide trailhead and trail facilities in accordance with the Trail Standards included in this Plan.

Policy		Action Strategy	
T.6.2	Strive to make all paved facilities meet ADA accessibility standards.	T.6.2.1	Upgrade trails and trailheads to ADA accessibility standards through retrofit and renovation.
		T.6.2.2	Require all new trail and trailhead construction to be in conformance with ADA accessibility standards.

### GOAL T7: Create An Organized And Easily Understood Path And Trail System.

Policy		Action Strategy	
T.7.1	Use to the greatest extent possible the path, trail and other related design guidelines identified in the Pima Regional Trails System Master Plan.	T.7.1.1	Coordinate with the City of Tucson and the Pima County Recreation Department to coordinate the Town of Marana's Trail Standards with those included in the Pima Regional Trail Master Plan.
T.7.2	Make alignments simple and logical.	T.7.2.1	When possible and practical, acquire easements and right of way to create the most direct route between destinations.
T.7.3	Provide trailheads and trails that access local resources and destinations.	T.7.3.1	Coordinate with the Saguaro West development to provide a trailhead that provides access to Safford and Panther Peaks.

### GOAL T8: Increase Physical Activity And Improve Health By Making Trails And Paths An Easy And Convenient Option For Transportation And Recreation.

Policy		Action Strategy	
T.8.1	Locate paths and trails so they are within a maximum 15 minute walk to user's home, schools, and places of employment.	T.8.1.1	Require a trails plan that demonstrates all homes are within 15 minutes of a trail (not sidewalk) for all residential subdivisions 80 acres or larger.
		T.8.1.2	When planning new trails, give those areas that are not within 1/4 mile of a trail priority.
		T.8.1.3	Require all commercial development to provide access to adjacent trails. If a trail is within 1/4 mile of a proposed commercial development, consider providing a link between the development and the trail.

# Marana Parks, Recreation, Trails And Open Space Master Plan

Policy	Action Strategy
T.8.2 Ease the transition between transportation modes by providing appropriate user accommodations and amenities at trailheads, transit stops, and, in the future, at transit centers/stations and park and ride lots.	<p>T.8.2.1 Provide appropriate amenities such as bike racks, drinking fountains and bike storage lockers at trailheads, employment centers and other destinations.</p> <p>T.8.2.2 Amend the zoning code to require bicycle parking at all commercial developments greater than ten (10) acres.</p> <p>T.8.2.3 Within the Marana Main Street Activity Area, provide public bicycle racks and lockers.</p>
T.8.3 Maximize convenient use of the path and trail system by providing access points no greater than ¼ mile apart along corridors.	T.8.3.1 Provide more access points into Wild Burro Wash.
T.8.4 Provide trailheads with the appropriate mix of standard and equestrian parking at a maximum of 3 miles apart along path and trail corridors.	<p>T.8.4.1 Complete the permanent public access trailhead at the Ritz Carlton Resort at Dove Mountain.</p> <p>T.8.4.2 Complete the Tortolita Preserve Trailhead.</p> <p>T.8.4.3 Complete the Vulture Peak/La Cholla Trailhead to the Tortolita Mountains.</p> <p>T.8.4.4 Work to resolve access issues associated with the Cochie Canyon Trailhead.</p> <p>T.8.4.5 Identify up to three additional access points into the Tortolita Mountains from Marana.</p>
T.8.4 Promote respect, understanding and proper trail etiquette between path and trail users and non-users.	<p>T.8.5.1 Publicize the penalties and fines for non-compliance with trail related codes, ordinances, and easements</p> <p>T.9.5.2 Use signs, articles in Town publications and on the Town website to encourage a “share-the-trail” ethic among trail users.</p> <p>T.8.5.3 Promote the “yield etiquette” to all trail users through signs and other public information: Hikers yield to equestrians; bicyclists yield to hikers and equestrians.</p> <p>T.8.5.4 Provide “poop scoop” stations along trails and within parks.</p>

Policy		Action Strategy	
T.8.6	Implement consistent sign design and construction standards across Marana's entire trail and path system.	T.8.6.1	Use universal trail access information on signs that includes information that allows users to choose their best routes.
		T.8.6.2	Work with developers to design, install, and maintain signs within their development on publicly dedicated paths and trails per Town of Marana standards.
T.8.7	Coordinate sign design with Pima County and adjacent jurisdictions as necessary for regional paths and trails which pass through Marana.	T.8.7.1	Work with the City of Tucson and Pima County Parks and Recreation Departments to obtain color palettes, key symbology and other elements that will result in a consistent sign design along regional trails within the Town.

#### **GOAL T9: Pursue Strategic Partnerships Between The Town And Other Entities.**

Policy		Action Strategy	
T.9.1	Identify partnerships that will enhance support for trails and/or reduce the costs for trail construction and/or maintenance.	T.9.1.1	Identify and work closely with neighborhood homeowner associations to maintain trails within and adjacent to Master Planned Communities.
		T.9.1.2	Identify and work closely with the business community to promote and sponsor trail construction projects, events and activities.
		T.9.1.3	Work with the local health community to promote the health benefits of outdoor activity as well as to promote and sponsor events and activities.
		T.9.1.4	Identify and apply for supplemental grant funding to build and maintain trails.
		T.9.1.5	Promote partnerships with user groups and other governmental agencies to develop and promote construction projects, events and activities.
		T.9.1.6	Submit the entire Marana Path and Trail System to the Arizona State Committee on Trails to be considered for inclusion in the State Trail System and thereby become eligible for Heritage Fund matching grants.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## GOAL T10: Enforce Legal Protections To Path And Trail Related Facilities.

Policy	Action Strategy
T.10.1 Encourage actions and policies to keep trails and trail users safe and desirable.	T.10.1.1 Identify, improve, document, publicize, and enforce path and trail related codes, ordinances, easement limitations and allowances that exist at any applicable level of government.
	T.10.1.2 Establish and document a chain of authority and actions for responding to off-road vehicle use violations on paths and trails.
	T.10.1.3 Provide standard easement dedication language to be used during the plan review process.
	T.10.1.4 Review and refine design standards to ensure ability to limit off-road vehicle use on designated paths and trails through the use of physical barriers.
	T.10.1.5 Develop a plan for the eradication of Buffelgrass on and near Town trails.

## GOAL T11: Make All Facilities Safe And Comfortable.

Policy	Action Strategy
T.11.1 Minimize vehicular conflicts with path and trail users.	T.11.1.1 Make at-grade crossings of arterial streets safer by incorporating new crossing techniques such as "Pelicans", "Toucans", the "Hawk" and PXO.
	T.11.1.2 Incorporate grade-separated crossings as often as possible into transportation and development projects.
	T.11.1.3 Provide appropriate horizontal and vertical buffers between paths/trails and adjacent streets and roadways.
	T.11.1.4 Maximize visibility and physical access to paths and trails from streets and other public lands.
T.11.2 Build all facilities to known safety standards.	T.11.1.1 Provide a trail surface material that is firm yet porous under foot to minimize foot/ankle injuries.
	T.11.1.2 Plan urban trails to minimize grades.

**GOAL 12: Create Regionally Significant Trails That Support And Promote The Unique History And Character Of Marana.**

Policy	Action Strategy
T.12.1 Create "Signature" Trails that traverse and loop Marana.	T.12.1.1 Incorporate historic and/or thematic elements into amenities along signature and other trails and into the design of trailheads, nodes, etc.
	T.12.1.2 Incorporate and provide interpretation for major destinations/landmarks along signature and other trails.
	T.12.1.3 Adopt, for signature trails and other trails trail-based building and amenities, architectural design standards that incorporate historical aspects of the Marana region

# Marana Parks, Recreation, Trails And Open Space Master Plan

## GOAL 13: Minimize The Visual And Environmental Impact Of Paths And Trails And Their Users.

Policy	Action Strategy
T.13.1 Use appropriate path and trail classifications based on anticipated level and type of use and the condition and characteristics of the land.	T.13.1.1 Build and develop trails in accordance with the Trails Map included in this plan.
T.13.2 Incorporate appropriate plant salvage and revegetation techniques during path and trail planning and construction.	T.13.2.1 Require, as a part of all construction documents for trails and paths, a plant salvage plan.
T.13.3 Minimize inappropriate/illegal use of trails through ordinances and enforcement.	T.13.3.1 Develop an intergovernmental agreement (IGA) with the Arizona State Land Department to control off-road use in the Tortolita Fan and in the Santa Cruz River.
T.13.4 Develop guidelines for buffering adjacent properties when paths or trails must be near property lines or use areas.	T.13.4.1 Participate in development review to ensure that new development is separated from trails or paths and that adjacent land use is compatible with the trail.
T.13.5 Where possible, route paths and trails away from slopes that face developed areas, thereby preserving the most visible undisturbed hillsides.	T.13.5.1 Prior to developing a trail, conduct a visual study that identifies the routes and their visibility from development and roadways.
	T.13.5.2 Make use of available or already disturbed land where possible for trail alignments and related facilities.
T.13.6 Where possible, separate paved paths from back of curb, and provide at least 14' minimum paved area to accommodate bicycles, pedestrians and strollers.	T.13.6.1 Work with the Town Engineering and Planning Departments during the entitlement and development review processes to ensure that adequate right of way is provided for sidewalks.

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Photo: E Sol e La Luna

# Programs

## Introduction

Recreation programs drive the need for facilities, park design and recreation amenities. An active programs component gives reason to residents to use parks, supports the social life of community and often fills in where other recreation providers can, or do not. Marana's Recreation Programs drive the human elements of the Town's Green Infrastructure. The programs offered by the Town create demand for facilities, and affect the design and location of community recreation buildings.

## National Recreation Program Trends

In progressive recreation departments across the United States, recreation programs have grown explosively in the last ten years. However, during the 2008-2011 economic downturn of the last few years, many departments have shifted some of their programming to other entities. Most departments still offer a full complement of activities, but they may not be the actual provider of the programs themselves. These programs and activity areas are listed in Table P.1: Programs Generally Offered By Parks and Recreation Departments In

The United States.

To save money, many recreation departments are also offering programs with shorter sessions (two to three instead of three to five classes) or on a drop-in, pay-as-you-go basis (especially fitness programs). In addition, there has also been a concerted effort to integrate conventional recreation programming with community based social service programs. Most of the social service programs are offered by other community based agencies.

In an effort to bring a comprehensive scope of recreation programs to the community, recreation departments often act as a coordinating agency and clearinghouse for multiple recreation agencies and providers. This has increased the number of partnerships that are in place, delivering a broader base of programs in a more cost effective manner. There is also a much stronger emphasis on revenue production and raising the level of cost recovery to minimize tax dollar use to offset recreation programming. Table P.1 describes programs that are generally offered by parks and recreation departments in The United States.

# Marana Parks, Recreation, Trails And Open Space Master Plan

Over time, recreation programs have changed to meet emerging demands. Some of these specific, emerging recreation program and service trends include:

## Sports

- Youth lacrosse
- Youth camps and clinics
- Youth sports specific training
- Non-traditional sports (skateboarding, BMX, fencing)
- 

## Fitness/Wellness

- Personal training
- Yoga/Pilates/massage therapy
- Healthy lifestyle education

## Cultural Arts

- Music production for youth

## Youth

- After school programs in recreation centers and/or schools
- Summer camps - theme camps

## Outdoor Recreation

- Eco-tourism (where appropriate)
- Environmental education

## Seniors

- Fitness/wellness

## Aquatics

- Fitness

## General Programs

- Education - computer, finance, etc.

## Special Events

- Community-wide celebrations

Increasingly parks and recreation departments have also taken on the responsibility of operating after school programs that were once the role of school districts or other entities (YMCA, faith-based groups, private providers and others). Recreation departments have generally had aggressive fees for these

SPORTS	FITNESS/WELLNESS	CULTURAL ARTS	YOUTH	OUTDOOR RECREATION	SENIORS	AQUATICS	GENERAL PROGRAMS	SPECIAL NEEDS	SPECIAL EVENTS
Youth <ul style="list-style-type: none"> <li>• Adult</li> <li>• Team</li> <li>• Individual</li> <li>• Camps and clinics</li> <li>• Tournaments</li> </ul> Non-traditional sports such as: <ul style="list-style-type: none"> <li>• BMX</li> <li>• In-line hockey</li> </ul>	<ul style="list-style-type: none"> <li>• Fitness classes</li> <li>• Personal training</li> </ul> Education	Performing arts <ul style="list-style-type: none"> <li>• Dance</li> <li>• Theater</li> <li>• Music</li> </ul> Visual Arts <ul style="list-style-type: none"> <li>• Painting</li> <li>• Ceramics</li> <li>• Pottery</li> </ul> Arts Events	<ul style="list-style-type: none"> <li>• Before and after school</li> <li>• Summer day camps</li> <li>• Playground programs</li> <li>• Preschool</li> <li>• Teen</li> </ul>	<ul style="list-style-type: none"> <li>• Outdoor adventure</li> <li>• Outdoor education</li> <li>• Environmental</li> </ul>	<ul style="list-style-type: none"> <li>• Fitness/wellness</li> <li>• Cultural Arts</li> <li>• Self improvement</li> <li>• Education</li> <li>• Trip programs</li> </ul>	<ul style="list-style-type: none"> <li>• Lessons</li> <li>• Fitness</li> <li>• Competitive (swim teams)</li> <li>• Specialty</li> </ul>	<ul style="list-style-type: none"> <li>• Personal development</li> <li>• Education</li> <li>• Specialty</li> </ul>	<ul style="list-style-type: none"> <li>• Various</li> </ul>	<ul style="list-style-type: none"> <li>• Community events</li> </ul>

programs and either use recreation centers and/or school facilities as the site. Each of the three benchmark communities surveyed during the development of this plan operate organized after school programs at several sites in their communities.

## Future Recreation Programs And Service Provision

As parks and recreation departments evolve, they are recognizing competition for limited public funds will continue. To be successful, departments are focusing on the following key areas:

### Fee Setting

- In order to accomplish a high level of recreation services, recreation departments have been much more aggressive (well beyond what is found in Arizona) in their fee setting. The goal of most fees are to cover all operational expenses (instructor and other labor costs, equipment, and materials) and actually developing recreation programming as a profit center. Many parks and recreation departments also have developed a three tiered approach to pricing recreation programs and services where some basic services (usually youth programs) may be subsidized while others are covering at least their direct costs and more specialized programs are covering all costs plus a major portion of their indirect costs as well.

- Most urban recreation departments also have a non-resident fee differential in the range of 20% to as much as 50%.
- With financial self sufficiency, recreation programming has been able to grow substantially without budget constraints. However, with a more entrepreneurial approach to assessing fees comes the need to develop a scholarship program that allows for those individuals that cannot afford to pay the opportunity to participate in recreation activities. Such programs usually have a limited budget and do require the user to pay at least something for service.

### Use of Other Service Providers

- Public recreation departments are beginning to move away from being the actual provider of all recreation programs and services to the concept of public agencies being the general coordinator and enabler of overall community recreation needs and resources. This trend has resulted in a great deal of programming now being conducted by volunteer youth sports organizations, adult sports associations, non-profit groups such as the YMCA and other social service organizations, as well as the private sector. This has reduced the financial obligations of the public sector, placed programming in the hands of organizations with the specific expertise (and often the facilities as well),

and allowed the private or non-profit sector to have a more active role in delivering public recreation. As more recreation departments focus on providing basic recreation programs and services and act as a clearing house for information and services provided by others, the number of public agencies collaborating to bring a higher level of recreation service on more of a regional basis (especially for more specialized services such as special needs, outdoor education, etc.) has increased.

### Facilities

- The vast majority of outdoor related recreation programming takes place in public parks or school facilities. School buildings, public recreation centers and other provider's facilities are the primary location for most indoor programs and activities. To accommodate the phenomenal expansion of demand for recreation programs and services, many parks and recreation departments have begun to partner with private facilities such as fitness centers, dance studios, outdoor aquatic clubs, non-profits (YMCAs, Boys & Girls Clubs, cultural arts centers ) and private schools. This innovative approach has enabled parks and recreation departments to find appropriate sites and facilities for many activities without the burden of capital and maintenance costs. Additionally, the demand for youth sports fields continues to grow, and it is not

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unusual for youth sports organizations to build and operate their own fields on their own property or on leased undeveloped public land.

## Staffing

- Adequate staffing is necessary to maintain the levels of service demanded by Marana's residents. Staffing costs are the single greatest operational expense item for parks and recreation departments. To minimize the number of full-time staff, many departments contract or partner with other providers for certain programs and services (see Use Of Other Service Providers above). The need to reduce full-time staff has become even more acute with the poor financial condition of most municipal governments. Even with outsourcing or using more part-time staff, there still needs to be adequate full-time staff to oversee and coordinate such efforts. Part-time staff remains the backbone of most recreation divisions and make up the vast majority of program leaders and instructors. Many departments are converting program instructors to contract employees with a split of gross revenues (usually 70% to the instructor and 30% to the town) or developing a contract for services that either rents facilities and/or takes a percentage of the gross from another organization. Volunteers are typically used to augment and are not a substitute for, paid recreation department staff.

## Funding

- The basic requirement for the provision of recreation programs and services is a funding commitment associated with the development of the facilities to support those programs offered solely by the parks and recreation department and funding for the staff necessary to manage and provide the programming. This usually requires a tax dollar commitment but also other sources of funding including program fees, grants, and partnering with other agencies can also help with additional funding. In many recreation departments, funding limits have been the greatest single challenge to providing not only existing programs but also bringing on any new services.

## Administration

Essential to developing a comprehensive recreation program is a strong administrative overview of the process. It starts with the development of an overall philosophy that will direct programming efforts by the public organization and determine the role of other providers. The philosophy should emphasize areas of focus by age group as well as program areas and also prioritize future program development options.

Key aspects of administration include:

- *In-house Versus Contract* - As part of the programming philosophy a determination of what programs and services will be offered directly by the recreation staff and which will be contracted to other individuals or or-

ganizations must be determined. Increasingly recreation departments are turning to contracted services or the outright rental of facilities to other providers to broaden programming and limit the role of in-house employees.

- *Marketing* - Recreation programming is a discretionary expenditure. As a result, it is critical that there is a strong marketing effort to promote the recreation activities that are offered by public providers.
- *Registration* - An aspect of marketing for recreation services is the ease of being able to register for these activities. This requires a fully computerized registration software package, the ability to register on-line, the acceptance of credit cards for service, and the ability to make payments over time.
- *Record Keeping* - To determine the relative success of programming and the markets being served, accurate and timely record keeping is necessary. Registration numbers by class and activity area need to be kept and comparisons by programming season conducted. In addition expense and revenue numbers for each activity must be noted and compared to determine financial viability. Demographic records recreation program participants and where they live will determine specific markets that are being served and more importantly ones

that may be overlooked. The only way to adequately keep such records is through complete computerization of not only registration but all records associated with programming.

- *Evaluation* - Ultimately the success of recreation programming must be measured by the community it serves. A determination of the satisfaction with existing programs and services as well as the needs and expectations for future programming must be measured through a formal, annual, evaluation process.

## Current Programs

The Town of Marana offers a wide array of recreation programs. Additionally, some residents take advantage of programs provided by Pima County, Oro Valley, the City of Tucson, and private providers. Table P.2 lists programs available to Marana residents from all of these providers.

## Program Assessment

The overall strengths of the Town's programs include:

- A strong youth activities program especially after school;
- A substantial number of sports camps for youth;
- A large number of traditional senior programs;
- A significant number of special interest classes;
- A strong number of special events, and

- An emphasis on developing family based programming.

Overall, the Town's programming efforts are good. Table P.3 shows current programs and the user groups served. Marana offers a strong number of programs in certain areas. Due to the generalized lack of facilities to support indoor and specialized programs, there are fewer types of these programs. Additionally, the lack of facilities prevents the Town from providing facilities for most drop-in activities other than youth after school.

The lack of facilities may have also resulted in programming challenges with regards to fitness and wellness, seasonal (such as aquatic), indoor sports, and active senior programs. Additionally, areas that the Town could capitalize upon, include outdoor/environmental education. Finally, there are opportunities for the Town to enhance its performing arts and arts and crafts as well as its special needs programming.

Despite strong growth in recreation programming over the last several years, the Town of Marana's recreation offerings are still reasonably basic and are missing activities in many key areas. A strong effort will need to be made to increase services in the areas where adequate programming is not currently in place or is not currently offered at all (fitness, aquatics, outdoor recreation, performing arts, and special needs). In order for this to be accomplished, community recreation centers are needed and continued strong partnerships with other community organizations are needed to increase the num-

ber and types of facilities available as well as the level of programming.

## Opportunities, Challenges, And Results

### A Growing Demand For Programs And Services In Most Every Area.

#### Challenge:

Marana is in the top third of Arizona's largest jurisdictions, and the third largest jurisdiction in the Tucson Metropolitan Area with a population diverse in age, abilities and interests. However, the Town's 2010 population is still not large enough to support the diversity of program offerings desired by its residents.

#### Opportunity:

Partnering with adjacent jurisdictions of Tucson and Oro Valley or working with a private provider, the Town could offer programs that do not have a critical mass of participants in Marana but may have a critical mass of participants within the greater Tucson/Oro Valley/Marana region.

#### Result:

Marana residents will have the advantage of diverse program offerings immediately without waiting for the "critical mass" population levels that support a large range of recreation programs.







## Determining The Future Focus For Marana Programs

### Challenge:

Funding and budget limits prevent the Parks and Recreation Department from being all things to all people. Determining a focus for programs will reduce costs through the elimination of low demand programs not critical to the Department's mission, reduce capital costs for facilities to house such programs, and allow the Department to focus its funds and energies on a quality suite of recreation program offerings.

### Opportunity:

The recently adopted Town quality of life directives provide a focus for decisions about new recreation programs and services. These quality of life directives are:

- Health and wellness;
- Arts;
- Community.

The Town's programming should focus on the these quality of life directives by offering programs in three key areas: individual self directed activities, by serving tourists/non-residents, families, younger seniors and reaching out to non-traditional recreation participants. Descriptions of programs suitable for each of these groups follows.

### Key Programming Area 1: Individual Self Directed Activities And Programs

Individuals enjoy the opportunity to participate in activities independent of organized services or programs. This requires that parks and recreation amenities be promoted

and set aside for self directed activities. Examples of self-directed activities include:

#### Outdoor

- Hiking/biking,
- Fitness,
- Jogging/running,
- Disc golf,
- Interpretative opportunities,
- Fishing,
- Skateboarding,
- Swimming,
- Picnicking.

### Key Program Area 2: Serving Tourists/ Non-residents, Families, And Younger, Active Seniors

*Tourists/Non-residents* - A potential ancillary market segment would be tourists, seasonal residents, and non-residents from the greater Tucson area. Attracting this user group requires unique programs or facilities with a broad market appeal, or offering special events. In servicing this market the following programs and services should be considered:

- Self directed activities, especially outdoor related hiking/biking or interpretative
- Special events, festivals, holiday events, and sports tournaments
- Cultural and performing arts, concerts, plays, art shows, etc.

*Families* - Appealing to families is one of the stated goals of the Marana Parks and Recreation Department. Providing activities that have interactive opportunities for family members or bundling programs that allow

family members to take part in different activities at the same location provide opportunities for family-based activities. Examples include:

- Self-directed activities - especially outdoor-related hiking/biking or interpretative;
- Special events - festivals, holiday events, and sports;
- Cultural and performing arts - concerts, plays, art shows, etc.;
- Aquatics activities, recreational swimming.

	User						
Program	Aquatics	Sports	Fitness/Wellness	Cultural Arts	Outdoor Recreation	Special Interest	Special Events
Youth	X	X	X	X	X		X
Teen	X	X		X	X		X
Adult	X	X	X	X	X		X
Senior	X		X	X	X	X	X
Family	X	X			X		X
Special Need					X		X

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*Younger, Active Seniors* - A growing market segment is the aging Baby Boomers that are just now entering their senior years. This demographic group is far more active than its predecessors. These seniors take a proactive role in personal health, wellness, continuing sports, and other activities in which they have always participated. Examples of programs and services that appeal to this group include:

- Fitness/wellness - group exercise, self-directed, and wellness education;
- Aquatics - water aerobics, water walking, therapy and lap swimming;
- Sports - basketball, volleyball, softball, etc.;
- Hiking/biking/walking.

### Key Program Area 3: Non-traditional Recreation Enthusiasts

With the growth in non-traditional sports as well as other new activities, this interest area will need new programming opportunities.

This could include:

- Rock climbing (indoor or outdoor);
- Skateboarding;
- BMX;
- Challenge courses;
- Orienteering (scouts);
- Eco-tourism;
- Self-directed activities.

### A Division That Has Dramatically Increased The Number Of Programs Offered In The Last Several Years.

#### Challenge:

Over the past decade, the Town has doubled in population. To meet the needs of the Town's burgeoning population, the Parks and Recreation Department has added new program offerings, venues and traditional programs without a commensurate increase in staff.

#### Opportunity:

With recent economic changes, public and not-for-profit recreation programs are gaining in popularity. An opportunity exists to increase fees for these programs while still keeping them affordable to the general public and, in certain cases, offering assistance to those in need.

#### Result:

Letting the Parks and Recreation Department move towards a fee-for-service City agency will help offset economy dependent lost revenues and reduce the Department's reliance on the Town's General Fund.

### Expanding The Focus Of Recreation Activities Beyond Youth, Seniors And Special Events.

#### Challenge:

In its strategic plan, the Town Council recognized the role of recreation as an economic development tool. However, this vision was mostly focused on the additional revenues from tourism related to hotels and golf courses. Enhancing the Town's Green Infrastructure Human Assets through programs and events that attract visitors to the Town for other reasons than golf and natural resources would contribute to revenues and economic development.

#### Opportunity:

Through events and programs, the Town can bring visitors and tourists to Marana. Attracting this user group requires unique programs or facilities that have a broad market appeal. To service this market programs and services that could and should be considered include: an array of self-directed, special, and cultural events such as:

- Interpretive events associated with the Town's rich archaeological history;
- Interpretive trails and sites that are outdoor related and can be enjoyed while hiking or biking. For example, an interpretive exhibit along the Santa Cruz River or an interpretive trails in the Tortolita Mountain Preserve;
- Birding trips/tours associated with the Town's extensive riparian habitats;
- Fairs and markets associated with the Town's arts organizations and agricultural community;

- Special events such as model boat regattas that could be offered in partnership with existing recreation facilities such as the Waterpark;
- Special holiday events advertised on a wider scale than the Town and for which admission for all or part of the attraction is charged;
- Sports Events (offered in partnership with local or national leagues);
- Trail rides that could be organized by the Western Heritage Association;
- Cultural arts performances such as concerts, plays, that use school facilities.

**Result:**

Expanding the number reasons for people to visit Marana will positively impact the Town's revenues and subsidize enhanced recreation services for residents.

**Clearly Defining The Town's Long Term Role In Providing Future Recreation Programs And Services.**

**Challenge:**

The Parks and Recreation Department currently offers a variety of programs and special events. While all of these programs are welcomed and embraced by the community, they have substantial implications for revenues and Department administration.

**Opportunity:**

By clearly defining the types of programs the Department chooses to offer it accomplishes many things. It focuses its resources in

areas of most importance to the community. It allows the Department to be -expert- in the areas it chooses while encouraging (and potentially supporting) the development of private partnerships and expertise in areas it chooses not to pursue. It reduces its administrative load and costs.

Regardless of how the Town chooses to innovate, there are key programs that, over the next five to ten years, should be emphasized. It is recognized that program growth will be based on the ability to fund as well as the capability of a program or service to support itself through the fees that are collected. These programs are listed below and are grouped in accordance with the Town's Quality of Life Directives.

**Quality Of Life Directive: Health And Wellness**

*Aquatics*

- Recreational swimming
- Learn to swim - expand lesson opportunities
- Aqua exercise- expand classes
- Specialty - swim/dive teams, masters, scuba

*Fitness*

- Group exercise classes - expand types and frequency
- Health education
- Youth obesity

*Sports*

- Individual - programs such as fencing, martial arts
- Team - youth lacrosse, adult basketball, volleyball
- Specialty camps and clinics
- Tournaments/events

**Quality Of Life Directive: Arts**

*Performing Arts*

- Dance classes
- Music classes
- Theater acting and production

*Arts Events*

- Concerts
- Plays
- Arts festivals

*Other*

- Cooking
- Language

**Quality of Life Directive: Youth Education**

*Non-Sports Youth*

- Specialty programs or activities
- Summer and school holiday camps

*Outdoor Recreation Land Based*

- Hikes
- Biking

*Environmental Education*

- Interpretative
- Eco-tourism

*Special events*

- Community celebrations
- Festivals

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## *Non-traditional*

- Skateboarding
- Rock climbing - artificial/natural
- Disc golf
- BMX
- Special events

## Providing Indoor Facilities And Special Use Outdoor Amenities (Swimming Pools, Etc.) To Support The Programs Demanded By The Public.

### **Challenge:**

Facilities require a capital investment. Until now, the Town's Parks and Recreation Department manages and staffs a senior citizen center in Ora Mae Harn Park. Master Planned Communities constructed over the past decade have provided a variety of community buildings and club houses that are used by their residents. A county library is open at the new Crossroads at Silverbell Park. Ora Mae Harn Park includes a swimming pool. Continental Ranch Park includes a skate park. However, the Town is still lacking with regards to community centers that provide a venue for programs and facilities, such as a swimming pool, that provide a location for competitions and competitive events.

### **Opportunity:**

The Town has tools to assist it in accumulating capital to construct additional facilities that will support programs demanded by the public. These are discussed in the Finance

and Implementation section of this plan. However, in addition to the Town building and operating facilities itself, it can expand its current program offerings by continuing to partner with private sector entities to use and/or construct facilities that provide a venue for programs and events.

### **Result:**

Capital projects can be accelerated with public-private partnerships. However, public use of the capital facilities may have higher fees than if developed exclusively by the Town.

## Limitations That Will Make It More Difficult To Greatly Expand Recreation Services And Programs In The Coming Years.

### **Challenge:**

Like many parks and recreation departments in Arizona and throughout the nation, Marana's Parks and Recreation Department is facing economic challenges and rising maintenance costs that dramatically impact its staff and budget. New facilities are generally constructed through funds from development fees, sales tax supported bonds and grants. Funds for staff are General Fund provided and tied to sales taxes as well as grants and revenues from special events (such as vendors fees) can also be used to help defray these costs.

### **Opportunity:**

The Marana Parks and Recreation Department does not need to do it all. Outsourcing a significant number of events and programs could result in higher revenues to the Park and Recreation Department, less administrative burden and more current offerings. Outsourcing maintenance can also help to reduce staff costs and capital costs associated with equipment and equipment upkeep.

### **Result:**

Town program offerings can be increased. Without careful consideration this approach could result in the most revenue-generating programs likely being selected for offer by the private sector, leaving the Town to provide those programs that are not cost-effective. However, with well-structured partnerships, this can be avoided. Capital costs associated with maintenance could be reduced by outsourcing some maintenance activities.

## Determining The Role Of Educational Facilities In Recreation Program Offerings

### **Challenge:**

As Marana continues to grow, it will continue to construct new schools. Currently, unless a community is actively engaged with the school district, school recreation and cultural facilities are constructed with a narrow focus to operate during school hours only. As a result, these substantial resources do not maximize the use of public funds because they

are under-used during non-school hours. Engagement of a community with the school district prior to school construction can, for any incremental costs, result in leveraging these school investments to have a community wide benefit that operates on a full day and year-round basis.

### **Opportunity**

The Town currently has an Intergovernmental Agreement to use some school facilities. With the development of clear top priority uses for public recreation in all present and future school buildings supported by an expanded Inter-Governmental Agreement (IGA) to develop future public recreation facilities (both indoor and outdoor) in conjunction with new schools, the Town could address some needs such as aquatics, fields, and even facilities for programs operating after non-school hours.

Additionally, enhanced coordination with the school district to provide youth after school programs and services, education classes for youth (and even adults), as well as youth sports (location for practices) can help ensure that Parks and Recreation Department and school sponsored activities are not redundant. In the case of some activities, the Town may ultimately choose to give up some programs that are better served by the School District.

### **Result:**

Clear responsibilities for after-school activities will enable the Town to focus on those programs for which it is best suited.

## **Leveraging New Development**

### **Challenge:**

The Town already has Park Development Fees and development requirements that result in the provision and maintenance of neighborhood parks, some trails and the provision of community parks. The effectiveness of these provisions are discussed in the Parks and Facilities section of this plan. The challenge here is to examine opportunities to include development that is not currently participating in the Town's parks and recreation program, such as commercial and other uses.

### **Opportunity:**

Opportunities exist to include development in a parks and recreation program in non-traditional ways. For example, partnerships with private entities to build facilities where the Town guarantees a portion of the revenues, or participates as a partner have resulted in some unique types of projects. The Town could also more actively take a role in the design and development of community facilities, such as clubhouses and pools to ensure they meet the recreation demand of the development. Finally, private recreation facilities could also be encouraged to provide meeting rooms or other amenities that, though agreements with the HOA or the development, could house programs offered by the Parks and Recreation Department.

## **Partnering With Other Recreation Providers**

### **Challenge:**

Often public recreation providers, such as the Town of Marana, are in demand because they subsidize recreation offerings available in the private sector and are able to offer these services at fees that are lower than the private sector. However, the future for parks and recreation departments is increasingly pay-as-you-go. To ensure that the Town continues to offer a wide range of services, it should consider partnering with other recreation providers to offer programs.

### **Opportunity:**

Partnerships can take many forms. For example, the Town could advertise a private provider's program in its recreation offerings and host a registration site in return for a reduced fee for those who register through the Parks and Recreation Department site. Another opportunity is for the Parks and Recreation Department to use its program guide as a clearing house for private and public programs.

A wide range of private recreation, sports and fitness providers have located or could enter the Marana market in the future. These could include private health clubs, dance and martial studios, youth sports training facilities, arts studios and even day care providers. These providers should be counted on to provide more specialized activities that are not easy for the public sector to conduct. Non-profit providers are also important rec-

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recreation program provider partners. For example, Home Owner Associations could, and should, be expected to provide some basic programs on a neighborhood level as well as smaller special events. Other organizations such as the YMCA and Boys & Girls Club should be encouraged to develop facilities and provide programs in Marana. These organizations are well positioned to provide after school programming, day care services and in the case of the YMCA, (with the proper facility), they can provide fitness, sports and aquatic programs. Using cultural arts groups as service providers is also wise and could be enhanced with the formation of a cultural arts council or commission.

Another substantial opportunity to partner with not for profit entities includes Youth Sports Organizations that provide team sports for youth. The Town can continue to provide most if not all the facilities for these activities. These activities could be coordinated, prioritized (with regards to use of Town Facilities) and coach training could be promoted by a Youth Athletics Council that operates under the direction of the Parks and Recreation Department and is designated by the Parks and Recreation Advisory Board or Town Council.

An often overlooked partner are the faith-based organizations in the area. Many have facilities and program offerings that support recreation in the community. These organizations should be seen as possible providers of some basic community based recreation services and facilities.

## Result:

The Town is able to expand its program offerings through partnerships with other entities.

## Future Direction For The Administration Of Recreation Programs And Services

Critical factors for the future administration of recreation programs and services in the Town of Marana include:

### Fee Setting

The recreation fee policy should be revisited with the goal of increasing the overall rate of recovery. This will likely require the movement of some programs and services from the lower cost recovery categories (public good programs and merit programs) to the higher categories. With greater financial self sufficiency, some recreation programming areas may be able to be maintained and others might even have the opportunity to grow.

### Program Administration

The recreation division will need to determine the most cost-effective way to deliver recreation programs and services for program areas that are desired in the community. This starts with determining where the Town wants to focus its recreation efforts and budget (see below). Once this has been determined, the Department will need to establish the best method to deliver these programs.

The obvious options are:

- *In-House* - These would be programs where Town staff is hired to conduct the programs based on predetermined cost recovery goals.
- *Contract* - Under this format programs would still be under direct Town control but rather than being employees, services would be delivered on a contract basis where the instructor keeps a percentage of the fees collected (70% maximum) while the Town keeps the balance. All registrations and fees would be collected by the Town.
- *Rental* - Certain recreation programs and services would be provided in Town facilities based on the straight rental of space for a market rate. The Town might promote such activities but all registrations and fees will be collected by the renter.
- *Referral* - With this option the Town will advertise or promote the activity as taking place in the community but would have no actual involvement in the delivery of the service.

It is critical that Marana not conduct only the low cost recovery programs in-house. In-house programs in all four fee categories developed by the division should be offered by the Town.

### Use of Other Service Providers

With a reduction in available resources, it is vital that Marana develop a greater emphasis on other service providers to bring recreation programs and services to the community. The result - more programming being conducted by volunteer youth sports organizations, adult sports associations, non-profit groups such as the YMCA and other social service organizations, as well as the private sector - should help reduce the financial obligations of the Town while still serving the needs of the public. This could also result in more formal partnerships between the Town and these other providers.

### Staffing

Maintaining even the most basic of recreation services requires the Town to continue to have an adequate level of full-time staffing to manage and administer these programs. With a change in focus for recreation programming, the Recreation Coordinator positions will need to have their program responsibilities reorganized. This will also likely require some additional training for the new areas of responsibility. Areas of responsibility should be determined based on the specific program goals of the division as noted:

- Health and wellness
- Arts
- Community
- Seniors

Even with a greater anticipated emphasis on contracting for programs and reliance on other providers, adequate full-time staff is

still required to oversee and coordinate such efforts. Part-time staff will remain very important to the Department and will still be the majority of program leaders and instructors. There is concern that there still needs to be a full-time staff position that is responsible for coordinating the overall recreation division. It may be necessary to designate one of the program coordinators as having this responsibility if the recreation superintendent position is permanently eliminated.

### Funding

It is important the Town of Marana actively pursue other sources of funding beyond tax dollars including grants, donations and partnering with other agencies.

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## PROGRAMS: GOALS, POLICIES, AND ACTION STRATEGIES

### GOAL P.1: Provide A Comprehensive Offering Of Recreation Programs And Services To The Citizens Of Marana.

Policy	Action Strategy
P.1.1 Continue to develop programs in all areas (when financially possible) from cultural arts, youth and adult athletics, fitness, youth programs, aquatics, outdoor, special needs and general programs, with an emphasis on those areas where there is currently very little programming.	P.1.1.1 Collaborate with other providers to offer more programming in the area of aquatics, fitness, outdoor education, special needs, non-sports youth, and performing arts. Establish future program priorities for each area with the goal of increasing programs 25% through 2020 to include partnerships and other opportunities in the next three to five years.
P.1.2 Emphasize the development of programs and services that focus on the family as well as the entire community.	P.1.2.1 Identify opportunities for family-based programming to include partnerships and commit to introducing two to three new family based programs a year.
	P.1.2.2 Identify opportunities for programs that serve working adults and increase the number of programs for adults offered on weekends and in the evenings.
P.1.3 Recognize the changing workforce and offer programs for adults that may be working from home.	P.1.3.1 Place greater attention on the development of non traditional sports related activities and services.
	P.1.3.2 For sports activities, develop more non-traditional offerings such as freestyle or climbing.
P.1.4 Increase the opportunities for self directed (drop-in) recreation activities.	P.1.4.1 Balance program use with open recreation times at Town recreation facilities. Increase the overall number of facilities available to facilitate this opportunity.
P.1.5 Explore the feasibility of offering more active based senior programs.	P.1.5.1 Develop new programs in conjunction with the existing senior center programs or as an independent activity. This effort should focus on the younger, more active, senior.
P.1.6 Attempt to integrate community based social service programs and education activities (provided by others) into the overall Town program offerings.	P.1.6.1 Work with local social service/education agencies to develop a plan for incorporating such elements into recreation programs. These efforts should focus on youth in particular.
P.1.7 Develop programs that have shorter sessions or allow for participation on a drop-in, pay as you go basis.	P.1.7.1 Establish programs that are either workshops or have two to three class sessions for selected programs and offer fitness and aqua exercise classes on a cost per class basis.

Policy		Action Strategy	
P.1.8	Develop distinct priorities for program and service development.	P.1.8.1	Develop a one and five year recreation program plan and update it annually. The plan should emphasize areas of focus and priority.
P.1.9	Balance the demand for increased recreation programs and services with the realities of limited funding and the general lack of available facilities and limitations of staff.	P.1.9.1	Provide community centers that include adequate space for recreation programs and services within all district parks.
P.1.10	Reduce the overall cancellation rate for Town special interest programs.	P.1.10.1	Attempt to reduce the program cancellation rate by 20% by 2014.
P.1.11	Recognize the transportation challenges associated with providing recreation programs in varied locations within the town.	P.1.11.1	Continue to work with school districts to provide transportation to after school programs.
		P.1.11.2	Establish a preliminary transportation plan that uses other available community resources.

#### **GOAL P.2: Coordinate Recreation Programs And Services With Other Providers In The Marana Area.**

Policy		Action Strategy	
P.2.1	The Town should act as a coordinator and scheduler of community-wide recreation services and programs and as a clearing house for information distribution to the community.	P.2.1.1	Advertise private classes, leagues, events and other recreation opportunities in concert with Town sponsored programs.
P.2.2	Determine if a program or service should be developed and offered by the Town of Marana or other recreation service providers in the market place.	P.2.2.1	Determine what programs could be parent-run, offered by youth sports organizations, non-profit organizations (YMCA's, HOA's, etc.), or the for-profit sector and reach out these entities to partner with them.
P.2.3	Engage community organizations in recreation programming.	P.2.3.1	Develop a Town Youth Athletics Council that will meet monthly under the direction of the Parks and Recreation Department.
		P.2.3.2	Create a Parks And Recreation Advisory Board Program Subcommittee. The specific roles of the Program Subcommittee should be to coordinate recreation programs and activities, prioritize athletic facility usage, and coaches' training.

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Policy		Action Strategy	
P.2.4	Fully embrace the “community school” concept as a viable method for the delivery of recreation services on a neighborhood level.	P.2.4.1	Work to foster a stronger working relationship with the Marana School District to jointly develop school and community based recreation programs and services.
		P.2.4.2	Endorse the concept of providing basic recreation services on a neighborhood level (primarily through school sites) while supporting the development of more broad based and specialized services on a community wide level. Determine what programs and services should be classified as neighborhood based and which should be provided on a community wide basis.
P.2.5	Engage citizens and community organizations in developing cultural arts programing.	P.3.5.1	Consider the re-establishment of a Town Cultural Arts Commission to coordinate cultural program and service offerings in the community. The Cultural Arts Commission will assist with the coordination of programs and activities on a community wide level.
P.2.6	Partner with neighboring governmental agencies (such as the Town of Oro Valley and Pinal and Pima Counties) to develop specific specialized recreation services.	P.2.6.1	Identify key program areas such as “special needs” to develop joint programs.
		P.2.6.2	Investigate opportunities to partner with the Pima County Library to offer community-wide programs.

**GOAL P.3: Provide A Range Of Recreation Programs Not Limited By Available Facilities.**

Policy		Action Strategy	
P.3.1	Clearly document the shortage of specific indoor and outdoor program spaces and their affect on the provision of recreation programs by the recreation division.	P.3.1.1	Identify new recreation facilities and improvements or additions to existing recreation amenities that are essential to furthering the development of programs and services.
		P.3.1.2	Identify those programs and services that are either not possible or cannot be adequately provided based on lack of proper facilities.
P.3.2	Partner and coordinate with other recreation providers to meet the need for additional outdoor and indoor recreation facilities	P.3.2.1	Partner to develop outdoor facilities including sports fields and aquatic facilities. Partner to develop indoor facilities including gyms, youth program areas, fitness amenities, teen facilities, performing and visual arts amenities.

Policy		Action Strategy	
P.3.3	Recognize that the Town does not have to own and operate all the recreation facilities that it utilizes for recreation programs and services.	P.3.3.1	Expand the use of other facilities (schools, non-profit and for profit recreation facilities) for Town sponsored activities.
P.3.4	Encourage other providers (primarily the non-profit and for-profit sector) to develop recreation facilities in the community.	P.3.4.1	Provide residents of the Town with additional recreation facilities beyond what the town can provide on its own.
		P.3.4.2	In areas where HOAs predominate, work with them to offer new services and programs to their residents.
P.4.5	Establish a plan for future Town-wide focused facilities that identifies and develops sites that are central to the overall community.	P.4.5.1	Implement the park standards in this plan, which include community centers in all district and regional parks and, when possible and practical, in community parks.
		P.4.5.2	Identify program specialties around which each district park community center will be structured.
P.4.6	Provide adequate funding for equipment replacement at all existing and new facilities.	P.4.6.1	Develop a formula for determining the funding level necessary for replacement of most common equipment at the end of their useful life.
P.4.7	Continue to work with the Marana School District to further increase utilization of existing school facilities for recreation purposes. Also work to develop any new school buildings to also serve community recreation needs.	P.4.7.1	Develop an agreement with the school district to size and expand any new school buildings for general community use.
P.4.8	Provide clear priorities of use for each Town facility (and each amenity) for both internal departmental use as well as other community providers and general community use.	P.4.8.1	Develop a simple, easy to use, system for establishing priorities of use for Town recreation facilities.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## GOAL P.4: Establish An Overall Operational Philosophy For The Recreation Division That Will Ensure That The Town's Resources Are Being Effectively Managed.

Policy		Action Strategy	
P.4.1	Develop a comprehensive marketing plan for the Town's programs and facilities,	P.5.1.1	Build a simple and easy to read document that identifies specific target markets for programs and services as well as expected marketing tools to be used for implementation.
P.4.2	Develop a cost recovery model for programs and services that ensures community access while meeting revenue requirements to offset costs of conducting the programs.	P.4.2.1	Tier of programs with specific cost recovery goals for each tier based on the program focus and level of service rendered.
		P.4.2.2	Complete an annual pricing review of all programs and services to ensure that they are comparable with other communities in the area. The pricing review should focus on programs and services from a variety of program areas and should include communities and jurisdictions that are in close proximity to Marana.
		P.4.2.3	Complete an annual evaluation and assessment of each program area to determine its general effectiveness in meeting community needs within the financial guidelines that have been established for the division. Eliminate or reduce program offerings that are not essential to the core mission of the Department, consistently in demand, or well-attended.
P.5.3	Encourage the development of far reaching partnerships with other providers in the area to expand facilities and programs.	P.5.3.1	Partnerships should be established with a variety of organizations including other governmental jurisdictions, not-for-profit organizations, and the development community.
P.5.4	Continue to promote the use of on-line registration for all programs and services	P.5.4.1	Strive to increase the percentage of program registrations that are handled on-line to over 35% in the next three years.
P.5.5	Fully utilize the Class and ActiveNet software for all program and service registrations, facility rentals, scheduling and point of sale transactions.	P.5.5.1	Purchase any additional software "modules" necessary to fully utilize the Class software system to its full capabilities.
		P.5.5.2	Using the enhanced computer software system, develop a more comprehensive tracking of program registrations, facility usage, and budget impacts for recreation programs and services.

Policy		Action Strategy	
		P.5.5.3	Establish basic reporting methods and procedures as well as report frequency to ensure the effectiveness and timeliness of program registration information.
P.5.6	Explore the feasibility of developing a Town-wide volunteer program to help augment paid staff.	P.5.6.1	Determine where it would be most beneficial and practical to use volunteers. Consider the required training and supervision, and the budget impact.
P.5.7	Explore possible alternative funding options for facility development to support additional programs and services.	P.5.7.1	Explore possible alternative funding options that emphasize partnerships for facility development to support additional programs and services.
		P.5.7.2	Work with local businesses to solicit sponsorships and financial support of Town recreation programs and services.
P.5.8	Conduct a formal survey of community residents on an every other year basis to determine overall satisfaction with recreation programs and determine a focus for future programming emphasis and direction.	P.5.8.1	Contract with a professional survey company or develop an internet survey option.
		P.5.8.2	Conduct a program "lifecycle analysis" to determine which existing programs should be continued, expanded or dropped
P.5.9	Properly assign and trail staff with regards to Parks and Recreation Department program needs.	P.5.9.1	Reorganize the current responsibilities of the existing Plan to add two program supervisors in the next three to five years to better coordinate and manage the anticipated growth in recreation programs and services offered in the community. Develop a staff organizational plan for the Recreation Division that identifies the roles and responsibilities of the two, proposed and the existing, program supervisors.
P.5.10	Plan for future program funding needs.	P.5.10.1	Establish five year budget forecasts for program development and facility operation, and update these projections annually.
		P.5.10.2	Develop long range budget forecasts to identify required funding levels for new programs and services as well as for any new facility operations.
		P.5.10.3	Establish an annual funding level for recreation planning services.
		P.5.10.3	For planning purposes, develop and update a listing of priority projects that require specific levels of funding.



2009 Heritage Festival  
Photo: PLAN\*et

# Special Events

## Introduction

Marana residents strongly support Parks and Recreation special events that celebrate the history and culture of Marana, national and local holidays, and provide opportunities for programs and activities that are outside the usual range of regularly scheduled offerings. A 2003 study by the Ontario Trillium Foundation found that "festivals and events have impacts that go well beyond what can be measured in economic terms. They contribute to the quality of life...by strengthening communities, providing unique activities and events, building awareness of diverse cultures and identities, and acting as a source of community pride." Depending on their draw, Festivals and events bring substantial economic and quality of life benefits with them. The Trillium study found that the recreation, accommodation and restaurant sectors of the economy, in particular, are the biggest beneficiaries of event non-resident spending.



Marana's annual Heritage Festival is held in Ora Mae Harn Park.

## Overview of Current Special Events

The Town offers a wide variety of special events including community information fairs, concerts, monthly guided hikes and movie-in-the park and festivals. Unique events include a community camp out (Family Night Under The Stars), the Adventure Race, and events focused on local charitable causes.

Local private recreation providers also sponsor special events. The Breakers Water Park has sponsored a boating regatta. The Ritz Carlton hosts the Accenture Match Play Golf Event which receives worldwide media attention. Junior Rodeo and other rodeo events, attract visitors from the region and depending on the event, the nation.

Attendance at special events varies widely. Festival events such as Founders' Day or July 4th celebrations attract upwards of 2,000 persons. The golf tournament, drew upwards of 65,000 persons to the region in 2009. Rodeo can attract over 1,000 visitors to the Town.

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Events also provide a revenue source for the Town. Founders Day, the Marana Heritage Festival and July 4th include booths for local vendors. Out of Town visitors purchase food, lodging and gas. In fact, the Trillium report found that the larger the event, the more out-of-town visitors (and expenditures).

In the future, the Town will need to determine its role in conducting special events. Much like on-going recreation programming there are several options for how special events can be provided in Marana.

- *In-House* - These would be events where town staff is responsible for conducting the activity. These should be special events that have a strong community focus and support the three quality of life directives. The number of these events should be limited to four or less.
- *Cosponsor* - With this scenario, some special events would be directed by the Town but they would be developed by an active cosponsor who would be expected to provide financial and organizational assistance.
- *Rental* - Certain events would be provided by organizations paying a rental fee to utilize town facilities. The Town could promote such events but they would not be involved in their actual presentation or organization.

- *Referral* - With this option the Town would advertise or promote an event that is taking place in the community but would have no other involvement.

Regardless of the options selected by the Town, a role deserving serious consideration is that of major special event master scheduler and coordinator. This will ensure that special events are correctly spaced and do not compete against each other.

## Challenges, Opportunities, And Results

### Use Of Time And Resources

#### Challenge:

A significant number of special events are conducted throughout the year that generally draw large numbers of people. While special events are a strength of the Department, the time and resources necessary to put on these events is extensive and may negatively impact other parks and recreation programs and services and may strain other Town departments (such as Public Works, Police, Fire).

#### Opportunity:

Special events can help to establish and build community and become a unifying activity for a diverse geographical, social, and economic population. This opportunity provides justification for partnerships and cost sharing with other departments and entities to support and execute events.

Special events can have a strong positive economic impact on the community. To understand the benefits of these events, and to help determine those that are most beneficial to the community, the value and benefits of existing special events should be critically analyzed and any new special events should be fully vetted before being added, and the Parks and Recreation Department should conduct an economic impact assessment once a special event is completed.

#### Result:

A clear understanding of the fiscal and community benefits of special events, that will provide a basis for it's continuation, modification or elimination.

### Timing And Competition With Other Activities

#### Challenge:

The region has a fairly clearly defined period when outdoor and large scale events can occur. Although certain events, such as community movie nights, are generally designed to attract residents, larger events, such as the Heritage Festival, Founders' Day or the 4th of July aspire to draw visitors from the region. Larger events attracting more visitors have larger non-resident spending impacts. In some cases, preventing conflicts between Marana special events and other regional events, and, coordinating special events with larger regional and national events (such as the Tour de Tucson, the Gem and Mineral Show or the Acctenure Golf Match) could enhance attendance and revenues.

**Opportunity:**

Special events can be used to shape the image of a community and provide a focus or identity. These events can also promote Marana. Focusing on the type of events that should be within the purview of the Parks and Recreation Department, and establishing how the event furthers the mission of the Parks and Recreation Department, staff and resources can be more efficiently dedicated to activities that have clearly defined benefits and purpose.

In the case of the Marana Parks and Recreation Department, the Town's recently completed Strategic Plan provides guidance with regards to the types of Special Events that further the Town's vision. For example, special events should be planned with a focus in one of the following areas that are specific to recreation and community enrichment functions:

- Sports;
- Wellness/Fitness;
- Cultural arts;
- Historical/Heritage;
- Holiday celebrations;
- Community wide celebration;
- Environmental;
- Ethnic.

The Parks and Recreation Department will need to determine if it wants to offer a series of events that emphasize one of the areas noted above or offer a variety of activities that cover most if not all of the areas noted.

**Result:**

Special Events that support the Town's Stra-

tegic Plan, and are relevant to the Parks and Recreation Department mission.

### Determining The Audience

**Challenge:**

Marana is a largely residential community. The western portion of the Town is largely families, the north east has a larger retirement population. In programming events, and determining the potential draw, understanding the planned audience is key to success. Additionally, if events are planned to attract a larger audience, it is important to verify that the audience is (or is anticipated to be) available for the event.

**Opportunity:**

By making a determination regarding the planned audience for the event, resources, advertising for vendors and timing can be more clearly focused. This efficiency will help to advertise the event, as well as ensure that the focus of the event is appreciated by its audience. In Marana, events should be focused on one or more of the following groups:

- Families;
- Youth;
- Seniors;
- Adults;
- Marana residents;
- Regional appeal;
- Visitors/tourists.

The audience may vary depending on the event and many events could be structured

to appeal that covers most, if not all, of these potential groups.

If the audience is understood, other Parks and Recreation Department programs and Town facilities and business opportunities could be promoted at the special event.

**Result:**

Clear outreach focus for vendors and potential customers.

### Adequate Planning

**Challenge:**

Marana manages and executes all public special events. While some of the key issues identified below are also listed here as separate challenges, adequate planning requires that the following key issues be addressed:

- Determination of the area of focus of the event;
- Determination of the appropriate audience
- Parameters of the event determined (date, location, numbers of attendees, etc.);
- Budget requirements clearly identified;
- Possible revenue sources determined;
- Possible partnerships/sponsorships established;
- Marketing plan developed;
- Event evaluation process determined;
- Economic impact is determined.

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## Opportunity:

Because events require coordination between departments, a "strike team" of key departments could be assembled that is germane to each event. The team could also meet after each event to debrief about the successes and challenges in order to improve the execution of future events.

## Result:

A system for executing and managing events, that builds on the mistakes and good actions of the past will be established. This will reduce the time necessary to plan, and cost associated with executing a special event.

## Facilities

### Challenge:

Many special events require basic infrastructure or specialized facilities to conduct the event. This could be as simple as having large open areas with adequate water, power and support amenities (rest rooms, parking, etc.) or very specialized spaces such as amphitheaters to conduct events.

### Opportunity:

Creating partnerships between the Town and other organizations could help to maximize the use of existing facilities. In these instances, the Town may not have to be the actual developer and event manager but simply provide the opportunity for special events conducted by other groups or organizations. This could simply entail the Town providing an event venue and/or promoting and marketing the activity.

The Town could also reverse the partnerships/sponsorship arrangement by conducting events at private facilities. By working with a private provider, there might also be opportunities for the Town to lower its additional event funding and lower the financial obligation of the Town itself.

### Result:

Reduction in staff time and costs associated with providing special events.

**SPECIAL EVENTS GOALS, POLICIES AND ACTION STRATEGIES**

**GOAL SE.1: Provide Facilities Such As High-Quality Park, Trails, Trailheads Other Recreation Facilities That Can Be Used For Competitive Events Drawing Participants From Around The Country.**

Policy		Action Strategy	
SE.1	Build facilities that are appropriate, sustainable, cost-effective to maintain, and accommodate competitive events.	SE.1.1	Identify potential competitive events that can best be accommodated within natural resource areas and incrementally design and construct these facilities.
		SE.1.2	Evaluate and identify the potential of each component natural resource area to support facilities that can be utilized for community events.

**GOAL SE.2: When Activities Such As Mountain Biking And Birding Are Not Possible In Many Regions Of The Country, Take Advantage Of Southern Arizona’s Weather And Actively Promote Travel To Marana And Use Of Its Open Space Areas For These And Other Activities.**

Policy		Action Strategy	
SE.2	Support the establishment and expansion of businesses related to natural resource based recreation and will complement the Town’s on-going efforts to attract tourists to the community.	SE.2.1	Use the Town’s business recruitment program(s), and support private non-profit business recruitment organizations, to attract businesses related to natural resource based recreation.

**GOAL SE.3: Provide Opportunities For Businesses Such As Equestrian Centers And Bicycle Shops To Locate Proximate To Areas Where There Customers Recreate.**

Policy		Action Strategy	
SE.3.1	Enhance the Town’s reputation as a place that welcomes recreation-based businesses.	SE.4.1.1	Work with local economic development entities to promote Marana as a place that welcomes and supports recreation businesses.
SE.3.2	Explore possible alternative funding options for facility development to support additional programs and services.	SE.4.2.1	Analyze funding options including partnerships with other providers, sponsorships and/or fund-raising, grants, and developer participation.
SE.3.3	Encourage the development of far reaching partnerships with other providers in the area to expand facilities and programs.	SE.4.3.1	Establish partnerships with a variety of organizations including other governmental jurisdictions and even developers.

A large, green, hexagonal canopy structure with white support poles covers a playground area. The canopy is supported by several white poles. Underneath, there is a complex playground structure with slides, climbing frames, and platforms. The ground is covered in sand. In the background, there are trees and a clear blue sky. The text "Green Infrastructure Sustainable Assets" is overlaid in the top right corner.

## Green Infrastructure Sustainable Assets

Sustainable assets refer to operations, maintenance and financing that sustains the ecological and human assets of the Green Infrastructure, keeping them connected to one another, the community and the environment. Sustainable assets are necessary to create a healthy and continuing balance between needs of people and the environment.

**Continental Ranch Community Park**

Photo: PLAN\*et

# Facilities Maintenance and Operations

## Introduction

Facilities maintenance is the heart of a sustainable green infrastructure. Sustainable maintenance practices result in lower operational costs and less environmental impacts. Well-maintained facilities also invite the community to make use of parks, park facilities, and recreation programs - resulting in community support for facilities and programs that support residents' quality of life.

## Overview of Current Practices

The Town of Marana maintains eight public parks totaling approximately 130 acres, one swimming pool and one senior center. Neighborhood parks within the Town are privately maintained. As of 2010, direct costs associated with Department operations and parks operations and maintenance were 12% of the Parks and Recreation Department Budget.

The Town maintains its parks in accordance with National Recreation and Parks Association (NRPA) Standards. The NRPA standards benchmark six levels of maintenance against which current and past practices are measured. The unique nature and needs of each park and areas within

some parks are also considered in the benchmarks. These standards are:

- Level 1 is reserved for special, high-visibility areas that require the highest level of maintenance. Examples of these types of parks are Crossroads at Silverbell and Ora Mae Harn Parks.
- Level 2 is the normal standard the average park user expects to see on a regular, recurring basis. It is the desired standard. Examples include Continental Ranch, Gladden Farms, Wade McLean, San Lucas, Continental Reserve and El Rio parks. This maintenance level is also used for trails.
- Levels 3 and 4 are just below the norm and result from staffing or funding limitations. The level of maintenance are just below Level 2 resulting from staffing or funding limitations. Examples include any area within an existing park that has been allowed to return to a natural state through a "no-mow" policy. No Marana Parks fall into the Level 3 or 4 category.

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- Level 5 is one above allowing the land to return to its natural, undeveloped state. Examples would include Tortolita Mountain Park, where only trails and trailheads are maintained.
- Level 6 is land allowed to revert to a natural state or undeveloped open space already in its natural condition. This could include the Tortolita Mountain park exclusive of the developed trails.

Marana currently provides scheduled maintenance for all its parks. This includes turf and landscape area maintenance. Other maintenance is performed on an as needed basis.

## Challenges, Opportunities, And Results

### Deferred Maintenance

#### Challenge:

Deferred maintenance affects the quality of facilities and can pose some legal and fiscal liabilities for the Town.

#### Opportunity:

Developing a maintenance plan for each park and special facility can help the Town to plan for and project maintenance needs.

#### Result:

"Banking" the cost of maintenance ensures the work is incorporated into Green Infrastructure programs, preventing expensive re-

placement when failure to maintain results in facility deterioration that cannot be prevented by regular maintenance.

### Obsolete Facilities

#### Challenge:

Most of Marana's parks are new. Over the next decade, these facilities will require a higher level of maintenance and upkeep to prevent deterioration. Many parks include equipment that, over time, may be less efficient to maintain and more difficult to repair requiring a greater maintenance effort than parks with more updated equipment.

#### Opportunity:

Establishing amortization and life schedules for all equipment in the park system enables the Town to project when equipment will be replaced or begin requiring more maintenance funding. This paces equipment replacement allowing for more efficient allocation for limited funding available for operations and maintenance. This approach helps avoid situations when it is necessary to fund wholesale equipment replacement. Future bond funds provide some opportunity for these types of improvements, but is a funding source upon which the park system cannot rely.

Creating a long term sinking fund for large maintenance and capital expenses helps ensure funds for replacement are available when equipment reaches the end of its effective life. Incremental or phased upgrades can be incorporated into a long-range capital

improvements/replacement plan.

#### Results:

A long-range capital improvement plan with equipment life amortization creates a savings account where there are funds available to replace equipment when it comes time to do so.

### Maintenance Facilities Are Not Well Located.

#### Challenge:

The Town has maintenance facilities located at Ora Mae Harn Park and Crossroads at Silverbell Park. The current sites are not conveniently located to serve the full green infrastructure as will exist as the Town grows.

#### Opportunity:

Maintenance is key to longevity and function of the Town's Green Infrastructure. Poorly maintained, a park is less desirable, less used, and loses its value to the Town. In order to efficiently maintain the Town's Green Infrastructure, the costs of building and equipping satellite maintenance facilities should be included in the Town's development fee structure. Depending on where parks maintenance facilities are needed, the Town could investigate options of shared facilities with Schools or other public facilities.

#### Result:

Early planning for future maintenance facilities ensures the Town is able to efficiently and effectively manage long-term maintenance and upkeep costs.

## Consistent Maintenance Quality

### Challenge:

As the Town continues to grow and maintenance responsibilities are allocated among a larger staff, maintaining standards and monitoring maintenance practices becomes more challenging.

### Opportunity:

Development of qualitative and quantitative maintenance standards to attain desired NRPA maintenance levels will ensure that residents enjoy parks that are maintained to an appropriate, quality standard. Qualitative maintenance addresses the health of the landscape, operational efficiencies of systems such as irrigation, lights and communications and recreation equipment such as swings, playgrounds and courts. Quantitative standards include the frequency and quantity of maintenance activities and materials.

### Results:

Developing measurable and documented maintenance practices will ensure a standard level of care for parks, trails and facilities.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## FACILITIES MAINTENANCE AND OPERATIONS GOALS, POLICIES, AND ACTION STRATEGIES

### GOAL OM.1: Provide Regular Maintenance.

Policy	Action Strategy
OM.1.1: Maintain district and regional facilities at National Parks and Recreation Association Level 1 standards and maintain community parks and trails at NRPA Level 2 Standards.	OM.1.1.1 Maintain future district, Ora Mae Harn and Crossroads at Silverbell Park in accordance with NRPA Level 1 Standards.
	OM.1.1.2 Maintain community and neighborhood parks in accordance with NRPA Level 2 Standards.
	OM.1.1.3 Require Homeowners Associations to maintain neighborhood and community parks at NRPA Level 2 Standards. Periodically inspect the parks to ensure the maintenance standard is met.
	OM.1.1.4 Maintain trails within natural open space areas within the Town at NRPA Level 2 Standards. For trails that experience a high level of use, consider maintenance at NRPA Level 1 Standards.
	OM.1.1.5 Maintain Tortolita Mountain Park and natural open space areas within the Town at NRPA Level 6 Standards.
OM.1.2 Identify the maintenance responsibility for all existing and planned facilities.	OM1.2.1 Coordinate with other Departments to share the maintenance burden when possible and practical.
	OM.1.2.2 Enforce park, path and trail maintenance when it is the responsibility of private owners such as an HOA.
	OM.1.2.3 Work with Town Council to develop ordinances that allow the Town to step in and maintain poorly maintained private parks, with the ability to bill the HOA for maintenance costs.
OM.1.3 Identify a preliminary budget for the maintenance of all facilities.	OM.1.3.1 As a part of the design of all publicly maintained parks, require a maintenance plan and budget to be provided as part of the initial park design.
OM.1.4 Develop a process for monitoring and inspecting all facilities of the system.	OM.1.4.1 Inspect each park facility at least once each month to ensure proper maintenance.
	OM.1.4.2 Encourage Citizens to assist in identifying maintenance challenges by posting a “park hotline” phone number in parks and on the City’s website.

Policy	Action Strategy
OM.1.5 Use Best Practices to ensure high quality maintenance of Town-Owned Parks.	OM.1.4.3 Suscribe to <a href="https://www.seeclickfix.com">seeclickfix.com</a> or other software that enables citizens to identify and/or photograph problems and inform the Town about them.
	OM.1.5.1 Prepare maintenance plans for all district, regional and community Parks. Revise the plans at least annually.
	OM.1.5.1 Prepare Town qualitative and quantitative maintenance standards and standard operating procedures for NRPA Levels 1 through 6 Standards.
OM.1.6 Require privately owned parks to adhere to minimum maintenance standards that equal those of the Town and be constructed to Town of Marana standards.	OM.1.5.2 Obtain staff member certification through the <b>National Parks and Recreation Association Maintenance Management School</b> .
	OM.1.6.1 Require Homeowner Associations to prepare annual maintenance plans for all parks and submit them to the Town for review and approval. Require that the plans be revised annually.
OM.1.7 Only accept dedications of parks that are cost effective and efficient to maintain and built to Town of Marana standards.	OM.1.6.2 Require, as a part of zoning approval, maintenance contracts between the Town and Homeowner Associations for all privately owned and maintained parks.
	OM.1.7.1 As a component of the design and development of community and district parks that are to be dedicated to the Town, require a maintenance plan and estimate of annual maintenance costs to be prepared.

**GOAL OM.2: Create Partnerships To Expand Operations And Maintenance Capabilities.**

Policy	Action Strategy
OM.2.1 Reduce maintenance costs through public/private partnerships.	OM.2.1.1 Work with private concessionaires to construct and operate unique recreation facilities such as equestrian arenas, amphitheatres, stages, or batting cages.
	OM.2.1.2 Work with schools, when practical and possible, to construct and operate shared maintenance facilities.
	OM.2.1.3 Work with schools, when practical and possible, to construct and operate shared maintenance facilities.

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## GOAL OM.3: Plan For Future Park Renovation And Upgrades.

Policy	Action Strategy
OM.3 Identify a range of operations and maintenance funding opportunities.	OM.3.1.1 Leverage funding for upgrades and new improvements by coordinating these improvements with the Capital Improvement Programs of Town Departments that develop projects which could affect a parks and recreation facility.
	OM.3.1.2 Identify future capital and maintenance upgrades and work with the Town Finance Department to develop a sinking fund to pay for upgrades and renovations. Consider using a portion of Park Development Impact Fees (DIF), Park and Recreation General Funds and other sources for the sinking fund.

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# Finance and Implementation

## Introduction

This Master Plan is the road map to understanding and planning for parks and recreation facilities and programs as Green Infrastructure that sustain the Town's quality of life. This Plan identifies new parks, trails, and facilities, maintenance, and operations standards that will be necessary to serve the Town in the future. This chapter discusses the funding that will be necessary to support plan recommendations.

## Overview of Past And Current Funding

Prior to 2005, the Town of Marana used several sources for the funding of parks and recreation facilities including reserves, grants, regional or county funds and the Town's general fund. In addition, developers - particularly in master planned communities - provided a certain level of recreational facilities as an amenity and marketing strategy for their housing products. Privately-provided park facilities were included in the Dove Mountain, Continental Ranch and Gladden Farms master planned communities. However, in 2005, the Town only had five publicly-owned parks, plus some larger facilities operated by Pima County. In 2005, the Town had a ratio of 4.6 acres of park

and recreation facilities for each 1,000 persons. The Town also acquired about 114 acres for future development, but funding for development of those parks was uncertain under the then-existing funding strategies. With the rapid growth experienced by Marana between 2000 and 2005 and the expected growth for the foreseeable future, it was apparent the Town required additional funding sources.

In 2005, the Town commissioned a Development Impact Fee (DIF) Study to address the capital requirements of the parks and recreation system. The recreation standard suggested for the Town in the Study was a ratio of six acres of active recreational parks for every 1,000 persons. Active recreational parks were defined as those that contained facilities for team and individual sports (basketball, football, tennis, etc.). Passive recreational areas were not considered in this category and, developers providing those facilities may not always receive DIF credits for open space.

The suggested criterion for determining impact fee credits for park donations or improvements is based on the dedication of substantial parkland

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or improvements. Community parks were required to be greater than ten acres in size and included parking lots, recreational amenities and restrooms. Dedications of unimproved land were suggested to be larger than 40 acres, excluding areas within floodplains. Credits and impact fees were calculated based on a total cost of \$225,000 per acre of improved parkland consisting of \$30,000 in land cost, \$150,000 in construction cost and \$45,000 in design and construction administration. The recommended base impact fee was calculated at \$3,645 per dwelling unit minus \$761 per unit to account for the then-current deficiency in park resources resulting in a \$2,844 per unit impact fee.

At the time of Plan adoption, the Park DIF stands at \$3,396 per residential unit. The DIF has been increased each year from 2005 based on the Engineering News Record 20 City Construction Cost Index known as the ENR CCI. The DIF has become the primary method of funding capital improvements for the Parks and Recreation Department. However, the Town's Five Year Capital Improvement Program indicates that several other sources are also used in conjunction with the DIF. These sources include:

- The Town's Transportation Fund which is funded by 50% of the Town's construction sales tax revenue and which is dedicated for transportation improvements. Transportation Funds are budgeted for design and construction of the Santa Cruz River Shared Use Path, a multi-use transportation

project.

- Town Bond Funds were used for the construction of the Crossroads at Silverbell district park.
- Pima County Bond Funds are scheduled for use in the Tortolita Mountain Trails project and the Marana Heritage and Cultural Park.
- Town General Funds are also scheduled for use in the Marana Heritage and Cultural Park.
- Contributions for park improvements from residents, businesses and other entities comprise a small, but important part of the parks capital improvement program.

Park Development Impact Fees represent the largest source of funding for the Parks and Recreation CIP, accounting for nearly 50% of expected spending. The Series 08 Bonds and Transportation Fund are the next largest contributors. The funding for parks from sources other than the Park DIF can be viewed as contributions toward eliminating the deficiency in park facilities for existing residents noted in the DIF Study in 2005. Since parks and recreation facilities were underfunded in the early growth of the Town (based on standards outlined in the DIF Study), funds other than impact fees should be used for the demand created by the existing population.

The Pima County Bond Funds are used for county-wide park and open space purposes. The availability of these funds for future

Town projects is uncertain, and will be subject to competition from other communities in the Tucson area. The Town's ability to issue general obligation bonds in the future will likely face a short term future decline due to slowing growth and declining or flat Town revenues. For the next four to five years, Town resources for park and recreation facilities may be limited.

Most of the Parks and Recreation CIP has already been funded or will be funded in FY 2010. For instance, of the \$27 million in improvements, 43% was spent prior to 2010 and 38% is planned for expenditure in FY 2010. Only 19% of CIP funding, or less than \$5.2 million, is planned for 2011 through 2014 (and is likely dependent on future revenue). (Table F.1: Sources Of Funding: Marana Parks Five Year Capital Improvement Plan FY 2010-2014.)

Table F.1: Sources Of Funding: Marana Parks Five Year Capital Improvement Plan FY 2010-2014		
	Amount	% of Total
Transportation Fund	\$3,823,212	0.14%
Park Impact Fees	\$12,988,858	0.48%
Marana Match	\$565,212	0.21%
Series 2008 Bond Funds	\$4,500,000	0.17%
Pima County Bond Funds	\$2,435,094	0.89%
General Fund	\$2,200,000	0.81%
Contributions	\$715,000	0.26%
<b>Total</b>	<b>\$27,227,376</b>	<b>100%</b>

Source: Elliott D.Pollack And Company

Table F.2: Marana Baseline Population Forecast				
Population	2008	2010	2015	2020
Forecast Population (Baseline Scenario)	33,744	36,636	48,044	57,626
Change In Population		2,892	11,408	9,582
Cumulative Change In Population		2,892	14,300	23,882

Source: Elliott D.Pollack And Company

## Demand Forecast

A demand forecast for parkland within the Town of Marana was provided in the chapter entitled *The Parks System*. The forecast was developed based on recommended level of service standards for the parks system and estimated that, based on the baseline population forecast, 586 acres of land would be required based on conservative and aggressive population forecast scenarios for the Town. This estimate assumes the Pima County owned Arthur Pack Regional Park will continue to serve Town needs. Undeveloped parkland currently owned by the Town reduces the total of parkland that will

be needed to meet future demand 155.55 acres. In addition, between 33 and 54 miles of trails would also be demanded. The section will further estimate the future demand for park land and recreational facilities along with cost estimates. These estimates will be based on the baseline growth scenario prepared for the study which represents the most probable outcome.

The Baseline forecast is shown on Table F.2. Marana Baseline Growth Forecast. According to this forecast, Marana is expected to grow to a population of 57,626 persons by 2020. This represents an increase of 23,882 persons between 2008 and 2020.

The total park land demand forecast is shown on Table F.3: Total Baseline Park Acres Demanded Through 2020. This table shows the total amount of park land demanded by residents, not including existing developed parks undeveloped parkland. Table F.4: Parkland Un-met Demand Forecast shows the total un-met demand for developed park land in the Town will approach 585 acres by 2020. This table estimates demand after developed parks are considered. A substantial amount of the total un-met demand for parkland is due to the un-met need for a regional park within the Town. Assuming the construction of the BOR Regional Park proceeds, and the Sanders Grove and Cascada community and

# Marana Parks, Recreation, Trails And Open Space Master Plan

Table F.3: Total Baseline Park Acres Demanded Through 2020 (Baseline Population Scenario)						
Park Type	Factor		Cumulative Park Demand (Acres)			
	Acres/1,000 Persons	Persons	2008	2010	2015	2020
Neighborhood		1.99	67.15	72.91	95.53	114.68
Community		2.73	92.12	100.02	131.05	157.32
District		2.48	83.60	90.76	118.93	142.77
Regional		8.68	292.78	317.88	416.51	500.00
<b>Total Acreage Demand</b>		22.99	535.65	581.57	762.02	914.77
<b>Trails (miles per 1,000 pop.)</b>		1.78	60	65.14	85.46	102.46

Table F.4: Parkland Un-met Demand Forecast (Baseline Population Scenario)						
Park Type	Factor		Cumulative Park Demand (Acres)			
	Acres/ 1,000 Persons	Persons	2008	2010	2015	2020
Neighborhood*	1.99		3.04	8.80	31.42	50.57
Community**	2.73		45.62	53.52	84.55	110.82
District***	2.48		0.00	7.16	35.33	59.17
Regional****	8.68		156.56	181.63	280.19	363.62
<b>Total Acreage Demand</b>	15.87		205.45	251.35	431.81	584.55
<b>Trails (miles per 1,000 persons)</b>	1.78		1.78	5.14	25.36	42.46

\*Includes Continental Reserve, Gladden Farms and Wade McLean Parks as neighborhood parks, and private parks and recreation areas exclusive of Gladden Farms and Rancho Marana detention basins. Excludes Pima Farms Trailhead. \*\* Planned Sanders Grove and Cascada community parks excluded. \*\*\*Mike Jacobs Sportspark excluded. \*\*\*\*Arthur Pack Regional Park included.

Pima Farms Trailhead parks proceed, this estimate could be reduced by approximately 564 acres - leaving a need for 158 new acres of developed neighborhood, community and district parkland (Table F.11). (Note the tables are shown as cumulative acres with the 2020 column indicating the total acres over the next ten years.)

Based on the prototypical neighborhood, community, district and regional park designs and facilities lists in this Plan, Tables F.5 through F.8 show the number of parks and facilities that will be demanded by 2020 under the baseline population scenario. For instance Table F.11 shows that in 2020, 50.57 acres of land will be required for neighborhood Parks. If each park is an average of five acres in size, 10.38 parks would be demanded (Table F.5). The typical facilities provided within a neighborhood park are also indicated in the Table F.5; in this case just a tot lot, ramada, play court, and multi-purpose field. The facilities analysis for neighborhood, community, district and regional parks that are contained in Tables F.5 through F.9 are used to estimate and summarize the future capital costs to develop the park system.

The demand for park land and trails in the Town of Marana is summarized in Tables F.3 and F.4. Table F.3 shows the total cumulative Town demand for parkland through 2020 based on the standards in this Plan. Table F.4 shows the un-met cumulative Town demand for parkland for the same time period. Overall, 18 parks will be demanded by 2020: 10 neighborhood, six community, one district and one regional park.

## Financial Forecast

The capital cost to site, acquire, design and build the parks and facilities that are projected to be necessary to maintain service levels as the population grows is shown on Tables F.10 through F.15. These tables outline the financial requirements of the Plan based on estimated 2010 cost factors and the baseline population forecast. The dollar amounts shown on the forecast are cumulative over the 2010 to 2020 timeframe and NOT additive. Overall, the total, cumulative 2020 system cost is estimated to be \$137,351.76. This equates to a cost of \$5,751 per new resident between 2010 and 2020 (baseline scenario).

## Financing Alternatives

Not all of the capital cost of the parks system needs to fall upon the new residents of the community. The Town has used a variety of methods for financing its park system in the past and can continue to do so in the future. In particular, there are resources at the local and county level that may assist in financing certain facilities or parks. In addition, the regulation of subdivisions and master planned communities through the Town's zoning powers could significantly reduce the cost of the park system. For instance, if the Town's zoning ordinance required subdivision developers to provide community parks in proportion to the size of their development, the land cost of the future park system could be reduced from between \$.762 and \$1.52 million. Capital costs and site development costs, the largest portion of the costs for the planned parks system, would also be sub-

stantially reduced. Requiring trails to be constructed as a part of all development (commercial and residential) could also potentially reduce future capital outlays up to \$21.5 million through 2020.

Some of the alternative financing mechanisms that should be explored by the Town include the following:

- Partnerships with other public entities and non-profit organizations in the area including the school district, Pima County, National Forest Service and the State Land Department. The latter three entities could be very important for the provision of regional parks and trails.
- The purchase, lease, or option of land in advance of development could result in substantial savings to the Town. In particular, during the current real estate recession, land can be purchased, leased, or optioned at significant discounts compared to three years ago. These advanced purchases could be funded by Town bond programs and repaid through impact fees or other resources.
- Improve the Town's zoning and subdivision standards to require developers to provide community park facilities for new residents, relieving the Town of this burden. Community parks should be considered a standard amenity in all new housing developments and not be credited against DIF.

# Marana Parks, Recreation, Trails And Open Space Master Plan

<b>Table F.5: Estimate Of Neighborhood Parks Facilities Demand</b>					
	Year	2008	2010	2015	2020
<b>Acres Per Park: 5</b>					
<b>Number of Parks Needed</b>		1	2	6	10
Facilities	Facilities Per Park	Total Facilities Needed			
Multipurpose Fields	1	1	2	6	10
Play Courts	1	1	2	6	10
Ramadas	1	1	2	6	10
Tot Lots	1	1	2	6	10

<b>Table F.6: Estimate of Community Parks Facilities Demanded</b>					
	Year	2008	2010	2015	2020
<b>Acres Per Park: 20</b>					
<b>Number of Parks Needed</b>		2	3	4	6
Facilities	Facilities Per Park	Total Facilities Needed			
Multipurpose Fields	2	5	5	8	11
Baseball Fields	1	2	3	4	6
Sports Courts	4	9	11	17	22
Ramadas	4	9	11	17	22
Tot Lots	1	2	3	4	6
Restroom	1	2	3	4	6
Parking Spaces	30	68	80	127	166

<b>Table F.7: District Parks Total Facilities Demanded</b>					
	Year	2008	2010	2015	2020
<b>Acres Per Park: 65</b>					
<b>Number of Parks Needed</b>		0	0	1	1
<b>Facility</b>	<b>Facilities Per Park</b>	<b>Total Facilities Needed</b>			
Multipurpose Fields	3	0	0	2	3
Sports Courts	6	0	1	3	5
Ramadas	4	0	0	2	4
Tot Lots	1	0	0	1	1
Restroom	1	0	0	1	1
Parking	90	0	10	49	82
Baseball Fields	2	0	0	1	2
Play Courts	2	0	0	1	2
Skate Park	1	0	0	1	1
Community Center (10,000 s.f.)	1	0	0	1	1
Maintenance Facility	1	0	0	1	1
Dog Park	1	0	0	1	1

# Marana Parks, Recreation, Trails And Open Space Master Plan

Table F.8: Regional Parks Facilities Demanded					
	Year	2008	2010	2015	2020
Acres Per Park: 350					
Number of Parks Needed		0	1	1	1
Facilities	Facilities Per Park	Number of Facilities Needed			
Multipurpose Fields	3	1	2	2	3
Ramadas	13	6	7	10	14
Tot Lots	2	1	1	2	2
Restroom	1	0	1	1	1
Parking	200	90	104	160	208
Baseball Fields	4	2	2	3	4
Play Courts	14	6	7	11	15
Skate Park	1	0	1	1	1
Community Center (10,000 s.f.)	1	0	1	1	1
Maintenance Facility	1	0	1	1	1
Restroom/Concession	1	0	1	1	1
Aquatic Park	1	0	1	1	1
Dog Park	1	0	1	1	1

<b>Table F.9: Total Facilities Needed - All Parks</b>					
<b>Facility</b>	<b>Year</b>	<b>2008</b>	<b>2010</b>	<b>2015</b>	<b>2020</b>
Multipurpose Fields		6.51	9.00	18.77	27.05
Sports Courts		9.12	11.36	20.17	27.63
Ramadas		15.56	19.66	35.79	49.44
Tot Lots		3.79	5.58	12.66	18.64
Restroom		2.73	3.31	5.57	7.49
Parking		158.02	194.12	336.04	456.15
Baseball Fields		4.07	4.97	8.52	11.52
Play Courts		6.88	9.25	18.59	26.49
Skate Park		0.45	0.63	1.34	1.95
Community Center (10,000 s.f.)		0.45	0.63	1.34	1.95
Maintenance Facility		0.45	0.63	1.34	1.95
Restroom/Concession		0.45	0.52	0.80	1.04
Aquatic Park		0.45	0.52	0.80	1.04
Dog Park		0.45	0.63	1.34	1.95

# Marana Parks, Recreation, Trails And Open Space Master Plan

<b>Table F.10: Total Facilities Cost</b>					
	<b>Year</b>	<b>2008</b>	<b>2010</b>	<b>2015</b>	<b>2020</b>
<b>Facility</b>	<b>Cost ('000)</b>				
Multipurpose Fields	\$400	\$2,606	\$3,600	\$7,509	\$10,818
Sports Courts	\$50	\$456	\$568	\$1,009	\$1,381
Ramadas	\$100	\$1,556	\$1,966	\$3,579	\$4,944
Tot Lots	\$100	\$379	\$558	\$1,266	\$1,873
Restroom	\$250	\$682	\$826	\$1,393	\$1,873
Parking	\$2	\$316	\$388	\$672	\$912
Baseball Fields	\$400	\$1,629	\$1,990	\$3,408	\$4,609
Play Courts	\$50	\$344	\$463	\$930	\$1,325
Skate Park	\$1,000	\$448	\$630	\$1,345	\$1,950
Community Center (10,000 s.f.)	\$3,500	\$1,568	\$2,205	\$4,707	\$6,826
Maintenance Facility	\$400	\$179	\$252	\$538	\$780
Restroom/Concession	\$350	\$157	\$182	\$281	\$364
Aquatic Park	\$9,000	\$4,032	\$4,677	\$7,213	\$9,360
Dog Park	\$200	\$90	\$126	\$269	\$390
<b>Total Cost Facilities ('000)</b>		<b>\$14,440</b>	<b>\$18,431</b>	<b>\$34,119</b>	<b>\$47,397</b>

Table F.11: Total Park Acres Needed*					
Park Type	Neighborhood	Community	District	Regional	Total Acres
2008	3.04	45.62	0.00	156.78	206.76
2010	8.80	53.52	7.16	181.88	252.66
2015	31.42	84.55	35.33	280.51	433.12
2020	50.57	110.82	59.17	364.00	585.86
Less Acres Owned	4	60		500	
Total Acres Needed	46.57	50.82	59.17	-136.00	157.86

Includes Pima Trails (4 Ac.), Sanders Grove (20 Ac.), Cascada (40 Ac.) and BOR park

Table F.13: Trail Development Costs		
Year	Cost Per Mile ('000)	\$500
2010	\$2,600,000	
2015	\$12,700,000	
2020	\$21,250,000	

Table F.12: Land Development Costs						
Land Costs	Cost per Acre	Neighborhood	Community	District	Regional*	Total
Total Land in 2020	\$15,000	\$698,486	\$762,285	\$887,507	0	\$2,348,278
Total Land in 2020	\$30,000	\$1,396,972	\$1,524,569	\$1,775,014	0	\$4,696,555

Land costs based on total acres needed. Difference due to rounding.

Table F.14: Total Site Development Costs ('000 per acre)						
	Cost Per Acre	Neighborhood	Community	District	Regional*	Total
2008	\$150	\$456	\$6,843	\$0	\$1,018	\$8,317
2010		\$1,319	\$8,027	\$1,075	\$4,782	\$15,203
2015		\$4,713	\$12,683	\$5,299	\$19,577	\$42,272
2020		\$7,585	\$16,623	\$8,875	\$32,100	\$65,183

Excludes 150 acres of regional park identified as open space from site development costs.

Table F.15: 2020 Total Development Costs ('000)					
	Land*	Facilities	Landscaping / Amenities	Trails	Total
Cost	\$3,522.42	\$47,396.56	\$65,182.78	\$21,250.00	\$137,351.76

\*Estimated at \$22,500 p/a, or the average of the high and low land cost

# Marana Parks, Recreation, Trails And Open Space Master Plan

## FINANCE AND IMPLEMENTATION GOALS, POLICIES AND ACTION STRATEGIES

**Goal FI.1: Build New Parks And Recreation Facilities That Meet The Needs Of Existing And Future Residents In Accordance With The Standards Prescribed In This Plan.**

Policy	Action Strategy
F.1.1 Encourage partnerships with other providers in the area to expand facilities and programs.	FI.1.1.1 Establish and/or reinforce partnerships with local jurisdictions and public agencies such as Oro Valley, Pima County, National Park Service, National Forest Service and State Land Department in the provision of recreation facilities and financing. Identify areas where duplicated services can be eliminated and funding conserved.
	FI.1.1.2 Continue to explore cooperative ventures with the Marana Unified School District in joint-use recreation facility planning, financing and development.
	FI.1.1.3 Explore partnership opportunities that may be available through non-profit entities such as the YMCA, Little League, Pop Warner and Boys and Girls Clubs.
	FI.1.1.4 Explore partnership opportunities that could become available through a satellite campus of Pima Community College
	FI.1.1.5 Develop event sponsorships rights with private entities to reduce departmental and event expenses.
	FI.1.1.6 Develop relationships with the hospitality industry and major resorts to promote the development of mutually beneficial open space resources.
FI.1.2 Explore alternative funding options and revenue sources for park and facility development to support additional programs and services.	FI.1.2.1 Establish innovative methods of property acquisition including scenic and special purpose easements, purchase or transfer of development rights and tax incentives for private landowners
	FI.1.2.2 For park facilities, continue to levy on new residential development, Park Development Fees that are based on the future demand for trails, community, district and regional parks.

Policy	Action Strategy
	FI.1.2.3 Continue to participate in the Pima County bond programs that support recreation and open space acquisition and development.
	FI.1.2.4 Encourage the use of non-profit, tax-exempt foundations and gifts as revenue sources for specific recreation and open space initiatives.
	FI.1.2.5 Establish a user fee policy that takes into account the desires of the citizens to contribute to recreational facilities and programs and the needs of the Town to develop those facilities and programs.
	FI.1.2.6 Continue to wisely and judiciously use Town bond funds for the development of new park and open space facilities.
	FI.1.2.7 Continue to support the creation of a Pima County regional sports and tourism authority as a way of further developing recreational and open space resources.
FI.1.3 Update the Town’s Land Development Code to conform to the standards for park dedication and construction by subdividers and developers outlined in this Plan.	FI.1.3.1 Revise Town entitlement requirements to incorporate community parks as a standard component of new subdivisions and master planned communities, and not eligible for DIF credit.
	FI.1.3.2 Improve the Town’s subdivision standards and plan review process to ensure that developers are providing the required neighborhood park space as well as linkages to path and trail projects.
	FI.1.3.3 Utilize development agreements with developers to specify the required dedication and development of neighborhood parks.
	FI.1.3.4 Provide credits towards development fees for developers who go beyond the basic recreational facility requirements.

# Marana Parks, Recreation, Trails And Open Space Master Plan

Policy	Action Strategy
FI.1.4 Develop a prioritization plan and schedule for land acquisition, design and construction and operation of new parks and recreation facilities.	FI.1.4.1 Identify current and future demand for recreational facilities based on population growth projections and resident preferences.
	FI.1.4.2 Incorporate park and recreation improvements into the Town's Capital Improvement Plan based on prioritization of need.
	FI.1.4.3 Coordinate the Capital Improvement Projects of all departments to determine whether: (1) path or trail projects will be negatively affected by Town improvement projects and (2) path or trail projects could be incorporated into the improvement project.

# Appendix I Community Survey



**\*\*DRAFT\*\***

**\*\*DRAFT\*\***

**\*\*DRAFT\*\***

## **MARANA AREA RESIDENT SURVEY**

Fall 2008

Prepared for  
Marana Parks and  
Recreation Advisory Board

EDAW

Prepared by  
Behavior Research Center  
45 East Monterey Way  
Phoenix, Arizona 85012  
(602) 258-4554



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## INTRODUCTION

This study was commissioned by the Marana Parks and Recreation Advisory Board as part of its Recreation Master Plan being undertaken by EDAW. The primary purpose of this effort was to measure residents' use and attitudes about parks and recreation facilities in the Marana area. More specifically, this study addressed the following issues:

- Utilization of Marana area parks and recreation facilities;
- Recreational facility development priorities; and
- Recreational facility spending priorities

The information contained in this report is based on 400 telephone interviews conducted with Marana area heads of household. Household selection on this project was accomplished via a computer-generated pure unweighted (EPSEM) random digit dial (RDD) telephone sample which selects households on the basis of telephone prefix. This method was used because it ensures a randomly-selected sample of area households proportionately allocated throughout the sample universe. This method also ensures that all unlisted and newly listed telephone households are included in the sample. A pre-identification screening process was also utilized on this project. This computer procedure screens the sample to remove known business and commercial telephone prefixes in addition to disconnects, faxes and computers. This process greatly enhances contacts to residential phones.

The questionnaire used in this study was designed by BRC in consultation with the Marana Parks and Recreation Advisory Board and EDAW. After approval of the preliminary draft questionnaire, it was pre-tested with a randomly-selected cross-section of area households. The pre-test focused on the value and understandability of the questions, adequacy of response categories, questions for which probes were necessary and the like. No problems were encountered during the pre-test and the questionnaire received final approval.

All of the interviewing on this project was conducted in late September 2008 at BRC's Computer-Aided Telephone Interviewing (CATI) facility in Phoenix, Arizona. Interviewing was conducted during an approximately equal cross-section of late afternoon, evening and weekend hours. This procedure was followed to further ensure that all residents were equally represented, regardless of work schedules. Further, during the interviewing segment of this study, up to five separate attempts – on different days and during different times of day – were made to contact each selected household. Only after five unsuccessful attempts was a selected household substituted in the sample.

All of the interviewers who worked on this project were professional interviewers of BRC. Each had prior experience with BRC and received a thorough briefing on the particulars of this study. During the briefing, the interviewers were trained on (a) the purpose of the study; (b) sampling procedures; (c) administration of the questionnaire; and (d) other project-related items. In addition, each interviewer completed a set of practice interviews to assure that all procedures were understood and followed.

One hundred percent of the interviews were edited and any containing errors of administration were pulled, the respondent re-called, and the errors corrected. In addition, 15 percent of each interviewer's work was randomly selected for validation to ensure its authenticity and correctness. No problems were encountered during this phase of interviewing quality control.

As the data collection segment of this study was being undertaken, completed and validated interviews were turned over to BRC's in-house Coding Department. The Coding Department edited, validated and coded the interviews. Following completion of coding, a series of validity and logic checks were run on the data to ensure it was "clean" and representative of the sample universe.

When analyzing the results of this survey it should be kept in mind that all surveys are subject to sampling error. Sampling error, stated simply, is the difference between results obtained from a sample and those which would be obtained by surveying the entire population under consideration. The size of a possible sampling error varies, to some extent, with the number of interviews completed and with the division of opinion on a particular question.

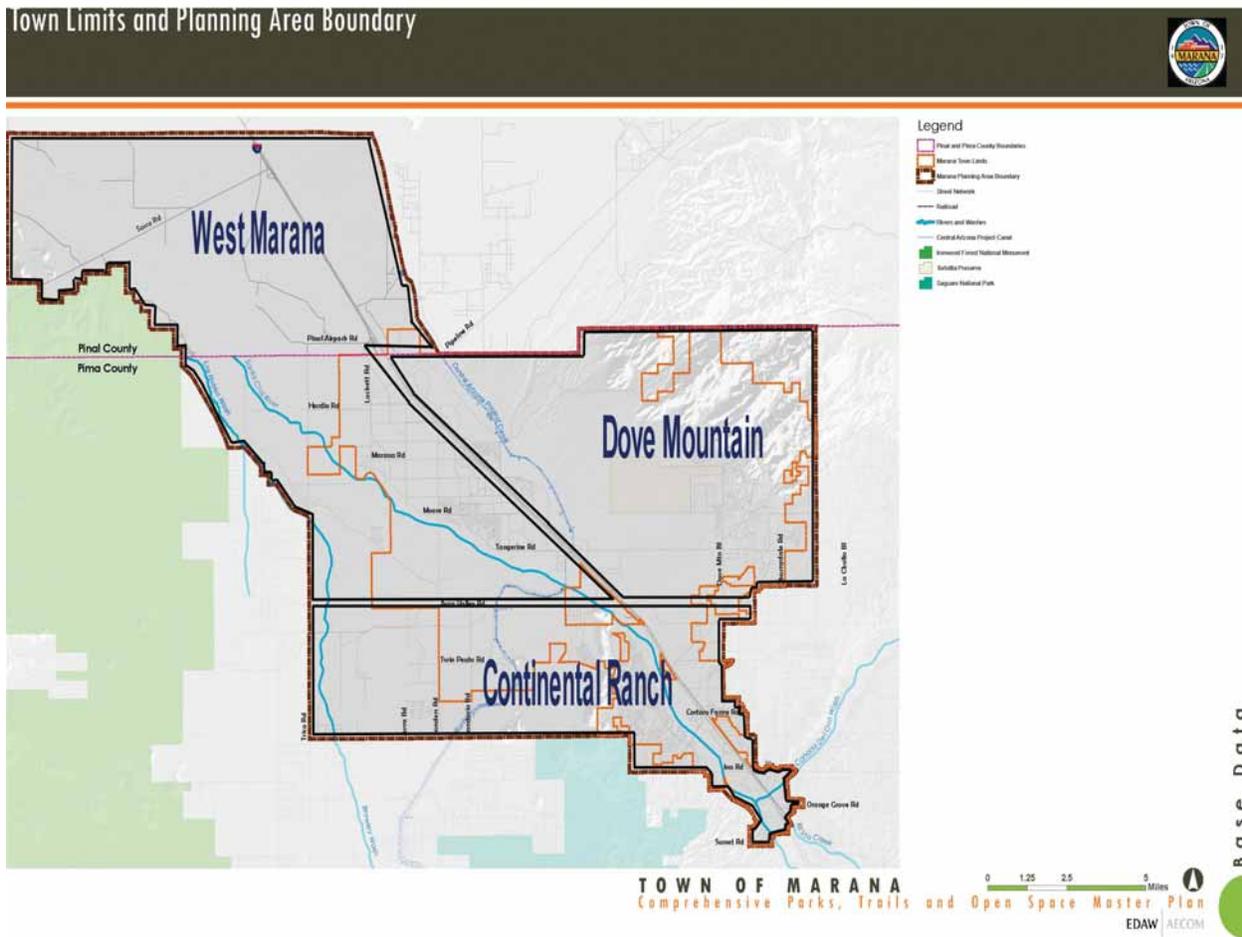
An estimate of the sampling error range for this study is provided in the following table. The sampling error presented in the table has been calculated at the confidence level most frequently used by social scientists, the 95 percent level. The sampling error figures shown in the table are average figures that represent the maximum error for the sample bases shown (i.e., for the survey findings where the division of opinion is approximately 50%/50%). Survey findings that show a more one-sided distribution of opinion, such as 70%/30% or 90%/10%, are usually subject to slightly lower sampling tolerances than those shown in the table.

As may be seen in the table, the overall sampling error for this study is approximately  $\pm 5.0$  percent when the sample is studied in total (i.e., all 400 cases). However, when subsets of the total sample are studied, the amount of sampling error increases based on the sample size within the subset.

Sample Size	Approximate Sampling Error At a 95% Confidence Level (Plus/Minus Percentage of Sampling Tolerance)
400	5.0%
300	5.8
200	7.1
100	10.0

The Behavior Research Center has presented all of the data germane to the basic research objectives of this project. However, if the Marana Parks and Recreation Advisory Board or EDAW management requires additional data retrieval or interpretation, we stand ready to provide such input.

BEHAVIOR RESEARCH CENTER, INC.



2008051\RPT Marana Area Resident Survey.wpd

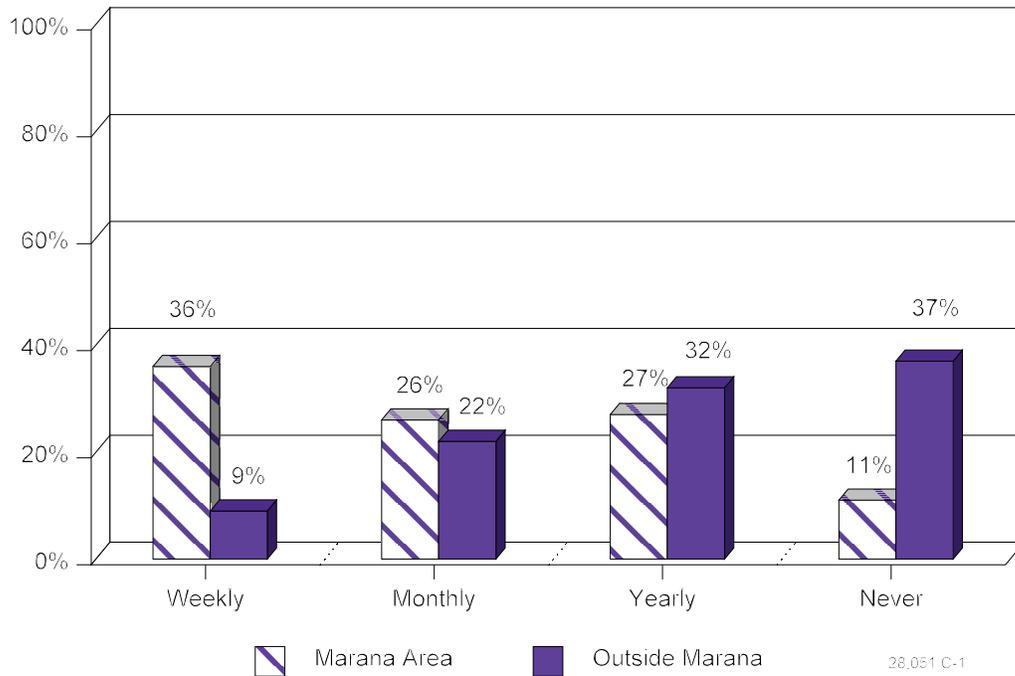
## SUMMARY OF THE FINDINGS

### USE OF PARKS AND RECREATION FACILITIES

Thirty-six percent of residents indicate that their household uses Marana area parks and recreation facilities on a weekly basis (24% several times a week, 12% once a week), while 26 percent use them on a monthly basis and 27 percent on an infrequent yearly basis. Eleven percent of residents never use Marana area facilities. Demographically, West Marana (42% weekly) and Continental Ranch (32% weekly) residents are heavier users than Dove Mountain residents (22% weekly), while households with children are far heavier users than households without children (55% vs. 15%).

The data also reveals that nine percent of residents visit other surrounding area communities on a weekly basis to use public parks and recreation facilities. The most frequently visited facility outside Marana is Reid Park with a reading of 19 percent (TABLE 2).

### Use of Parks/Recreation Facilities



**TABLE 1: PARKS/RECREATION FACILITY UTILIZATION**

*“How often, if ever, do you or other members of your household use Marana area parks and recreation facilities?”*

*“How often, if ever, do you or other members of your household use public parks and recreational facilities in area communities other than Marana?”*

	<u>MARANA AREA</u>					
	<u>TOTAL</u>	<u>KIDS IN HHLD</u>		<u>AREA</u>		
		<u>YES</u>	<u>NO</u>	<u>DOVE MTN.</u>	<u>CONTI-NENTAL RANCH</u>	<u>WEST MARANA</u>
Several times a week	24%	37%	9%	16%	30%	26%
Once a week	12	18	6	6	2	16
Several times a month	16	13	18	15	21	16
Once a month	10	11	8	13	13	9
Several times a year	20	17	25	23	21	19
Once a year	7	2	12	12	8	5
Never	11	2	22	15	5	9
	100%	100%	100%	100%	100%	100%

	<u>OTHER THAN MARANA</u>					
	<u>TOTAL</u>	<u>KIDS IN HHLD</u>		<u>AREA</u>		
		<u>YES</u>	<u>NO</u>	<u>DOVE MTN.</u>	<u>CONTI-NENTAL RANCH</u>	<u>WEST MARANA</u>
Several times a week	6%	6%	6%	8%	7%	6%
Once a week	3	4	2	6	8	3
Several times a month	12	16	7	12	2	13
Once a month	10	14	7	6	9	11
Several times a year	22	21	23	24	28	20
Once a year	10	10	9	9	18	10
Never	37	29	46	35	28	37
	100%	100%	100%	100%	100%	100%

HHLD = Household

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TABLE 2: PARKS/FACILITIES OUTSIDE MARANA UTILIZED

(AMONG THOSE USING)

*“What parks or recreational facilities outside of Marana do you or other members of your household use?”*

|                      | TOTAL | AREA         |                           |                |
|----------------------|-------|--------------|---------------------------|----------------|
|                      |       | DOVE<br>MTN. | CONTI-<br>NENTAL<br>RANCH | WEST<br>MARANA |
| <u>TOP MENTIONS</u>  |       |              |                           |                |
| Reid Park            | 19%   | 18%          | 25%                       | 21%            |
| Catalina Park        | 4     | 6            | 0                         | 4              |
| Saguaro National     | 4     | 0            | 6                         | 4              |
| John F. Kennedy Park | 4     | 0            | 0                         | 6              |
| River Front Park     | 4     | 5            | 0                         | 4              |
| YMCA/YWCA            | 4     | 1            | 3                         | 4              |
| Randolph Park        | 2     | 2            | 11                        | 1              |
| Arthur Park          | 2     | 0            | 7                         | 3              |
| Jacobs Park          | 2     | 0            | 0                         | 3              |
| Fort Lowell Park     | 2     | 2            | 0                         | 2              |
| Ormsby Park          | 2     | 2            | 0                         | 2              |
| Desert Museum        | 2     | 2            | 0                         | 2              |
| Private Sports Club  | 2     | 2            | 3                         | 2              |
| Mt. Lemon            | 2     | 4            | 4                         | 2              |

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About one out of four residents (26%) reveal that they use school facilities in Marana to meet their family's recreational needs. As might be expected, this reading reaches its highest level among households with children (43%).

TABLE 3: USE OF MARANA SCHOOL FACILITIES

*"Do you use school facilities in Marana to meet your family's recreational needs?"*

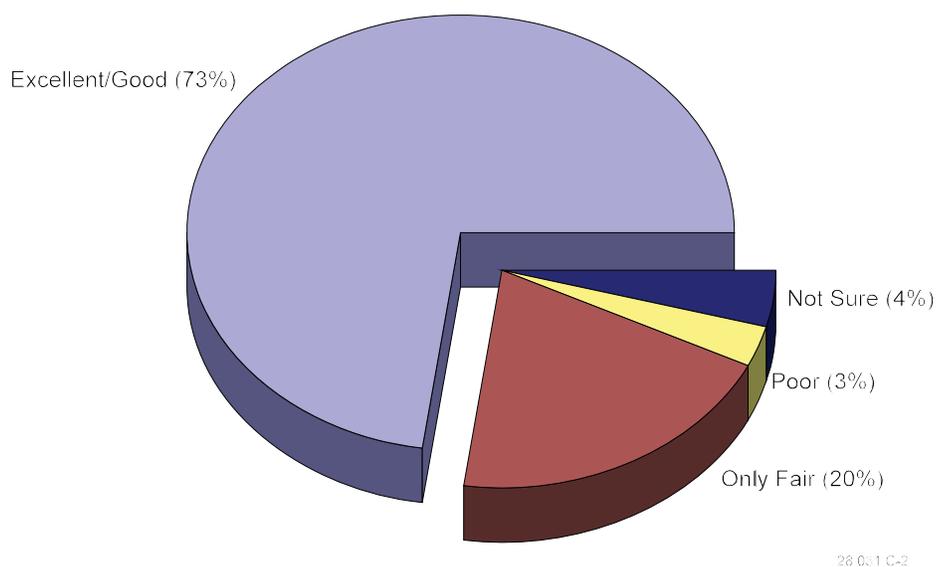
	<u>% YES</u>
<u>TOTAL</u>	26%
<u>KIDS IN HOUSEHOLD</u>	
Yes	43
No	7
<u>AREA</u>	
Dove Mountain	14
Continental Ranch	29
West Marana	30
<u>LENGTH OF RESIDENCE</u>	
Under 5 years	22
5 to 9 years	20
10 years or over	36

~~~~~

## QUALITY OF MARANA AREA PARKS AND RECREATION FACILITIES

Three out of four residents (73%) rate Marana area parks and recreation facilities as either excellent (17%) or good (56%), while 20 percent rate them as only fair and three percent as poor. These readings are relatively consistent across demographic subgroups.

### Quality of Parks/Recreation Facilities



**TABLE 4: QUALITY OF MARANA PARKS/ RECREATION FACILITIES**

*“Next, would you rate the quality of Marana area parks and recreation facilities overall as excellent, good, only fair, or poor?”*

|                            | EXCEL-<br>LENT | GOOD | ONLY<br>FAIR | POOR | NOT<br>SURE |
|----------------------------|----------------|------|--------------|------|-------------|
| <u>TOTAL</u>               | 17%            | 56%  | 20%          | 3%   | 4%          |
| <u>KIDS IN HOUSEHOLD</u>   |                |      |              |      |             |
| Yes                        | 20             | 56   | 22           | 2    | *           |
| No                         | 14             | 56   | 17           | 4    | 9           |
| <u>AREA</u>                |                |      |              |      |             |
| Dove Mountain              | 15             | 60   | 15           | 1    | 9           |
| Continental Ranch          | 14             | 62   | 20           | 4    | 0           |
| West Marana                | 18             | 56   | 20           | 3    | 3           |
| <u>LENGTH OF RESIDENCE</u> |                |      |              |      |             |
| Under 5 years              | 18             | 55   | 17           | 3    | 7           |
| 5 to 9 years               | 22             | 53   | 17           | 3    | 5           |
| 10 years or over           | 14             | 60   | 22           | 2    | 2           |

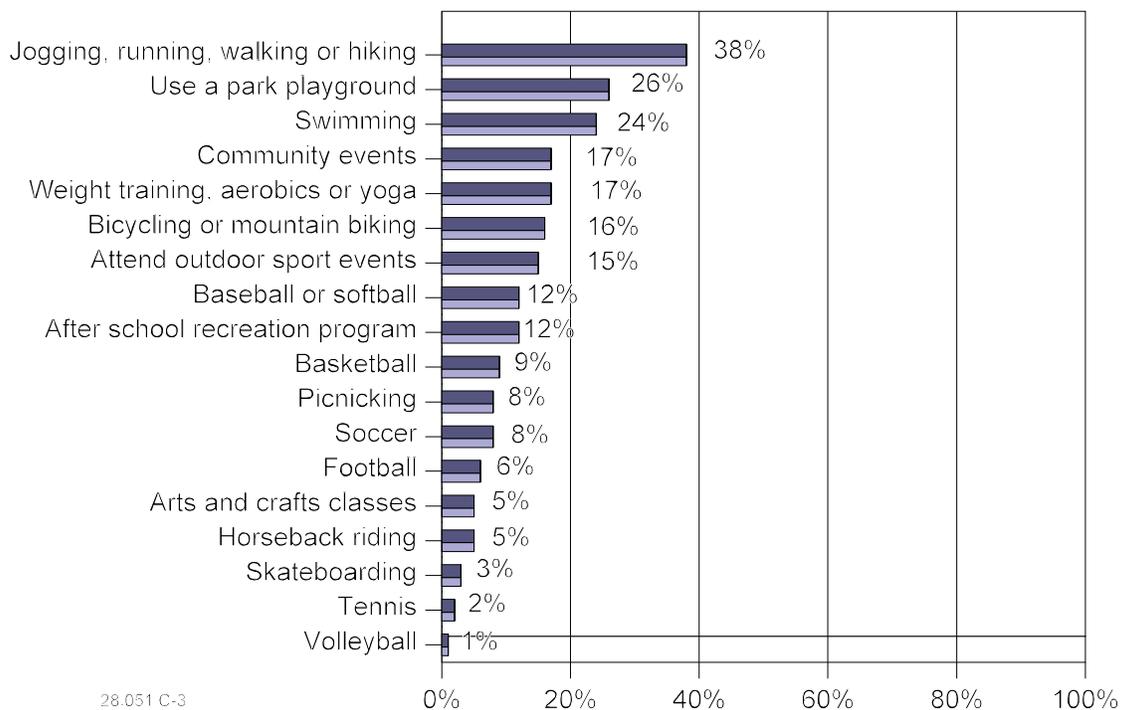
\* Indicates % less than .5

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## RECREATIONAL ACTIVITIES PARTICIPATED IN

Residents were asked to indicate how often their household participated in each of 18 activities in the Marana area in the past year. As may be seen in the following chart and table, three of the items tested were participated in by roughly one out of four residents or more: 1) jogging, running, walking, hiking (38%); 2) use a park playground (26%), and; 3) swim (24%). None of the other 15 activities tested received readings exceeding 17 percent.

### Recreational Activities Participated In (% Regularly)



28.051 C-3

TABLE 5: RECREATIONAL ACTIVITIES PARTICIPATED IN

*“To begin, I'd like to read you a list of recreational activities. As I do, please just tell me if in the past year you, or other members of your household regularly, occasionally, or never participated in each in the Marana area.”*

	REG- ULARLY	OCCA- SIONALLY	NEVER
Jogging, running, walking or hiking	38%	35%	27%
Use a park playground	26	41	33
Swimming	24	30	46
Community events	17	49	34
Weight training, aerobics or yoga	17	17	66
Bicycling or mountain biking	16	30	54
Attend outdoor sport events	15	40	45
Baseball or softball	12	23	65
After school recreation program	12	12	76
Basketball	9	18	73
Picnicking	8	44	48
Soccer	8	10	82
Football	6	15	79
Arts and crafts classes	5	14	81
Horseback riding	5	7	88
Skateboarding	3	11	86
Tennis	2	14	84
Volleyball	1	7	92

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In the next table, it may be seen that participation in the majority of the items tested increases with the presence of children in the household. Also note that some major differences are recorded based on which area residents reside in.

TABLE 6: RECREATIONAL ACTIVITIES PARTICIPATED IN – DETAIL

|                                     | % REGULARLY |              |     |              |                           |                |
|-------------------------------------|-------------|--------------|-----|--------------|---------------------------|----------------|
|                                     | TOTAL       | KIDS IN HHLD |     | AREA         |                           |                |
|                                     |             | YES          | NO  | DOVE<br>MTN. | CONTI-<br>NENTAL<br>RANCH | WEST<br>MARANA |
| Jogging, running, walking or hiking | 38%         | 42%          | 34% | 57%          | 26%                       | 34%            |
| Use a park playground               | 26          | 40           | 10  | 18           | 43                        | 28             |
| Swimming                            | 24          | 35           | 10  | 22           | 12                        | 24             |
| Community events                    | 17          | 24           | 9   | 8            | 23                        | 18             |
| Weight training, aerobics or yoga   | 17          | 14           | 20  | 35           | 5                         | 11             |
| Bicycling or mountain biking        | 16          | 23           | 8   | 15           | 17                        | 16             |
| Attend outdoor sport events         | 15          | 21           | 7   | 14           | 19                        | 12             |
| Baseball or softball                | 12          | 19           | 3   | 10           | 17                        | 10             |
| After school recreation program     | 12          | 21           | 2   | 6            | 9                         | 13             |
| Basketball                          | 9           | 12           | 5   | 11           | 12                        | 6              |
| Picnicking                          | 8           | 10           | 5   | 12           | 11                        | 6              |
| Soccer                              | 8           | 13           | 2   | 4            | 16                        | 8              |
| Football                            | 6           | 9            | 2   | 3            | 8                         | 6              |
| Arts and crafts classes             | 5           | 6            | 4   | 4            | 8                         | 5              |
| Horseback riding                    | 5           | 7            | 2   | 1            | 0                         | 5              |
| Skateboarding                       | 3           | 4            | 1   | 2            | 0                         | 3              |
| Tennis                              | 2           | 1            | 4   | 7            | 8                         | *              |
| Volleyball                          | 1           | 1            | *   | 2            | 8                         | 0              |

HHLD = Household

\* Indicates % less than .5

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Finally, in this section we find that 80 percent of residents reveal that there are no other recreational activities they regularly participate in.

TABLE 7: OTHER ACTIVITIES PARTICIPATED IN

*“Besides the activities I just mentioned, are there any other recreational activities that you and your family regularly participate in the Marana area?”*

	TOTAL	AREA		
		DOVE MTN.	CONTI-NENTAL RANCH	WEST MARANA
NO/NONE	80%	67%	82%	85%
Golf	5	18	0	1
Miscellaneous outdoor (hunting, fishing, shooting, etc.)	5	5	4	5
Miscellaneous events/entertainment (Rodeo, Founders Day, 4 <sup>th</sup> of July, etc.)	4	6	0	3
ATV riding/4-wheeling	3	3	8	3
Miscellaneous indoor activities (cards, bowling, video games, etc.)	3	2	7	3
Motorcycle riding	1	2	0	1

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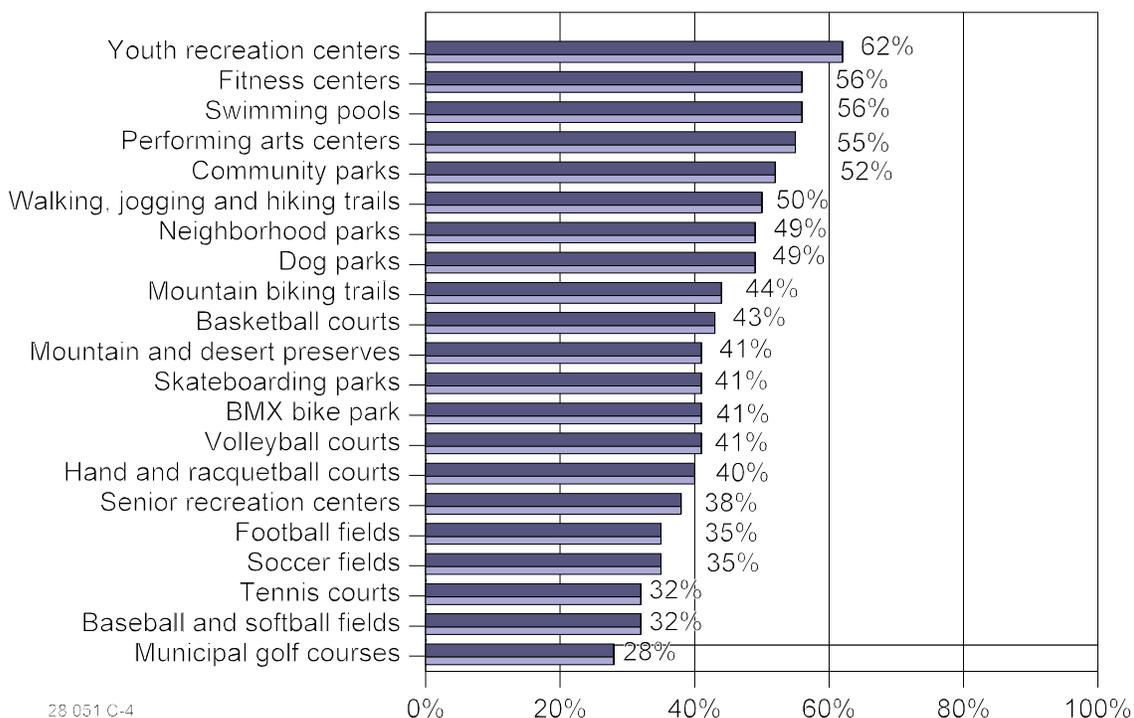
**RECREATIONAL FACILITY AND PROGRAMS NEEDS**

After residents had revealed the types of activities they participated in, they were asked to indicate if they felt Marana needed more or had enough of 21 specific recreation facilities and 16 specific recreational programs.

Looking first at recreational facilities, we find that roughly a majority or more of resident believe Marana needs more of eight specific facilities.

- Youth recreation centers (62%)
- Fitness centers (56%)
- Swimming pools (56%)
- Performing arts centers (55%)
- Community parks (52%)
- Walking, jogging and hiking trails (50%)
- Neighborhood parks (49%)
- Dog parks (49%)

**Recreational Facility Needs**  
(% Need More)



28 051 C-4

TABLE 8: RECREATIONAL FACILITY NEEDS

*“Next, do you feel the Marana area needs more of the following types of recreational facilities, or does it already have enough of each?”*

|                                    | NEEDS<br>MORE | HAS<br>ENOUGH | NOT<br>SURE |
|------------------------------------|---------------|---------------|-------------|
| Youth recreation centers           | 62%           | 18%           | 20%         |
| Fitness centers                    | 56            | 25            | 19          |
| Swimming pools                     | 56            | 29            | 15          |
| Performing arts centers            | 55            | 21            | 24          |
| Community parks                    | 52            | 37            | 11          |
| Walking, jogging and hiking trails | 50            | 40            | 10          |
| Neighborhood parks                 | 49            | 43            | 8           |
| Dog parks                          | 49            | 25            | 26          |
| Mountain biking trails             | 44            | 34            | 22          |
| Basketball courts                  | 43            | 33            | 24          |
| Mountain and desert preserves      | 41            | 44            | 15          |
| Skateboarding parks                | 41            | 28            | 31          |
| BMX bike park                      | 41            | 22            | 37          |
| Volleyball courts                  | 41            | 27            | 32          |
| Hand and racquetball courts        | 40            | 23            | 37          |
| Senior recreation centers          | 38            | 33            | 29          |
| Football fields                    | 35            | 40            | 25          |
| Soccer fields                      | 35            | 38            | 27          |
| Tennis courts                      | 32            | 39            | 29          |
| Baseball and softball fields       | 32            | 48            | 20          |
| Municipal golf courses             | 28            | 57            | 15          |

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On the following table, it may be seen that interest in each of the specific facilities varies by area and whether or not children are present in the household.

TABLE 9: RECREATIONAL FACILITY NEEDS – DETAIL

% NEED MORE

	TOTAL	KIDS IN HHLD		AREA		
		YES	NO	DOVE MTN.	CONTI-NENTAL RANCH	WEST MARANA
Youth recreation centers	62%	71%	52%	51%	65%	65%
Fitness centers	56	66	45	41	57	61
Swimming pools	56	66	44	38	72	60
Performing arts centers	55	60	50	50	81	57
Community parks	52	56	47	49	74	52
Walking, jogging and hiking trails	50	50	48	52	58	48
Neighborhood parks	49	50	48	45	75	49
Dog parks	49	56	42	44	58	53
Mountain biking trails	44	50	38	41	63	44
Basketball courts	43	55	30	21	60	49
Mountain and desert preserves	41	39	43	49	58	39
Skateboarding parks	41	55	24	25	39	46
BMX bike park	41	53	26	20	43	48
Volleyball courts	41	52	28	22	47	47
Hand and racquetball courts	40	54	25	25	54	44
Senior recreation centers	38	36	40	37	47	39
Football fields	35	49	20	19	35	41
Soccer fields	35	46	22	23	35	38
Tennis courts	32	39	25	19	41	37
Baseball and softball fields	32	41	22	26	40	33
Municipal golf courses	28	36	19	32	43	28

HHLD = Household

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Few area residents indicate there are additional other facilities that Marana needs more of.

**TABLE 10: OTHER RECREATIONAL FACILITIES NEEDED**

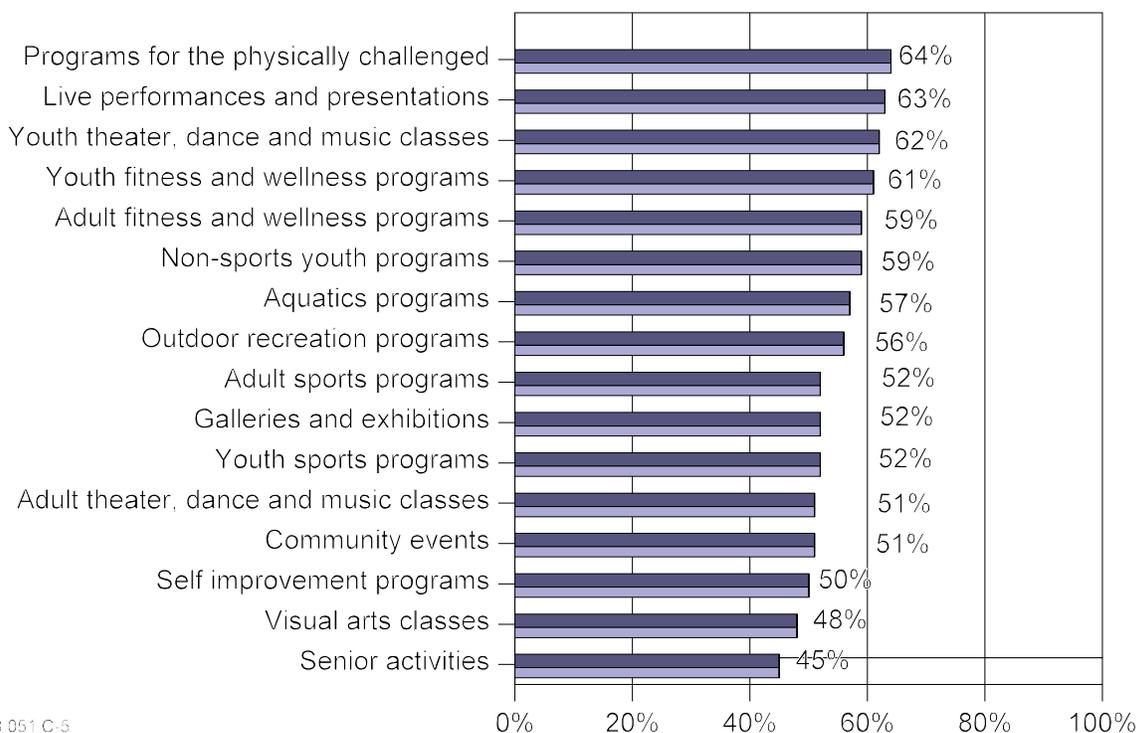
*“Besides the recreational facilities I just mentioned, are there any others that you feel the Marana area needs more of?”*

|                                  | TOTAL | AREA         |                           |                |
|----------------------------------|-------|--------------|---------------------------|----------------|
|                                  |       | DOVE<br>MTN. | CONTI-<br>NENTAL<br>RANCH | WEST<br>MARANA |
| NO/NONE                          | 86%   | 83%          | 82%                       | 86%            |
| ATV trails                       | 2     | 5            | 0                         | 1              |
| Horse facilities                 | 2     | 2            | 0                         | 2              |
| YMCA/YWCA                        | 2     | 0            | 8                         | 2              |
| Community center/gym             | 2     | 0            | 0                         | 1              |
| Shooting range                   | 1     | 0            | 0                         | 2              |
| Boating/fishing                  | 1     | 0            | 2                         | 2              |
| Ice skating                      | 1     | 2            | 0                         | *              |
| Water park                       | 1     | 0            | 0                         | 1              |
| Race tracks (car, go cart, etc.) | 1     | 0            | 0                         | 1              |
| Miniature golf                   | 1     | 0            | 0                         | 1              |
| Miscellaneous                    | 2     | 8            | 8                         | 2              |

\* Indicates % less than .5

Looking next at recreational programs, we find a significant community call for additional programs with 14 of the 16 programs tested receiving “need more” readings from a majority of residents. Again, respondent’s place of residence and the presence of children in the household impacts response to program needs.

## Recreational Program Needs (% Need More)



28 051 C-5

TABLE 11: RECREATIONAL PROGRAM NEEDS

*“And do you feel the Town of Marana needs more of the following types of recreational programs and activities, or does it already have enough of each?”*

|                                        | NEEDS<br>MORE | HAS<br>ENOUGH | NOT<br>SURE |
|----------------------------------------|---------------|---------------|-------------|
| Programs for the physically challenged | 64%           | 10%           | 26%         |
| Live performances and presentations    | 63            | 23            | 14          |
| Youth theater, dance and music classes | 62            | 17            | 21          |
| Youth fitness and wellness programs    | 61            | 20            | 19          |
| Adult fitness and wellness programs    | 59            | 24            | 17          |
| Non-sports youth programs              | 59            | 18            | 23          |
| Aquatics programs                      | 57            | 22            | 21          |
| Outdoor recreation programs            | 56            | 26            | 18          |
| Adult sports programs                  | 52            | 31            | 17          |
| Galleries and exhibitions              | 52            | 28            | 20          |
| Youth sports programs                  | 52            | 31            | 17          |
| Adult theater, dance and music classes | 51            | 25            | 24          |
| Community events                       | 51            | 35            | 14          |
| Self improvement programs              | 50            | 24            | 26          |
| Visual arts classes                    | 48            | 26            | 26          |
| Senior activities                      | 45            | 29            | 26          |

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TABLE 12: RECREATIONAL PROGRAM NEEDS – DETAIL

## % NEED MORE

	TOTAL	KIDS IN HHLD		AREA		
		YES	NO	DOVE MTN.	CONTI- NENTAL RANCH	WEST MARANA
Programs for the physically challenged	64%	68%	60%	52%	85%	68%
Live performances and presentations	63	67	59	67	84	62
Youth theater, dance and music classes	62	71	52	51	78	65
Youth fitness and wellness programs	61	68	52	46	74	65
Adult fitness and wellness programs	59	65	53	52	70	62
Non-sports youth programs	59	68	50	39	66	65
Aquatics programs	57	71	42	41	67	63
Outdoor recreation programs	56	63	48	45	56	59
Adult sports programs	52	60	44	39	55	57
Galleries and exhibitions	52	54	50	56	76	50
Youth sports programs	52	62	39	39	57	55
Adult theater, dance and music classes	51	58	43	44	68	53
Community events	51	57	45	42	75	53
Self improvement programs	50	54	45	33	69	54
Visual arts classes	48	53	44	38	70	52
Senior activities	45	42	48	44	55	45

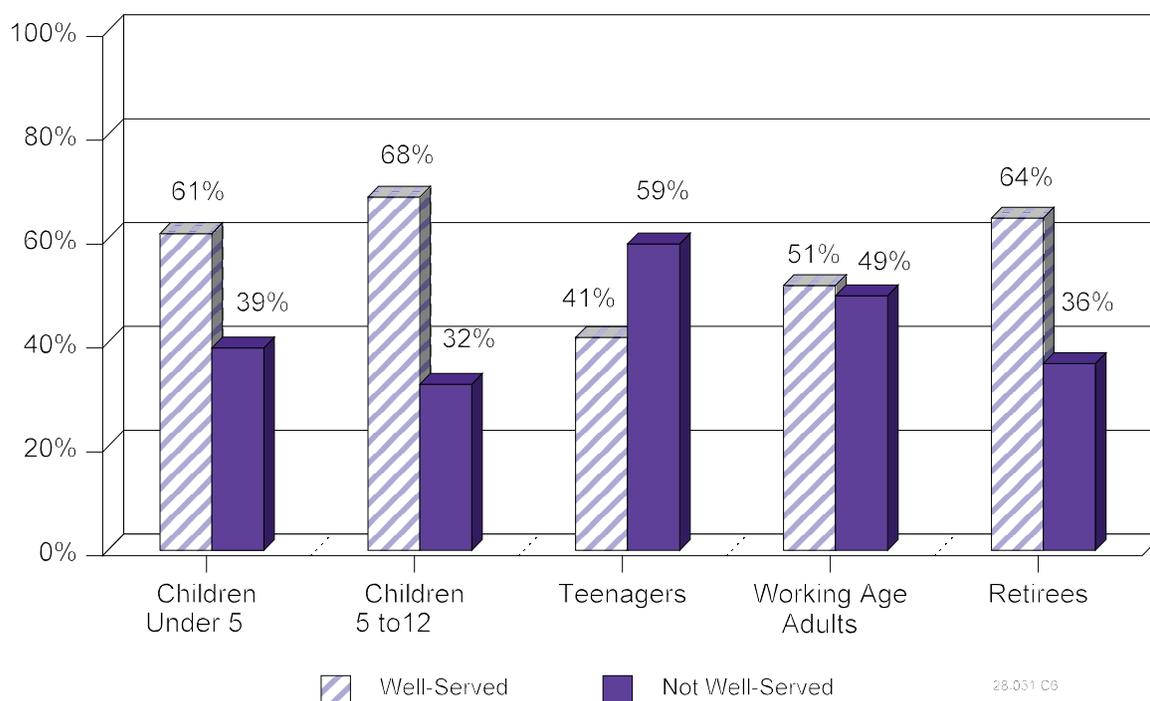
HHLD = Household

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## ADEQUACY OF MARANA FACILITIES/PROGRAMS FOR SELECTED AGE GROUPS

The majority of Marana residents with an opinion feel that children under five (61%), children five to 12 (68%), working age adults (51%) and retirees (64%) are being well-served by existing parks and recreation programs and facilities in Marana. The one group that residents do not feel are being well-served are teenagers (41% well-served, 59% not well-served). West Marana and Dove Mountain residents are particularly likely to feel that teenagers are not being well-served.

### ADEQUACY OF FACILITIES/PROGRAMS FOR SELECTED AGE GROUPS



**TABLE 13: LEVEL OF SERVICE TO SELECTED GROUPS**

*“Do you feel that Marana area residents in each of the following age groups are being well-served or not well-served by existing town parks and recreation programs and facilities in Marana?”*

|                           | WELL-SERVED | NOT WELL-SERVED | NOT SURE |
|---------------------------|-------------|-----------------|----------|
| <u>Children Under 5</u>   | 61%         | 39%             | 36%      |
| Dove Mountain             | 54          | 46              | 55       |
| Continental Ranch         | 58          | 42              | 20       |
| West Marana               | 62          | 38              | 30       |
| <u>Children 5 to 12</u>   | 68          | 32              | 30       |
| Dove Mountain             | 70          | 30              | 55       |
| Continental Ranch         | 48          | 52              | 14       |
| West Marana               | 69          | 31              | 22       |
| <u>Teenagers</u>          | 41          | 59              | 31       |
| Dove Mountain             | 43          | 57              | 58       |
| Continental Ranch         | 58          | 42              | 17       |
| West Marana               | 38          | 62              | 22       |
| <u>Working Age Adults</u> | 51          | 49              | 27       |
| Dove Mountain             | 71          | 29              | 50       |
| Continental Ranch         | 57          | 43              | 12       |
| West Marana               | 46          | 54              | 19       |
| <u>Retirees</u>           | 64          | 36              | 28       |
| Dove Mountain             | 72          | 28              | 35       |
| Continental Ranch         | 65          | 35              | 14       |
| West Marana               | 61          | 39              | 26       |

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## SPENDING PRIORITIES

When residents are asked how much spending priority each of seven items should receive in Marana, three items receive a high priority reading (very high/high) from over four out of ten residents – lighted outdoor playing fields (48%), outdoor pools (44%) and indoor recreation facilities (43%). Each of these items receives its highest reading from households with children and Continental Ranch and West Marana residents. Three of the remaining four items tested receive a high priority reading from roughly one out of three residents, while only 13 percent of residents believe municipal golf courses should be a priority.

## SPENDING PRIORITY

% HIGH PRIORITY



28-031 C7

**TABLE 14: SPENDING PRIORITIES**

*“Next, given the fact that the amount of money available for parks and recreation improvements is limited, how much spending priority do you feel each of the following aspects of parks and recreation should receive in Marana – very high priority, high priority, moderate priority, low priority or very low priority?”*

	VERY HIGH	HIGH	MOD-ERATE	LOW	VERY LOW	NOT SURE	% HIGH <sup>1</sup>
Lighted outdoor playing fields	9%	39%	32%	10%	3%	7%	48%
Outdoor pools	10	34	34	13	3	6	44
Indoor recreation facilities	10	33	39	8	2	8	43
Buying land and building developed parks	8	29	40	14	3	6	37
Mountain and desert preserves	8	24	36	19	7	6	32
Trails	7	23	42	17	5	6	30
Municipal golf courses	3	10	26	33	21	7	13

<sup>1</sup> Very high & high  
 ~~~~~

**TABLE 15: SPENDING PRIORITIES – DETAIL**

% HIGH

|                                          | TOTAL | KIDS IN HHLD |     | AREA      |                    |             |
|------------------------------------------|-------|--------------|-----|-----------|--------------------|-------------|
|                                          |       | YES          | NO  | DOVE MTN. | CONTI-NENTAL RANCH | WEST MARANA |
| Lighted outdoor playing fields           | 48%   | 60%          | 34% | 35%       | 57%                | 51%         |
| Outdoor pools                            | 44    | 58           | 29  | 29        | 50                 | 51          |
| Indoor recreation facilities             | 43    | 56           | 28  | 28        | 51                 | 48          |
| Buying land and building developed parks | 37    | 41           | 31  | 42        | 36                 | 35          |
| Mountain and desert preserves            | 32    | 27           | 37  | 44        | 37                 | 29          |
| Trails                                   | 30    | 26           | 36  | 42        | 50                 | 25          |
| Municipal golf courses                   | 13    | 14           | 11  | 20        | 14                 | 12          |

<sup>1</sup> Very high & high  
 ~~~~~

## PUBLIC FINANCING OPTIONS

Residents were asked if they would support or oppose each of five options to raise additional funds to improve parks and recreation facilities and programs in Marana. This line of questioning reveals that two options generate majority support from residents: 1) imposing a bed tax (65%), and; 2) spending a larger share of the town's budget on parks and recreation (64%). Each of the remaining three options is opposed by sizeable numbers of residents.

## PUBLIC FINANCING OPTIONS

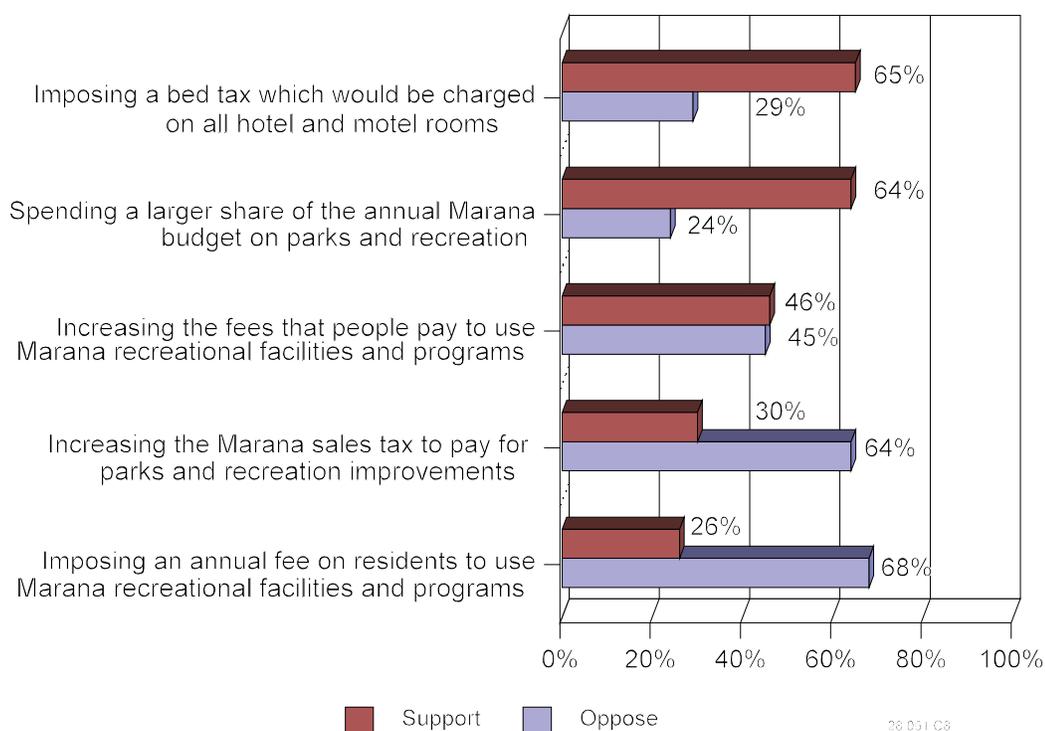


TABLE 16: FUNDING OPTIONS

*“Generally, there are several ways to raise money for public facilities. If it became necessary to raise additional money in order to fund improved parks and recreation facilities and programs in Marana, would you support or oppose each of the following methods of doing so?”*

	SUPPORT	OPPOSE	NOT SURE
Imposing a bed tax which would be charged on all hotel and motel rooms	65%	29%	6%
Spending a larger share of the annual Marana budget on parks and recreation	64	24	12
Increasing the fees that people pay to use Marana recreational facilities and programs	46	45	9
Increasing the Marana’s sales tax to pay for parks and recreation improvements	30	64	6
Imposing an annual fee on residents to use Marana recreational facilities and programs	26	68	6

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TABLE 17: FUNDING OPTIONS – DETAIL

## % SUPPORT

|                                                                                        | TOTAL | <u>KIDS IN HHLD</u> |     | <u>AREA</u> |                    |             |
|----------------------------------------------------------------------------------------|-------|---------------------|-----|-------------|--------------------|-------------|
|                                                                                        |       | YES                 | NO  | DOVE MTN.   | CONTI-NENTAL RANCH | WEST MARANA |
| Imposing a bed tax which would be charged on all hotel and motel rooms                 | 65%   | 71%                 | 58% | 64%         | 82%                | 65%         |
| Spending a larger share of the annual Marana budget on parks and recreation            | 64    | 75                  | 52  | 46          | 71                 | 72          |
| Increasing the fees that people pay to use Marana recreational facilities and programs | 46    | 43                  | 50  | 55          | 54                 | 45          |
| Increasing the Marana’s sales tax to pay for parks and recreation improvements         | 30    | 31                  | 29  | 31          | 64                 | 29          |
| Imposing an annual fee on residents to use Marana recreational facilities and programs | 26    | 27                  | 25  | 25          | 31                 | 26          |

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## INFORMATION SOURCES

The Marana Weekly News (32%) and flyers from the Parks and Recreation Department (31%) are the most relied on sources of local parks and recreation information.

TABLE 18: INFORMATION SOURCES

*“Next, do you rely on each of the following information sources a lot, only a little, or not at all for information about Marana parks and recreation opportunities?”*

	A LOT	A LITTLE	NOT AT ALL
The Marana Weekly News	32%	32%	36%
Flyers from the Marana Parks and Recreation Department	31	33	36
The Marana Parks and Recreation Department Program Guide	25	31	44
The Marana web page	18	28	54
Neighborhood association newsletters	17	33	50

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# Marana Parks, Recreation, Trails And Open Space Master Plan

# Appendix II Community Ideas

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Community Comments From 2009 Founders' Day and 2008 Marana Heritage Festival

### Facilities Desired:

- Dog park and dog pool
- Racquet ball courts - enclosed on all 4 sides
- Marana no-kill animal shelter
- Spiderman park fitness stations along trails
- Pools/community pools - heated and open everyday, all year round
- Therapeutic pool with a beach area for community - must pay to use it
- Pool with water slides
- Kid's pool
- Water park
- Splash pad
- Motor-cross track
- Radio controlled model air-plane flying fields
- Place for 4-wheelers and go-carts
- Skate board/ roller blade park with ramps
- ATM at parks

### Programs

- Movie theater in a mall/park
- Spay/neuter education & pet care education programs to begin in elementary school
- Programs for autistic and special needs children
- Heritage Festival to include hay rides, ploughing, cotton growing and gardening demonstrations, horse rides, petting zoo
- Marana trails day
- Free kid's night
- Pilates classes
- Aerobics classes
- Teen nights
- Lacrosse coaching
- Christmas, Nature-In-Lights, Halloween Festivals, etc.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## General:

- More brochures and maps of trail systems and parks in Dove Mountain and elsewhere for residents and newcomers.
- Bike lanes on Tangerine Rd.
- Continental Reserve Park has lots of activities for younger kids, but prefer Gladden Farms Park.
- Gladden Farms has lots of spiders that kids cannot play there! They need to be exterminated more often.
- Include Remington Acres as a part of Pinal County or Marana Parks and Recreation - residents have a Marana Zip code and pay non-resident fees for activities.
- Plant BIG trees!
- More stop lights required at the intersection of Tangerine and Moore.
- All major roads should have paved full shoulder.
- Incorporate children's art in pedestrian tunnel.
- Utilize the train to advertise and bring the community outside - charge a fee to non-HOA members for upkeep and maintenance.
- Mass transit required.
- Baby boomers are coming and they are active - they need more activities and programs so they can just step out the door for and not have to drive to them.

| Appendix II: Summary of Focus Group Comments |                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                   |                                    |              |                                             |
|----------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|--------------|---------------------------------------------|
|                                              | Programs Sponsored Or Participate In                                                                                                                                                                                                                                                                                                                                                                                                              | Adequacy/Deficiencies of Town facilities/services                                                                                                                                                 | Future desired facilities/services | Partnerships | Notes                                       |
| <b>Home Owner Associations</b>               | <ul style="list-style-type: none"> <li>* Heritage Highlands maintains Heritage River Park and it's ball fields.</li> <li>* Highlands Ranch provides a semi-private 30,000 s.f. clubhouse.</li> <li>* Many residents are members of Dove Mountain Hiking Club, although the Heritage Highlands has its' own club.</li> <li>* Heritage Highlands maintains desert and turf common areas and a gate connection to the Tortolita Preserve.</li> </ul> | <ul style="list-style-type: none"> <li>* Residents want more public amenities.</li> <li>* Heritage Highlands residents would like a dog park - many use the dog park in Dove Mountain.</li> </ul> |                                    |              | Dove Mountain HOA was not represented here. |

# Marana Parks, Recreation, Trails And Open Space Master Plan

| Appendix II: Summary of Focus Group Comments |                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                 |                                                                                                                                                                                                                                                              |
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|                                              | Programs Sponsored Or Participate In                                                                                                                                                                                                                                                                                                     | Adequacy/Deficiencies of Town facilities/services                                                                                                                                                                                                                                                                                                                                                    | Future desired facilities/services                                                                                                                                                                                                                                                                                                                                                                                                           | Partnerships                                                                                                    | Notes                                                                                                                                                                                                                                                        |
| <b>Youth After School Programs</b>           | <ul style="list-style-type: none"> <li>* Many schools have fee based after school programs</li> <li>* LEAP (before school)</li> <li>* AMCE drop-in arts programs at Marana Annex, Middle and High schools.</li> <li>* Kid's Art, Screen Actors Guild, Tucson Symphony, U of A and Young Rembrandts contracted by the schools.</li> </ul> | <ul style="list-style-type: none"> <li>* Marana P&amp;R summer programs are well used .</li> <li>* Most Marana P&amp;R programs are sports oriented.</li> <li>* For most youth programs to be successful, they need to operate out of elementary schools.</li> <li>* Before and after programs need to be more structured, and not just child care.</li> <li>* Not enough swimming pools.</li> </ul> | <ul style="list-style-type: none"> <li>* Wider variety of programs focusing on areas such as homework, arts and non-sports skills.</li> <li>* School-based family resource centers.</li> <li>* Centralized youth programs (although these are challenging with respect to transportation and different school dismissal times).</li> <li>* Teen Center that is more than a "hang out".</li> <li>* Technology based opportunities.</li> </ul> | <ul style="list-style-type: none"> <li>* Open the Senior Center in the evening for youth activities.</li> </ul> | <ul style="list-style-type: none"> <li>* Marana P &amp; R should be more of an organizer and enabler than provider of services.</li> <li>* Mostly elementary school participants. Other after school service providers not present at this group.</li> </ul> |

| Appendix II: Summary of Focus Group Comments |                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |       |
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|                                              | Programs Sponsored Or Participate In                                                                                                                                                                                                                                                                                                                                                                                                                       | Adequacy/Deficiencies of Town facilities/services                                                                                                                                                                                                                                                                                                                   | Future desired facilities/services                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Partnerships                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | Notes |
| <b>Jurisdictions</b>                         | <ul style="list-style-type: none"> <li>* County owns and maintains Ina Sports Park, which hosts baseball and softball leagues and special events.</li> <li>* Arthur Pack Regional Park is a County effort with an IGA for 5 fields and a parking lot.</li> <li>* County maintains River Trail and Rillito Vista Park.</li> <li>* Ironwood Forest National Monument is a wilderness area.</li> <li>* Oro Valley uses trails all over the County.</li> </ul> | <ul style="list-style-type: none"> <li>* The Tortolita Mountains are important to Oro Valley Hikers.</li> <li>* Oro Valley wouldn't be surprised if their residents use Marana Parks (they recognize that they are under-served with regards to parks).</li> <li>* Major concerns regarding OHV users in the park. They are damaging to the environment.</li> </ul> | <ul style="list-style-type: none"> <li>* As Ironwood Forest National Monument implements its' Management Plan, it will prohibit shooting. A shooting range will likely be needed in the area.</li> <li>* Permanent model airplane use area.</li> <li>* Oro Valley is focused on its park at La Cañada and Tangerine. While this park is not funded, the Town anticipates it will have a regional draw. It includes 14,000 s.f. commercial center, outdoor aquatic center and an outdoor music pavilion.</li> </ul> | <ul style="list-style-type: none"> <li>* The BOR and County are working together to build trail sections by the Tucson National Monument</li> <li>* Ironwood Forest National Monument thinks a visitor center, outside the park, would support Marana and the Park.</li> <li>* The County is planning a six court indoor basketball/volleyball facility at Rillito and Cholla.</li> <li>* The BOR could provide land for a shooting facility outside the Ironwood Forest National Monument.</li> </ul> |       |

# Marana Parks, Recreation, Trails And Open Space Master Plan

| Appendix II: Summary of Focus Group Comments |                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                          |                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |       |
|----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
|                                              | Programs Sponsored Or Participate In                                                                                                                                                                                                                                                                                                                                                                        | Adequacy/Deficiencies of Town facilities/services                                                                                                                                        | Future desired facilities/services | Partnerships                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | Notes |
| <b>Economic Development</b>                  | <ul style="list-style-type: none"> <li>* Heritage Park (manages the farm) provides produce for the Marana Public School Summer Meal Program. The intent is to provide education regarding organic gardening.</li> <li>* Chamber of Commerce is not currently engaged with Marana P&amp;R.</li> <li>* Breakers Water Park sponsors large events, but does not work regularly with Marana P&amp;R.</li> </ul> | <ul style="list-style-type: none"> <li>* In general, the Marana P&amp;R Department is on the right track.</li> <li>* Create more companion events around the Golf Tournament.</li> </ul> |                                    | <ul style="list-style-type: none"> <li>* Farmers' Markets could promote economic development. An additional market on Sat. a.m. is desired, but there is a lack of farmers.</li> <li>* The Chamber could work to attract recreation providers that enhance the range of activities available to residents.</li> <li>* Trails and additional recreation facilities could "landscape" Marana.</li> <li>* Partner on Events programs with special use facilities.</li> <li>* Allow Special Use Facilities and businesses to sponsor events.</li> <li>* Use the Parks program flyer to advertise other businesses.</li> </ul> |       |

| Appendix II: Summary of Focus Group Comments |                                      |                                                   |                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                              |       |
|----------------------------------------------|--------------------------------------|---------------------------------------------------|------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
|                                              | Programs Sponsored Or Participate In | Adequacy/Deficiencies of Town facilities/services | Future desired facilities/services | Partnerships                                                                                                                                                                                                                                                                                                                                                                                                                                 | Notes |
| Economic Development                         |                                      |                                                   |                                    | <ul style="list-style-type: none"> <li>* As a not-for-profit, the Food Bank has access to grants and other funding sources that the Town can not access.</li> <li>* The Park is poised to take advantage of the Towns agricultural infrastructure for open space conservation and promoting economic development.</li> <li>* Access to Santa Cruz River through partnerships with the Santa Cruz River Natural Heritage Alliance.</li> </ul> |       |

# Marana Parks, Recreation, Trails And Open Space Master Plan

| Appendix II: Summary of Focus Group Comments |                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                 |       |
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|                                              | Programs Sponsored Or Participate In                                                                                                                                                                                                                                       | Adequacy/Deficiencies of Town facilities/services                                                                                                                                                                                                                                                                                                                                                                 | Future desired facilities/services                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | Partnerships                                                                                                                                                                                    | Notes |
| <b>User Groups/ Clubs</b>                    | <ul style="list-style-type: none"> <li>* Disc Golf sponsors tournaments and competitions.</li> <li>* Pima County Trails has an active trails program.</li> <li>* Kids Night Out (national 20-year old franchise). Uses the Rattlesnake Ridge Elementary School.</li> </ul> | <ul style="list-style-type: none"> <li>* Disc Golf Courses are at El Rio Park, the Deaf and Blind Center, Grovers Park and Sam Melina Park.</li> <li>* Problem with El Rio Park is illegal dumping.</li> <li>* Appreciate the 'greenness' of the site.</li> <li>* Wildlife corridors concept is supported by Pima Trails.</li> <li>* Want to continue to keep nature going through public open spaces.</li> </ul> | <ul style="list-style-type: none"> <li>* Working with Town to develop El Rio Park site (in an old pit on the north side of Continental Ranch).</li> <li>* Would like another location in the future.</li> <li>* Many trails maps are out of date...would like to update them.</li> <li>* Access to Sky Islands.</li> <li>* Provide trails based on power of 10 "10 places to go without a car, 10 special places.</li> <li>* Tortolita Preserve trailhead.</li> <li>* Legal place for ATV riders.</li> <li>* Kids night out would like a larger facility with multiple spaces and, potentially a kitchen to accommodate multiple activities.</li> </ul> |                                                                                                                                                                                                 |       |
| <b>Visual Artists</b>                        | <ul style="list-style-type: none"> <li>* Friday Morning Arts Group - unstructured group using Heritage House.</li> <li>* Provide volunteer staffing for fairs and Town events.</li> </ul>                                                                                  | <ul style="list-style-type: none"> <li>* The Town does not provide facilities for this group.</li> </ul>                                                                                                                                                                                                                                                                                                          | <ul style="list-style-type: none"> <li>* A place for local artists to showcase/retail sales for their art.</li> <li>* Stage for local playwrights.</li> <li>* Visual Arts classes.</li> <li>* Better marketing for events.</li> <li>* Antidotal demand for music facilities - local musicians are willing to provide instruction.</li> </ul>                                                                                                                                                                                                                                                                                                            | <ul style="list-style-type: none"> <li>* The Town could partner with Tucson non-profits to provide programs.</li> <li>* Local artists could list in the Town's programming magazine.</li> </ul> |       |

| Appendix II: Summary of Focus Group Comments |                                      |                                                                                                               |                                                                                                                                                                           |                                                                                                                                       |       |
|----------------------------------------------|--------------------------------------|---------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|-------|
|                                              | Programs Sponsored Or Participate In | Adequacy/Deficiencies of Town facilities/services                                                             | Future desired facilities/services                                                                                                                                        | Partnerships                                                                                                                          | Notes |
| Equestrian                                   | * County Line Riders of Arizona      | * Catalina State Park has an equestrian center. Their parking area is a good model for equestrian trailheads. | * Rillito Downs Horse Track may be looking for a new site.<br>* Horse rig parking at Tortolita Trailhead and other trailheads.<br>* An improved rodeo facility is needed. | * The Town could build a facility and partner with the Western Heritage Rodeo Association to manage the facility and organize events. |       |

# Marana Parks, Recreation, Trails And Open Space Master Plan

| Appendix II: Summary of Focus Group Comments |                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |       |
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|                                              | Programs Sponsored Or Participate In                                                                                                                                                                                                                                                                                                                                                                                                          | Adequacy/Deficiencies of Town facilities/services                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | Future desired facilities/services                                                                                                                                                                                                                                                                                                                                      | Partnerships                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Notes |
| <b>Partners</b>                              | <ul style="list-style-type: none"> <li>* YMCA, MUSD, PCC and U of A all are actively providing programs in the Marana Area.</li> <li>* There is a hip-hop club and group.</li> <li>* Plans for the Library to bring in Homework Help Programs (in cooperation with MUSD).</li> <li>* Early childhood and aftercare programs are provided by the library.</li> <li>* Programs for non-working parents that are free or inexpensive.</li> </ul> | <ul style="list-style-type: none"> <li>* These entities are trying to partner with the Town to locate a facility that would also meet recreation program and facilities needs in northeastern Marana.</li> <li>* There is an outdoor amphitheater at Pima Community College.</li> <li>* There are no active recreation facilities on the Pima Community College Campus.</li> <li>* The Library provides meeting rooms, but more are needed.</li> <li>* A lot of telecommuters use the library.</li> <li>* When the park is fully built, the library should be more of a centerpiece.</li> <li>* There are transportation challenges with regards to residents getting to the library.</li> <li>* Park area outside library designed for performances.</li> </ul> | <ul style="list-style-type: none"> <li>* The vision is to use a MUSD site for a joint facility where the U of A and PCC could offer classes, the YMCA would provide programs and share the school facilities.</li> <li>* More technology and programs.</li> <li>* River and watershed education programs.</li> <li>* Environmental and archaeology programs.</li> </ul> | <ul style="list-style-type: none"> <li>* The Town is currently providing Jazzercise and after school care at the Middle, Elementary and High school MUSD campuses.</li> <li>* Mountain View HS and Arthur Pack Park have an agreement regarding field use.</li> <li>* PCC currently offers classes at the Oro Valley P&amp;R and Pima College Library.</li> <li>* Santa Cruz River Alliance is a potential partner for the Library. They see lots of tourism potential.</li> </ul> |       |

| <b>Appendix II: Summary of Focus Group Comments</b> |                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                        |                                                                                                              |              |
|-----------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------|--------------|
|                                                     | <b>Programs Sponsored Or Participate In</b>                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Adequacy/Deficiencies of Town facilities/services</b>                                                                                                                            | <b>Future desired facilities/services</b>                                                                                                                                                                                                                                                              | <b>Partnerships</b>                                                                                          | <b>Notes</b> |
| <b>Seniors</b>                                      | <ul style="list-style-type: none"> <li>* Bingo, line dancing, Tai Chi, exercise and arts and crafts.</li> <li>* Field Trips (limited)</li> <li>* Highly attended classes.</li> </ul>                                                                                                                                                                                                                                                             | There are two locations for senior activities; at a leased space at Lord of Grace Lutheran Church and at the Marana Senior Center. Users tend to stay at one or the other facility. | <ul style="list-style-type: none"> <li>* Dedicated space to replace the Church space.</li> <li>* More arts and crafts.</li> <li>* Quilting and ballroom dancing.</li> <li>* More field trips.</li> <li>* Programs with topical speakers.</li> <li>* Programs disbursed throughout the week.</li> </ul> |                                                                                                              |              |
| <b>Developers</b>                                   | <ul style="list-style-type: none"> <li>* Developments include neighborhood and district parks.</li> <li>* District parks are public and managed by the Town.</li> <li>* Community centers included in some developments - open only to residents of development. These include pools, courts, fitness centers etc.</li> <li>* Trails connecting to Town trails and internal to development are also provided as part of developments.</li> </ul> | Parking standards for district and other parks needed.                                                                                                                              |                                                                                                                                                                                                                                                                                                        | The Town should create guidelines and standards that actually market the Town and can be used by developers. |              |

# Marana Parks, Recreation, Trails And Open Space Master Plan

| Appendix II: Summary of Focus Group Comments |                                                                                                                         |                                                                                                                                                                                                                                                                                                |                                                                                                                                                                            |                                                                                                                                                                                                 |                                                              |
|----------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------|
|                                              | Programs Sponsored Or Participate In                                                                                    | Adequacy/Deficiencies of Town facilities/services                                                                                                                                                                                                                                              | Future desired facilities/services                                                                                                                                         | Partnerships                                                                                                                                                                                    | Notes                                                        |
| <b>Sports Leagues</b>                        | Continental Ranch Little League, Arizona Youth Soccer Organization (AYSO), Marana Little League, Southwest Youth Sports | <ul style="list-style-type: none"> <li>* School fields would be adequate, but they don't allow reservations for league use more playing fields are needed on the north end of Town</li> <li>* Fields are over-used</li> <li>* Fields need on-site storage</li> <li>* More restrooms</li> </ul> | <ul style="list-style-type: none"> <li>* Flag Football</li> <li>* Indoor Sports Training Facility</li> <li>* Physically and mentally challenged sports programs</li> </ul> | <ul style="list-style-type: none"> <li>* Work with Pima County and Schools to provide more sports fields</li> <li>* AYSOs to determine field priorities, sports seasons and programs</li> </ul> | Limited participation, Marana Little League was not present. |

# Appendix III Trail System Standards

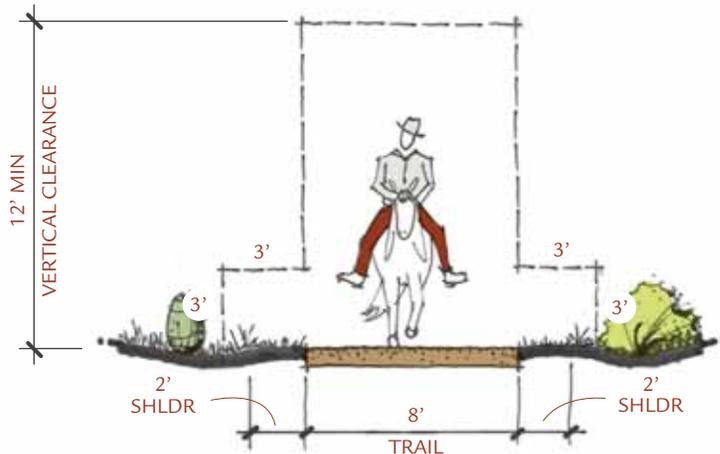
# Marana Parks, Recreation, Trails And Open Space Master Plan

## Trails

Trails are used by multiple user groups such as mountain/recreational bicyclists, walkers, runners, hikers, equestrians, and others who prefer a soft, natural surface rather than a hard paved surface. Trails connect local and regional destinations and neighborhoods within a larger trail network. They are located in all types of situations, but most typically in developed or higher use areas along roadways, washes, utility corridors, and within small and large open space areas. They may be used by small maintenance and emergency response vehicles.

### DESIGN CONSIDERATIONS

- Sight Lines.** Lay out trails to maximize visibility of approaching trail users, thereby increasing reaction time and minimizing conflicts.
- Grades.** Lay out trails to minimize extreme slopes and grade changes thereby allowing users to stay under control at all times. A variety of slopes creates a more interesting and positive experience.
- Alignment.** Vary the trail alignment to create an interesting variety of views and to avoid specimen plants.
- Drainage.** Provide drainage control techniques that avoid any drainage flow above or across a trail.
- Setbacks.** Landscape setback standards are expressed as minimums. They should be as wide as possible.
- Plant Preservation.** Care should be given during trail construction to preserve existing vegetation in place.
- Landscape.** Landscaping is an opportunity to highlight and enhance regional and local character, therefore, landscaping shall be native and/or near native. Water harvesting techniques should be integrated into design wherever possible. Refer to local jurisdictions for specific approved plant lists.



|                                 |                                                                                                                                                                        |
|---------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Width                           | Eight feet                                                                                                                                                             |
| Shoulder                        | Minimum two-foot wide soft/mowed/six-inch max. height herbaceous plants in native soil or decomposed granite                                                           |
| Vertical Clearance              | 12-foot minimum                                                                                                                                                        |
| Side Clearance                  | No vegetation or obstacles within a three-foot high by three-foot wide space each side. Three-foot minimum to signs, benches, or any vertical element.                 |
| Thorny Plants                   | Minimum 10-foot clearance between trail edge and newly planted thorny plants. Align trail to avoid existing thorny plants wherever possible to minimize their removal. |
| Clearance to Trees              | Minimum six feet (provide minimum ten-foot clearance between trees and sewer lines)                                                                                    |
| Turning Radius                  | 12-foot minimum                                                                                                                                                        |
| Surface Material                | Compacted (imported decomposed granite or native soil) to minimize skidding                                                                                            |
| Running Grade:                  | <5% = 1500'<br>5-8% = 800'-1500'<br>8-10% = 500'-800'<br>>10% = max 500'                                                                                               |
| Cross Slope                     | Two percent (5 percent maximum; 4 percent maximum at paved crossings)                                                                                                  |
| Trees and Shrubs (new planting) | Trees: One tree per every 15 feet along both sides of trail<br>Shrubs: Two shrubs per tree                                                                             |
| Barriers                        | New barriers shall be wildlife friendly, providing a minimum 18-inch gap between the bottom horizontal rail and finish grade.                                          |
| Valve Boxes                     | Install at least 5 feet from edge and flush with grade                                                                                                                 |

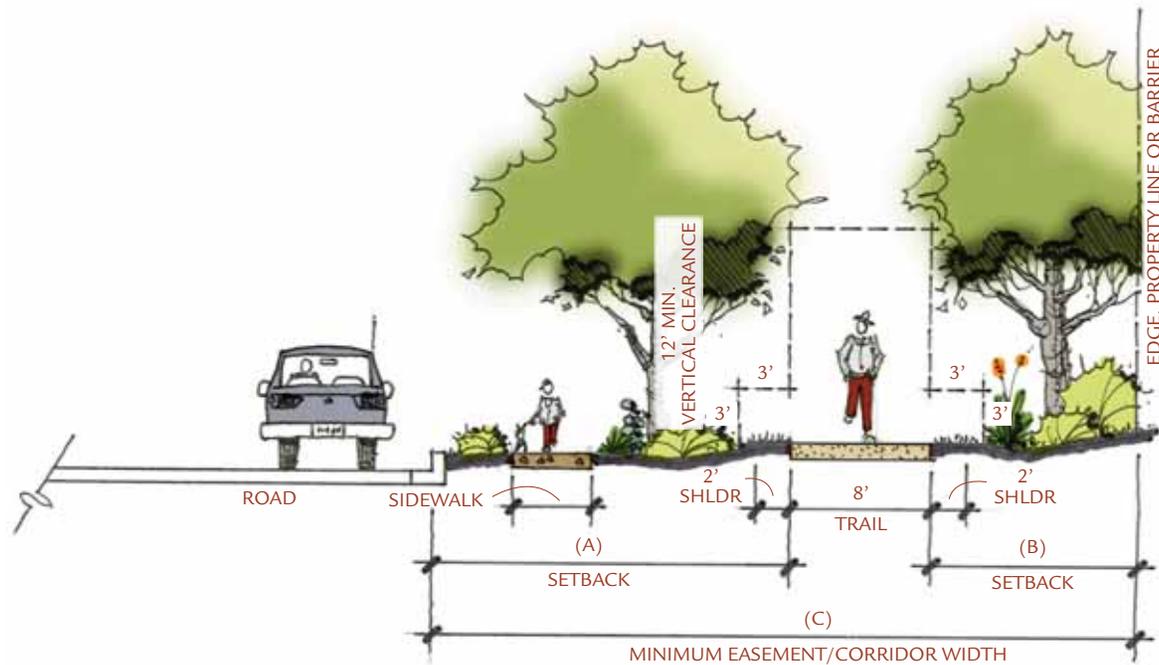
### Trail Corridor Adjacent to a Road

| Transportation Classification                         | Minimum Setback From Edge of Road Pavement and Trail Edge <sup>1</sup> (A) | Trail Tread Width | Minimum Setback From Path Edge to Adjacent Barrier Edge or Property Line <sup>2</sup> (B) | Minimum Trail Easement/Corridor Width <sup>3</sup> (C) = (A) + 8' + (B) |
|-------------------------------------------------------|----------------------------------------------------------------------------|-------------------|-------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| Freeway/Expressway (over 55 MPH)                      | 30'                                                                        | 8'                | 12'                                                                                       | 50'-52'                                                                 |
| Major/Minor Arterial and Collector Street (30-55 MPH) | 20'                                                                        | 8'                | 12'                                                                                       | 40'-42'                                                                 |
| Local Street (25 MPH and under)                       | 6'                                                                         | 8'                | 6'                                                                                        | 20'-22'                                                                 |

1. Includes two-foot shoulder, three-foot high by three-foot wide vegetation clearance and sidewalk if required.

2. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, etc.

3. If minimum corridor width is not available, priority should be given first to providing the distance between the edge of road pavement and the trails, second to the distance from the trail edge to the adjacent barrier, edge or property line defined as a fence, wall, building, etc.

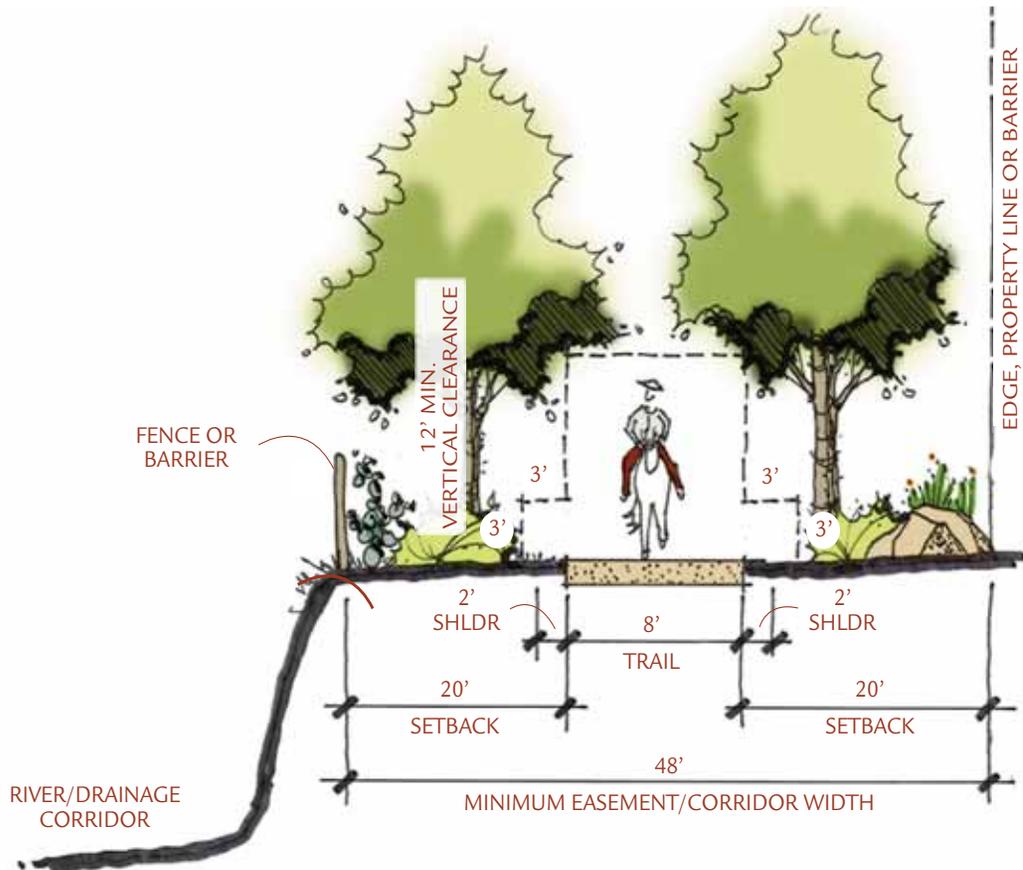


# Marana Parks, Recreation, Trails And Open Space Master Plan

## Trail Corridor Adjacent to a River or Drainageway

| Trail Width | Setback From Trail Edge to Adjacent Barrier Edge or Property Line <sup>1</sup> | Minimum Trail Easement/Corridor Width <sup>2</sup> = 8' + (2 x 20') |
|-------------|--------------------------------------------------------------------------------|---------------------------------------------------------------------|
| 8'          | 20'                                                                            | 48'                                                                 |

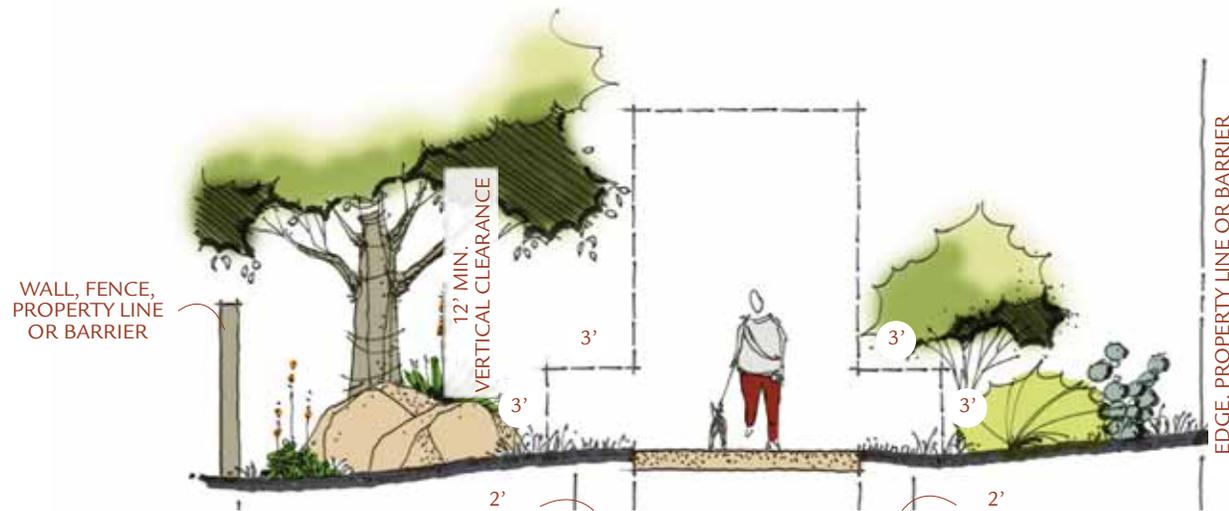
1. Includes two-foot shoulder, and three-foot high by three-foot wide vegetation clearance each side.
2. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, etc.



### Trail Corridor in an Open Space/Greenway (other than a River or Drainage way)

| Trail Width | Setback From Trail Edge to Adjacent Barrier Edge or Property Line <sup>1</sup> | Minimum Trail Easement/Corridor Width <sup>2</sup> = 8' + (2 x 20') |
|-------------|--------------------------------------------------------------------------------|---------------------------------------------------------------------|
| 8'          | 20'                                                                            | 48'                                                                 |

1. Includes two-foot shoulder and three-foot high by three-foot wide vegetation clearance each side.
2. Increase width, as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, etc



# Marana Parks, Recreation, Trails And Open Space Master Plan

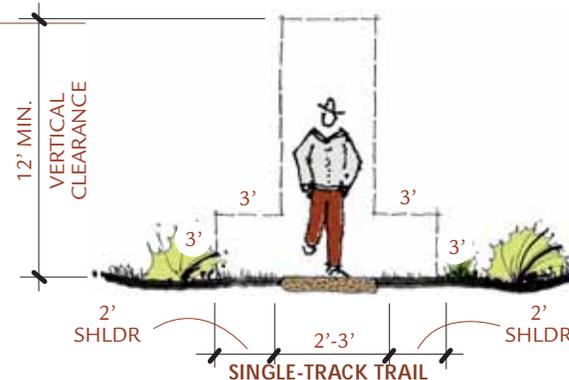
## Single-track Trails

|                    |                                                                                                                                                                                                                     |
|--------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Width              | Two to three feet                                                                                                                                                                                                   |
| Shoulder           | Minimum two-foot wide soft/mowed/six-inch maximum height herbaceous plants/native soil                                                                                                                              |
| Vertical Clearance | 12-foot minimum                                                                                                                                                                                                     |
| Side Clearance     | No vegetation or obstacles within a three-foot high by three-foot wide space each side. Three-foot minimum to signs, benches, or any vertical element.                                                              |
| Thorny Plants      | Minimum 10-foot clearance between trail edge and newly planted thorny plants. Align trail to avoid existing thorny plants wherever possible to minimize their removal.                                              |
| Clearance to Trees | Minimum six feet (provide minimum ten-foot clearance between trees and sewer lines)                                                                                                                                 |
| Valve Boxes        | Install at least 5 feet from edge and flush with grade                                                                                                                                                              |
| Turning Radius     | Five-foot minimum                                                                                                                                                                                                   |
| Surface Material   | Compacted native soil                                                                                                                                                                                               |
| Running Grade      | <5% = 1500'<br>5-8% = 800'-1500'<br>8-10% = 500'-800'<br>>10% = max 500'                                                                                                                                            |
| Cross Slope        | Two percent (5 percent maximum; 4 percent maximum at paved crossings)                                                                                                                                               |
| Clearance to Trees | Strive to maintain six feet between trail edge and tree trunk. Cut trees and shrubs back to the trunk. To create more visual interest and slow users down, don't cut all vegetation back exactly the same distance. |
| Barriers           | New barriers shall be wildlife friendly, providing a minimum 18-inch gap between the bottom horizontal rail and finish grade.                                                                                       |

These trails are located within preserved open space, washes, mountainous areas, non-developed, or protected areas. They are built with greater sensitivity to the existing natural environment and are therefore narrower than the trail used in more developed parts of the system, but still should accommodate multiple user groups who prefer an unpaved surface. Single-track trails should be no wider than they need to be, with two to three feet being the recommended width range.

### DESIGN CONSIDERATIONS

- Sight Lines.** Lay out trails to maximize visibility of approaching trail users, thereby increasing reaction time and minimizing conflicts.
- Grades.** Lay out trails to minimize extreme slopes and grade changes thereby allowing users to stay under control at all times. A variety of slopes creates a more interesting and positive experience.
- Alignment.** Vary the trail alignment to create an interesting variety of views and to avoid specimen plants. The best horizontal alignment (how a trail looks from above) includes simple curves rather than straight sections with sharp turns.
- Drainage.** Provide drainage control techniques that avoid any drainage flow above or across a trail.
- Setbacks.** Landscape setback standards are expressed as minimums. They should be as wide as possible.
- Plant Preservation.** Care should be given during trail construction to preserve existing vegetation in place.
- Passing Areas.** When in steep terrain, incorporate passing areas of 5 feet wide by 10 feet long in natural openings in the landscape.
- Switchbacks.** Where more than one switchback is necessary to climb steep grades, minimize the physical and visual impact by not stacking switchbacks along a slope face; spread them out.
- Landscape.** Landscaping shall be native. Water harvesting techniques should be integrated into designs wherever possible.

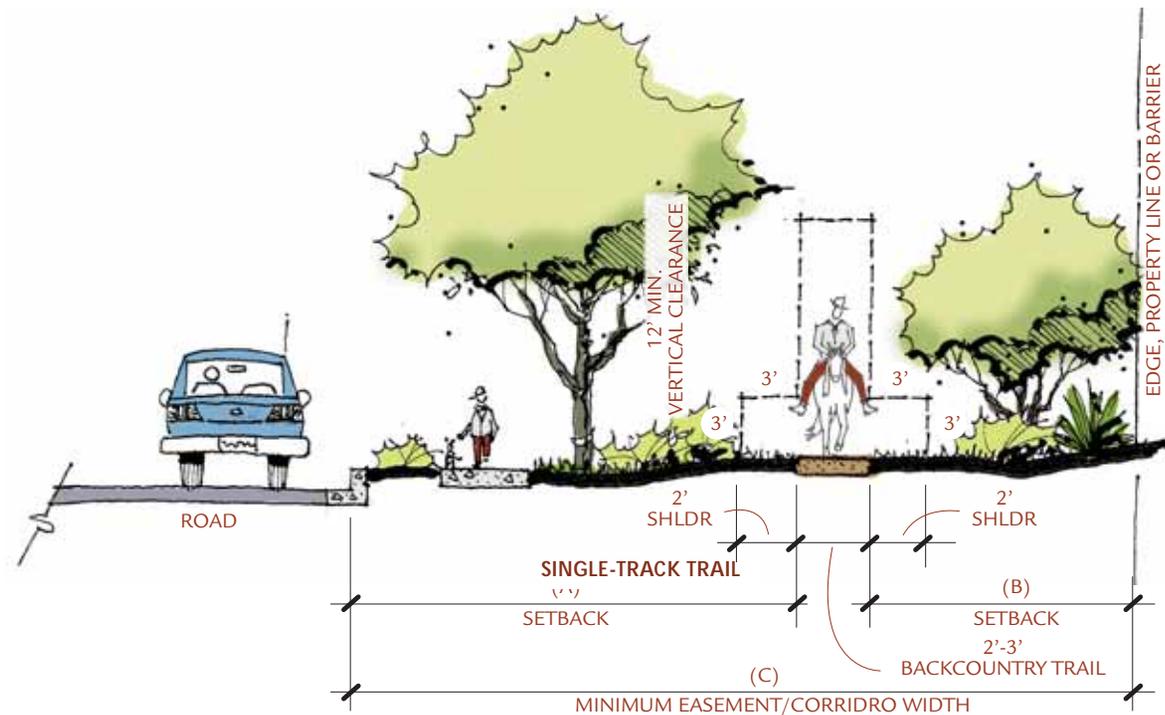


## Single-track Trail Corridor Adjacent to a Road

| Transportation Classification                         | Minimum Setback From Edge of Road Pavement and Trail Edge <sup>1</sup> (A) | Single-track Trail Tread Width | Minimum Setback From Path Edge to Adjacent Barrier Edge or Property Line <sup>2</sup> (B) | Minimum Trail Easement/Corridor Width (C) = (A) + (2' to 3') + (B) |
|-------------------------------------------------------|----------------------------------------------------------------------------|--------------------------------|-------------------------------------------------------------------------------------------|--------------------------------------------------------------------|
| Freeway/Expressway (over 55 MPH)                      | 30'                                                                        | 2'-3'                          | 12'                                                                                       | 44'-45'                                                            |
| Major/Minor Arterial and Collector Street (30-55 MPH) | 20'                                                                        | 2'-3'                          | 12'                                                                                       | 34'-35'                                                            |
| Local Street (25 MPH and under)                       | 6'                                                                         | 2'-3'                          | 6'                                                                                        | 14'-15'                                                            |

1. Includes two-foot shoulder, three-foot high by three-foot wide vegetation clearance and sidewalk if required.

2. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, etc.

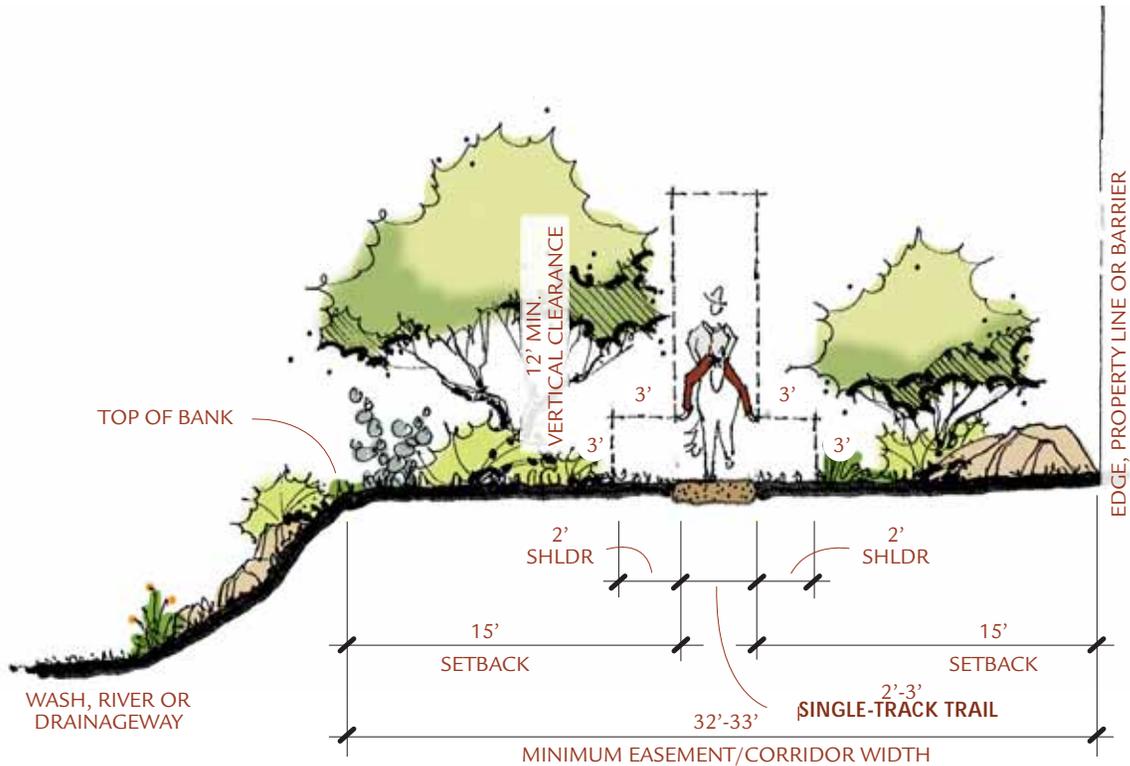


# Marana Parks, Recreation, Trails And Open Space Master Plan

## Single-track Trail Corridor Adjacent to a River, Wash or Drainage

| Backcountry Trail Tread Width | Setback From Trail Edge to Top of Adjacent Barrier Edge or Property Line <sup>1</sup> | Minimum Trail Easement/Corridor Width <sup>2</sup> = (2' to 3') + (2 x 15') <sup>2</sup> |
|-------------------------------|---------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|
| 2'-3'                         | 15'                                                                                   | 32'-33'                                                                                  |

1. Includes two-foot shoulder and three-foot high by three-foot wide vegetation clearance each side.
2. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, etc.

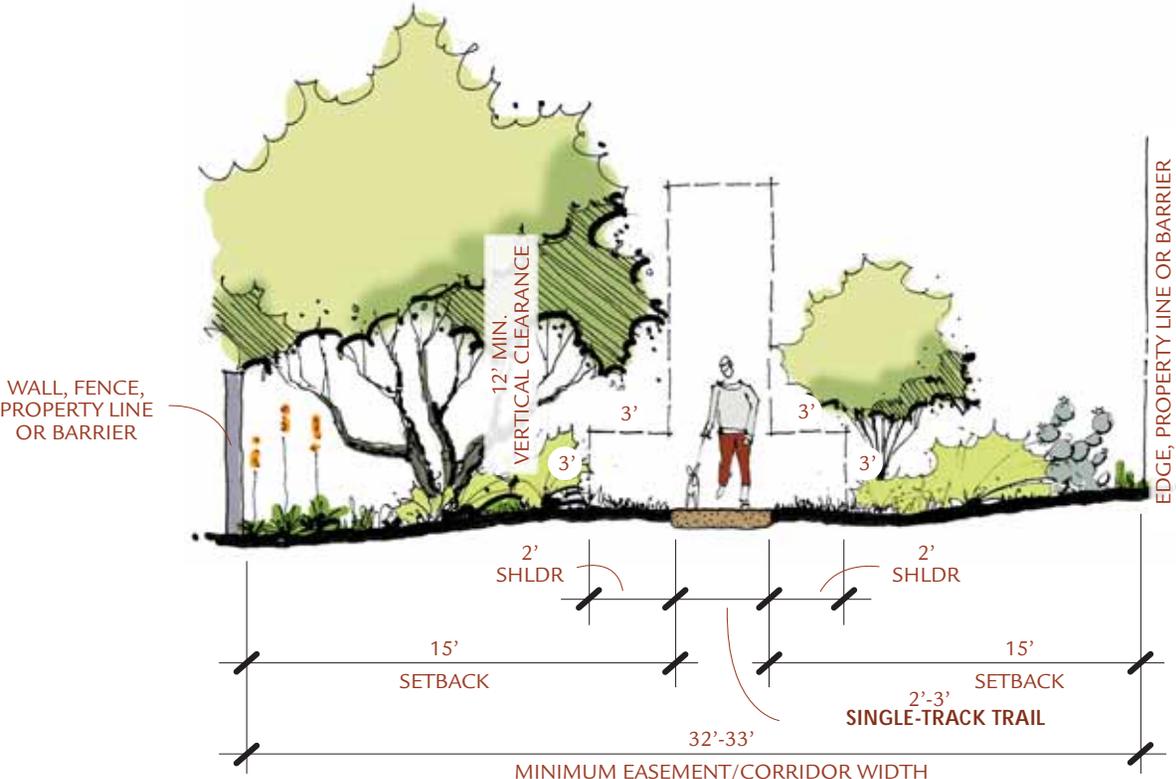


Single-track Trail Corridor in an Open Space/Greenway (other than a river or drainage way)

| Single-track Trail Tread Width | Setback From Trail Edge to Adjacent Barrier Edge or Property Line <sup>1</sup> | Minimum Trail Easement/Corridor Width <sup>2</sup> = (2' to 3') + (2' x 15') <sup>2</sup> |
|--------------------------------|--------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|
| 2'-3'                          | 15'                                                                            | 32'-33'                                                                                   |

1. Includes two-foot shoulder and three-foot high by three-foot wide vegetation clearance each side.

2. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, etc.



# Marana Parks, Recreation, Trails And Open Space Master Plan

## Paths

|                      |                                                                                                                                                                        |
|----------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Width                | Twelve feet paved plus four feet unpaved on one side.                                                                                                                  |
| Shoulder             | Minimum two-foot soft/mowed on side opposite unpaved four feet                                                                                                         |
| Vertical Clearance   | 12-foot minimum                                                                                                                                                        |
| Side Clearance       | Three feet high by three feet wide space on side of four-foot shoulder for vegetation or obstacles. Three-foot minimum to signs, benches, or any vertical element.     |
| Thorny Plants        | Minimum 10-foot clearance between trail edge and newly planted thorny plants. Align trail to avoid existing thorny plants wherever possible to minimize their removal. |
| Clearance to Trees   | Minimum six feet (provide minimum ten-foot clearance between trees and sewer lines)                                                                                    |
| Bicycle Design Speed | 20 mph; 30 mph when downgrade exceeds 4% or with strong prevailing tailwinds                                                                                           |
| Surface Material     | Concrete or asphalt for paved portion; one-quarter inch minus decomposed granite for unpaved portion                                                                   |
| Barriers             | New barriers shall be wildlife friendly, providing a minimum 18-inch gap between the bottom horizontal rail and finish grade.                                          |
| Valve Boxes          | Install at least 5 feet from edge and flush with grade                                                                                                                 |
| Running Grade        | 6% up to 800 feet<br>7% up to 400 feet<br>8% up to 300 feet<br>9% up to 200 feet<br>10% up to 100 feet<br>11% and greater up to 50 feet                                |
| Horizontal Alignment | Refer to AASHTO Guidelines. Gentle meander acceptable with minimum 200-foot radius.                                                                                    |

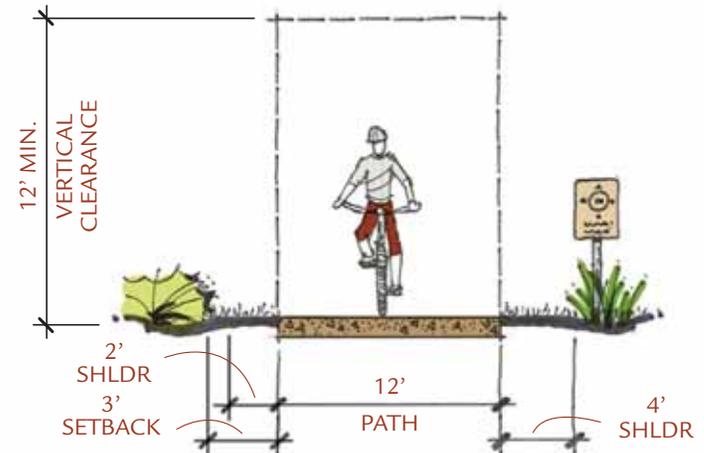
1 Anything above 5% is not considered accessible per ADA. Grades above 5% should only occur where terrain dictates.

This paved facility is used by bicyclists, pedestrians, joggers, strollers, wheelchair users, in-line skaters, other non-motorized users, and anyone wanting a smooth and consistent surface. Paths are signed for various users, are ADA accessible (when less than five percent grades), and may also be used by small maintenance and emergency response vehicles.

Paths include an adjacent, four-foot unpaved shoulder on one side to provide greater options for the diversity of non-motorized users from roller bladers, who prefer a paved surface, to joggers, who prefer an unpaved surface.

### DESIGN CONSIDERATIONS

- Corridor Width.** Secure as broad a corridor as possible to enhance the user experience.
- Landscape.** Landscaping is an opportunity to highlight and enhance regional and local character, therefore, landscaping shall be native and/or near native. Water harvesting techniques should be integrated into design wherever possible. Refer to local jurisdictions for specific approved plant lists.
- Respite Areas.** Provide respite areas with seat walls, plazas, and other design features at logical locations along path corridors. Compliment amenities at entry nodes and trailheads.
- Curb Cuts.** Limit driveway path crossings to a maximum of every quarter-mile.
- Signs.** Include high-quality signs and interpretive exhibits where appropriate. Sign vehicular crossings of the paths with stop and warning signs to help ensure user safety.
- Freeway Adjacent.** Provide a minimum four-foot high landscaped berm between freeways and paths to enhance the feeling of separation.
- Connectivity.** Enhance connectivity to community features, such as parks, schools, shopping, offices, and neighborhoods by supplementing the recommendations of this plan and provide additional linked routes and connections.
- Sight Lines.** Lay out trails to maximize visibility of approaching trail users, thereby increasing reaction time and minimizing conflicts.
- Setbacks.** Landscape setback standards are expressed as minimums. They should be as wide as possible.
- References.** See AASHTO's 1999 Guide for the Development of Bicycle Facilities, page 33, "Shared Use Paths".



### Path Corridor Adjacent to a Road

| Transportation Classification                         | Minimum Setback From Edge of Road Pavement to Path Edge <sup>1</sup> (A) | Path Width <sup>2</sup> | Minimum Setback From Path Edge to Adjacent Barrier Edge or Property Line <sup>3</sup> (B) | Minimum Path Easement/Corridor Width <sup>4</sup> (C) = (A) + 12' + (B) |
|-------------------------------------------------------|--------------------------------------------------------------------------|-------------------------|-------------------------------------------------------------------------------------------|-------------------------------------------------------------------------|
| Freeway/Expressway (over 55 MPH)                      | 30'                                                                      | 12'                     | 12'                                                                                       | 54'                                                                     |
| Major/Minor Arterial and Collector Street (30-55 MPH) | 12'                                                                      | 12'                     | 12'                                                                                       | 36'                                                                     |
| Local Street (25 MPH and under)                       | 6'                                                                       | 12'                     | 6'                                                                                        | 24'                                                                     |

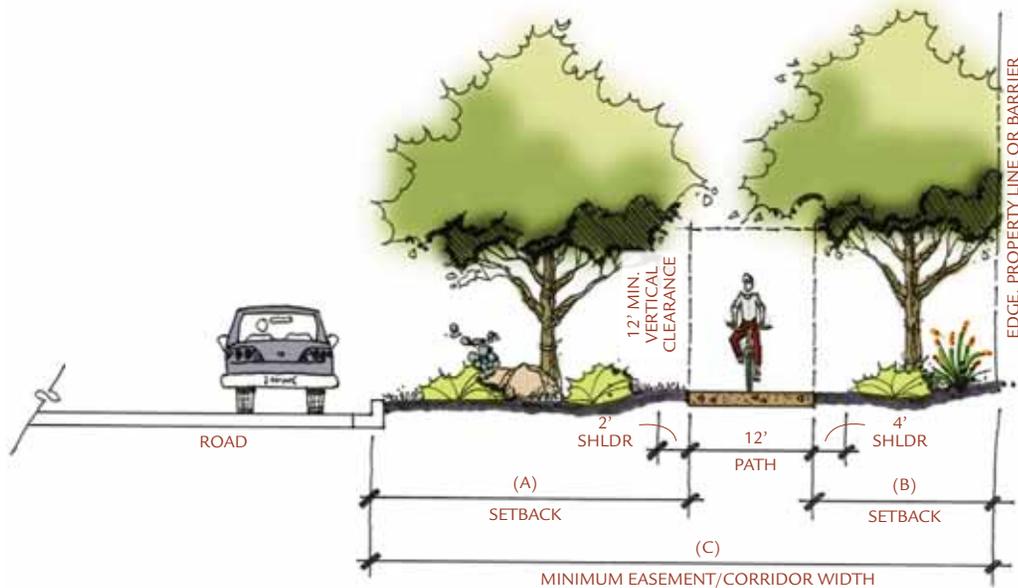
1. Includes two-foot shoulder/vegetation clearance.

2. 12' minimum to Match the City of Tucson Standard.

3. Includes four-foot shoulder.

4. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, improve sight lines, etc.

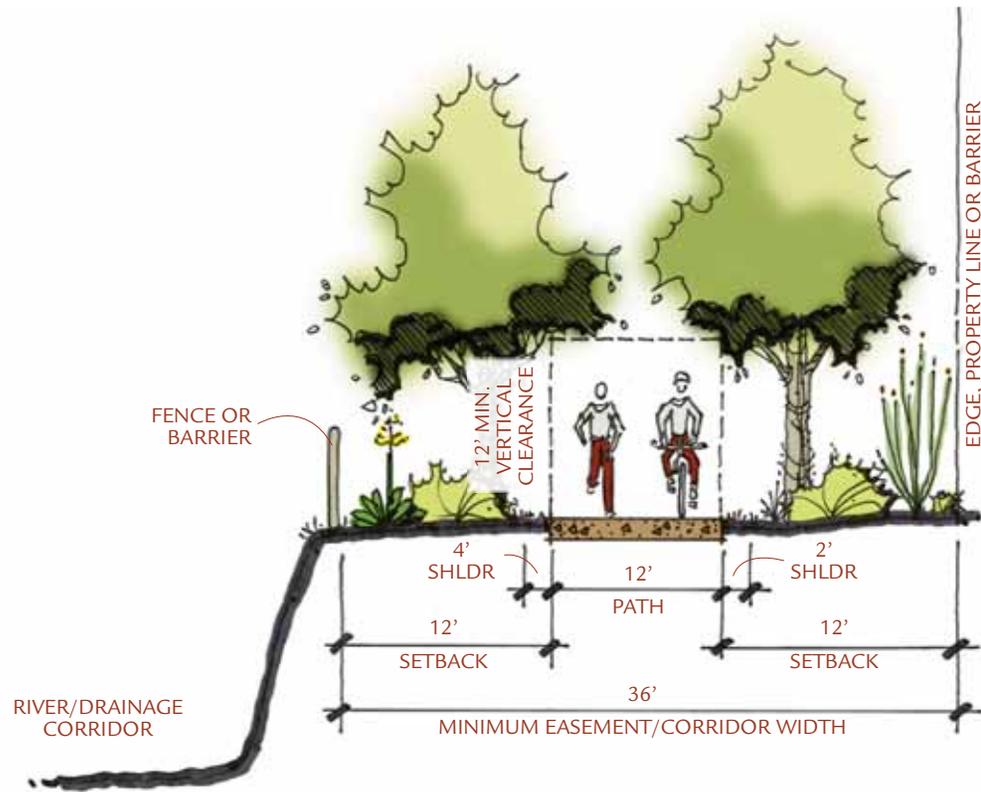
NOTE: Where paths parallel a road, consider deleting the separate sidewalk, thereby creating a larger landscape buffer between the path and road and decreasing costs.



# Marana Parks, Recreation, Trails And Open Space Master Plan

## Path Corridor Adjacent to a River or Drainageway

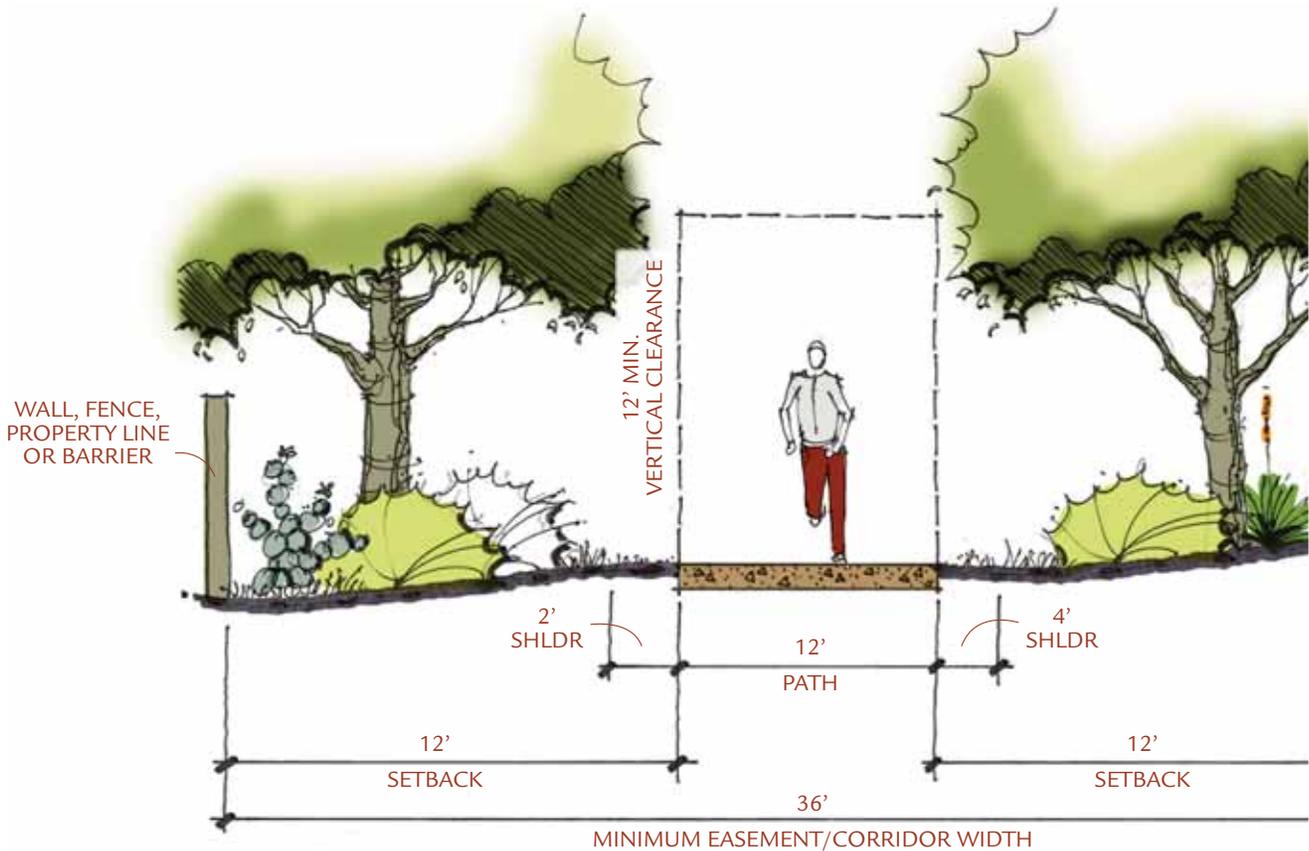
1. 12' minimum to Match the Town of Marana Standard.
2. Includes four-foot wide shoulder on the drainage way side and two-foot shoulder on the other side.
3. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, improve sight lines, etc.



Path Corridor in an Open Space/Greenway (other than a river or drainageway)

| Path Width <sup>1</sup> | Setback From Path Edge to Adjacent Barrier Edge or Property Line <sup>2</sup> (B) | Minimum Path Easement/Corridor Width <sup>3</sup> = 12' + (2 X 12') |
|-------------------------|-----------------------------------------------------------------------------------|---------------------------------------------------------------------|
| 12'                     | 12'                                                                               | 36'                                                                 |

1. 12' minimum to Match the City of Tucson Standard.
2. Includes four-foot shoulder.
3. Increase width as needed in areas of steep or difficult terrain to accommodate switchbacks, avoidance of obstacles, improve sight lines, etc.



# Marana Parks, Recreation, Trails And Open Space Master Plan

## Riverparks and Greenways

Greenways are a corridor that typically features a path and trail, preserved native vegetation and/or landscape plantings, and pedestrian amenities. Greenways typically follow washes or drainage ways but can also be adjacent to roads. If the greenway is along a wash, the path and trail can be together on one side or one on each side of the wash. Greenways are similar to Riverparks except that right-of-way width is less, features are less extensive, and at-grade crossings of streets are more common.

### DESIGN CONSIDERATIONS

- Corridor Width.** The minimum corridor width for Greenways is 50 feet. However, additional space is recommended wherever possible to help enhance the quality and impact of the greenway system, reduce the urban heat island effect, and allow for the restoration of the wildlife habit that once existed along the edges of the community's major watercourses.
- Encroachment.** New development shall not encroach into Greenway corridors.
- Dedication.** New development adjacent to Greenway corridors shall dedicate the 50-foot minimum corridor and construct the amenities consistent with this plan.
- Design Integration.** Urban design that integrates residential and commercial projects along the Greenway corridor is welcome and shall be strongly encouraged. Development should not "turn its back" on Greenway, thereby creating an unsightly and undesirable condition of loading docks, service areas, and dumpsters in view of the Greenways.
- Combined Public Corridor.** Where opportunities occur to add publicly-owned property adjacent to Greenways, such as paralleling road right-of-way or public park, these lands should be combined in to one large public corridor.
- Connectivity.** Enhance connectivity to community features, such as parks, schools, commercial centers, offices, and neighborhoods by supplementing the recommendations of this plan and provide additional linked routes and connections to the Greenway.
- Edge Porosity.** The concept of "porosity" shall be integrated into Greenway design, with many opportunities to enter and exit the corridor. This will enhance safety, convenience, and connectivity.
- Bridges.** Bridges should be as flat as possible so as not to block sight lines and enhance user safety.
- Underpasses.** Wherever possible, separate equestrian underpasses under bridges should be provided for safety reasons.
- Landscape.** Landscaping is an opportunity to highlight and enhance regional and local character, therefore, landscaping shall be native and/or near native. Water harvesting techniques should be integrated into design wherever possible. Refer to local jurisdictions for specific approved plant lists.
- Respite Areas.** Provide respite areas with seat walls, plazas, and other design features at logical locations along River Parks. Compliment amenities at entry nodes and trailhead.
- References.** See Path, Trail, and Backcountry Trail Design Considerations for additional information.

|                      |                                                                                                                                                                                                                       |
|----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Corridor Width       | 50 feet minimum                                                                                                                                                                                                       |
| Path/Trail           | Path and trail combined in one corridor                                                                                                                                                                               |
| Vertical Clearance   | 12-foot minimum                                                                                                                                                                                                       |
| Side Clearance       | Three feet high by three feet wide each side of trail. Paths to have a four-foot shoulder on one side and a two-foot shoulder on the other side. (See Path and Trail Standards.)<br>24 inches from nearest pipe rails |
| Thorny Plants        | Minimum 10-foot clearance between trail edge and newly planted thorny plants. Align trail to avoid existing thorny plants wherever possible to minimize their removal.                                                |
| Clearance to Trees   | Minimum six feet (provide minimum ten-foot clearance between trees and sewer lines)                                                                                                                                   |
| Surface Material     | (see Path and Trail standards)                                                                                                                                                                                        |
| Design Speed         | (see Path and Trail standards)                                                                                                                                                                                        |
| Running Grade        | (see Path and Trail standards)                                                                                                                                                                                        |
| Horizontal Alignment | (see Path and Trail standards)                                                                                                                                                                                        |
| Crossings            | Limit driveway crossings to a maximum of every quarter-mile.                                                                                                                                                          |
| Signs                | Wayfinding, directional, and interpretive                                                                                                                                                                             |
| Barriers             | New barriers shall be wildlife friendly, providing a minimum 18-inch gap between the bottom horizontal rail and finish grade.                                                                                         |

### Greenway Corridor With a Trail and Path Adjacent to a Road

| Minimum Setback From Edge of Road Pavement to Path <sup>1</sup> | Path Width <sup>2</sup> | Setback Between Path and Trail <sup>3</sup> | Trail Tread Width | Setback From Trail Edge to Adjacent Barrier Edge or Property Line <sup>4</sup> | Minimum Greenway Easement/Corridor Width <sup>5</sup> |
|-----------------------------------------------------------------|-------------------------|---------------------------------------------|-------------------|--------------------------------------------------------------------------------|-------------------------------------------------------|
| 10'                                                             | 12'                     | Varies                                      | 8'                | Varies                                                                         | 50'                                                   |

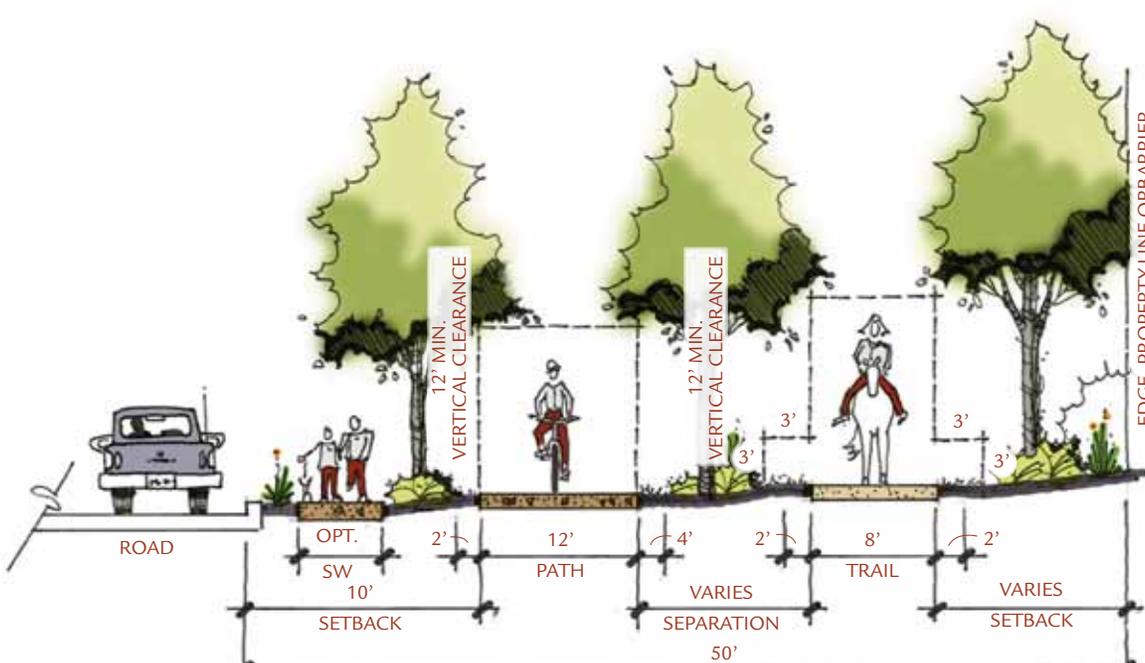
1. Includes two-foot shoulder and optional sidewalk. Consider deleting the separate sidewalk, thereby creating a larger landscape buffer between the path and road and decreasing costs.

2. 12' minimum to Match the City of Tucson Standard.

3. Includes four-foot shoulder, two-foot shoulder, and three-foot high by three-foot wide vegetation clearance for the trail side.

4. Includes two-foot shoulder and three-foot high by three-foot wide vegetation clearance.

5. Minimum corridor width for Greenways is 50' unless an exception is approved by the responsible jurisdiction representative to accommodate site constraints.

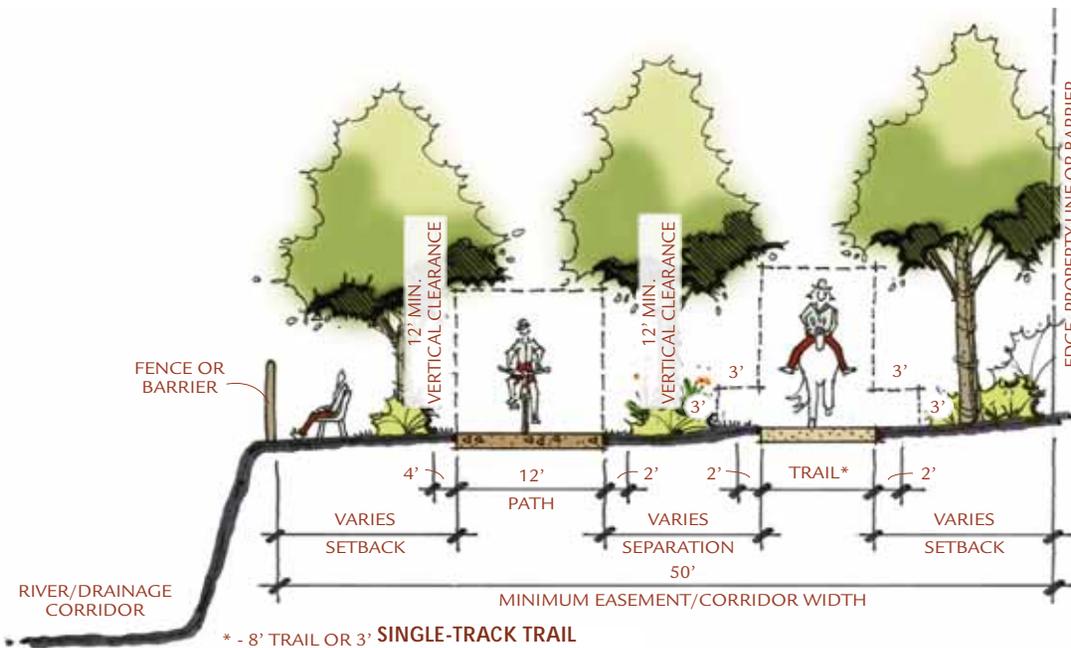


# Marana Parks, Recreation, Trails And Open Space Master Plan

## Greenway Corridor With a Trail and Path Adjacent to a Drainage way/Wash

| Setback From Adjacent Barrier at Top of Bank, or Top of Bank to Path <sup>1</sup> | Path Width <sup>2</sup> | Setback Between Path and Trail <sup>3</sup> | Trail Tread Width                | Setback From Trail Edge to Adjacent Barrier Edge or Property Line <sup>4</sup> | Minimum Greenway Easement/Corridor Width <sup>5</sup> |
|-----------------------------------------------------------------------------------|-------------------------|---------------------------------------------|----------------------------------|--------------------------------------------------------------------------------|-------------------------------------------------------|
| Varies                                                                            | 12'                     | Varies                                      | 8' Trail<br>3' Backcountry Trail | Varies                                                                         | 50'                                                   |

1. Includes four-foot wide shoulder.
2. 12' minimum to Match the City of Tucson Standard.
3. Includes two-foot shoulder for trail and path and three-foot high by three-foot wide vegetation clearance for the trail side.
4. Includes two-foot shoulder and three-foot high by three-foot wide vegetation clearance.
5. Minimum corridor width for Greenways is 50' unless an exception is approved by the responsible jurisdiction representative to accommodate site constraints.



## Greenway Corridor With a Trail and Path in an Open Space Area (other than a drainage way, wash, or along a road)

| Setback From Adjacent Barrier at Top of Bank, or Top of Bank to Path <sup>1</sup> | Trail Tread Width <sup>2</sup>    | Setback Between Path and Trail <sup>3</sup> | Path Width | Setback From Trail Edge to Adjacent Barrier Edge or Property Line <sup>4</sup> | Minimum Greenway Easement/Corridor Width <sup>5</sup> |
|-----------------------------------------------------------------------------------|-----------------------------------|---------------------------------------------|------------|--------------------------------------------------------------------------------|-------------------------------------------------------|
| Varies                                                                            | 8' Trail<br>3' Single-track Trail | Varies                                      | 12'        | Varies                                                                         | 50'                                                   |

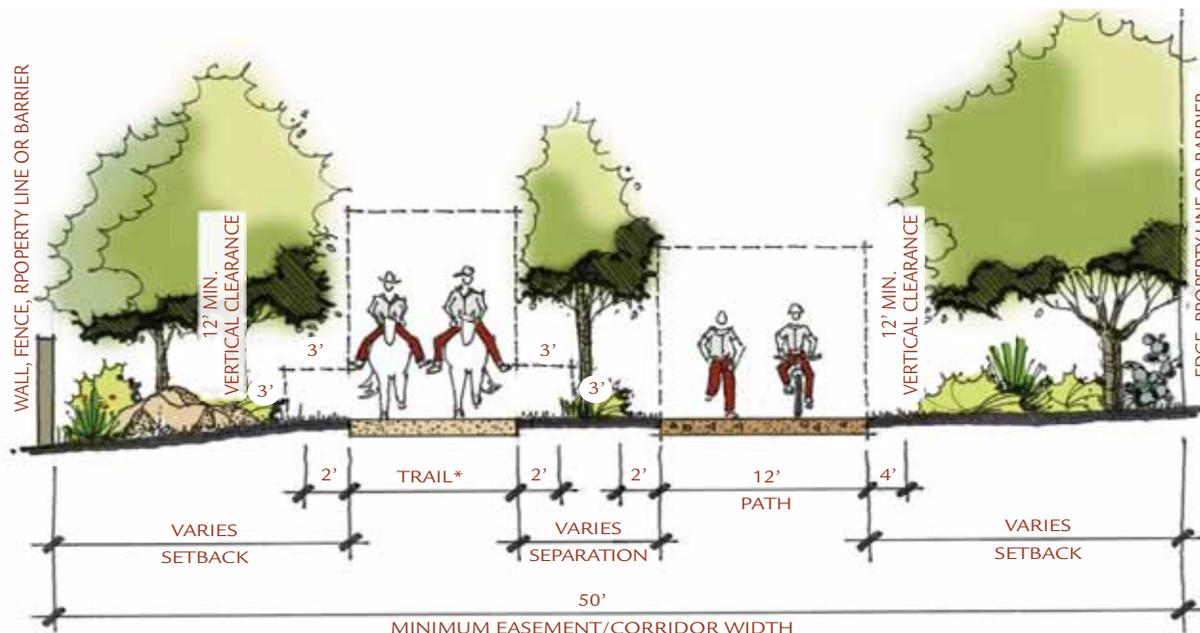
1. Includes two-foot shoulder and three-foot by three-foot wide vegetation clearance.

2. Includes two-foot shoulder for trail and path and three-foot high by three-foot wide vegetation clearance for the trail side.

3. Current minimum path width standards vary by jurisdiction in Pima County. I.e., Pima County and the City of Tucson standard is 12', the Town of Oro Valley standard is 10'. Maintain minimum path standard per jurisdiction.

4. Includes four-foot shoulder.

5. Minimum corridor width for Greenways is 50' unless an exception is approved by the responsible jurisdiction representative to accommodate site constraints.



\* - 8' TRAIL OR 3' SINGLE-TRACK TRAIL

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Trailheads, Entry Nodes, And Boundary Access Points

There are several types of improved access points which ensure public access to the path and trail network while enhancing safety and user experiences. Most importantly, the overall success of a trail/path system largely depends on the ease with which people can access the facilities, either by walking, riding or biking from home or by driving to convenient, safe, and well-equipped trailheads. This ease of accessing a trail system is also often referred to as porosity or edge porosity. The types of access points are Trailheads, Entry Nodes, and Boundary Access Points.

**EDGE POROSITY**  
(multiple access points)

Wash Corridor

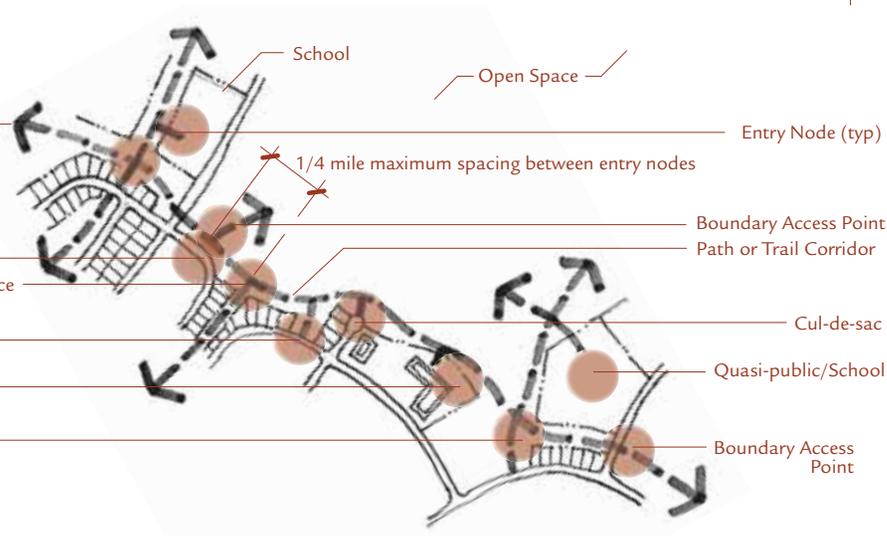
Street Frontage

Linear Park/Greeway/Open Space

Private Park/Open Space

Commercial/Restaurant Patio

Public Park/Facility/Trailhead



### DESIGN CONSIDERATIONS

#### Standard Trailheads

Features common to all standard trailheads include:

- Paved parking
- Picnic ramadas
- Trail maps, information, and regulations
- Restrooms
- Shade

#### Trailheads with Equestrian Facilities

All features identified for Standard Trailhead plus:

- One-quarter inch minus decomposed granite surface for equestrian parking and off-loading areas
- Separation of equestrians from other users in parking and trail access
- Perimeter fencing and self-closing gates at pedestrian and trail entrances near streets
- Pull-through, circular roadway, and parking areas for vehicles pulling horse trailers

#### Entry Nodes

- Entry nodes should be located at approximately one-quarter-mile intervals along corridors, a distance typically cited as a reasonable walking distance to a destination.
- Entry nodes do not include parking facilities.
- Entry nodes include amenities to improve comfort and provide helpful information to users such as benches, signs, water, shade, bike racks, and optional lighting.
- Site specific designs can also create or enhance neighborhood identity, incorporate public art, and/or provide cultural or environmental interpretation opportunities.

### Small Standard Trailhead

Trailheads are located along all types and levels of trail and path corridors. They provide parking spaces, as well as non-vehicular access to local and regional destinations and open space areas. There are two proposed Standard Trailheads - large and small. They can be located within neighborhood, community, or trails parks or can be built as separate facilities. See the Trail Standards section for more information. A Standard Trailhead provides trail and path users with convenient parking, informational signs, and other amenities associated with a jumping off point for the path and trail system.

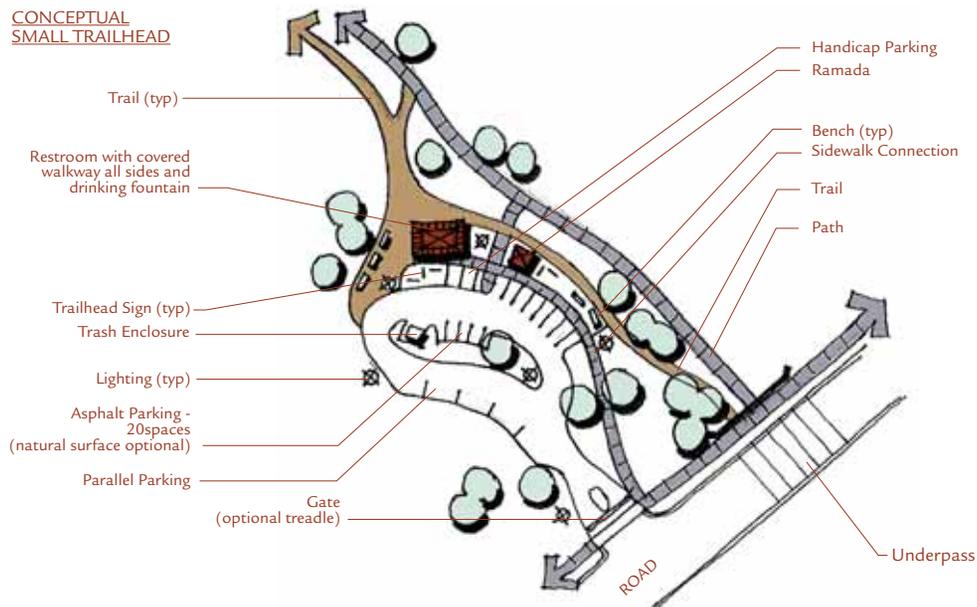
| General Size  | Parking Spaces <sup>1</sup> | Rest-rooms | Area and Amenity Lighting | General Amenities                                                                             | Signs                                                       |
|---------------|-----------------------------|------------|---------------------------|-----------------------------------------------------------------------------------------------|-------------------------------------------------------------|
| Small (TH[S]) | 6-30 std.                   | Yes        | Yes                       | Benches, drinking water, landscape/ shade structure/picnic ramada, trash disposal, bike racks | Rules/notices, general and interpretive signs, location map |
| Large (TH[L]) | 31-60 std.                  | Yes        | Yes                       | Benches, drinking water, landscape/ shade structure/picnic ramada, trash disposal, bike racks | Rules/notices, general and interpretive signs, location map |

1. Parking spaces are in addition to number of required parking spaces for combined park site.

Note: The facilities and improvements noted above are recommended and will typically be required for the trailhead types listed. Final determination of the scope of trailhead development will be determined by the applicable jurisdiction or agency parks and recreation department. Modifications to these standards may be proposed in response to:

- Existing conditions associated with the approved site
- Anticipated demand for various types of public use
- The economic cost of utility service extensions
- Consistency with adopted resource management plans, park master plans, and/or other adopted planning documents

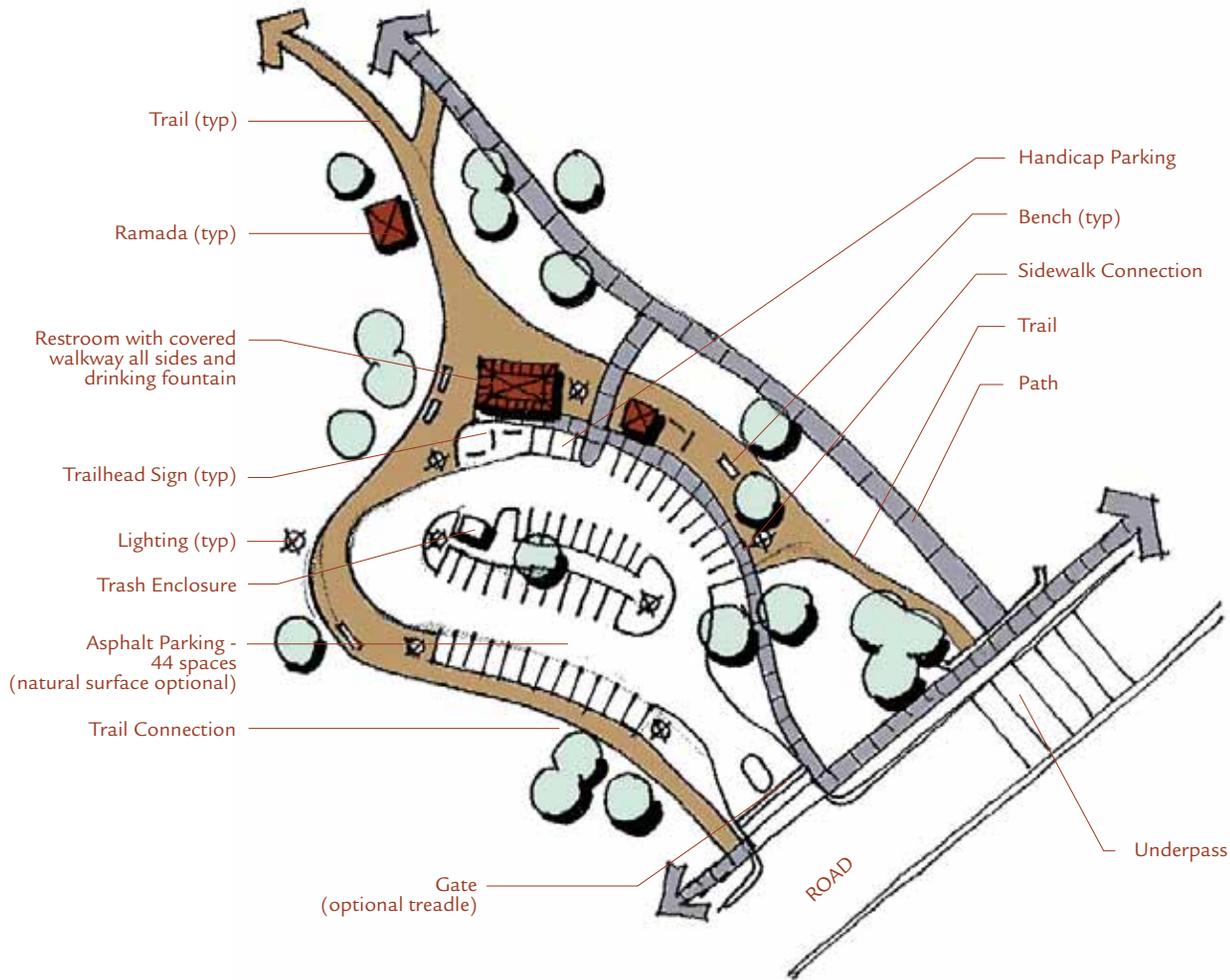
CONCEPTUAL SMALL TRAILHEAD



# Marana Parks, Recreation, Trails And Open Space Master Plan

## LargeStandard Trailhead (For Future Reference - Not Currently Shown In This Plan)

### CONCEPTUAL LARGE TRAILHEAD



## Trailhead With Equestrian Facilities

There are two proposed sizes of Trailheads with Equestrian Facilities: large and small. These facilities provide features for equestrian uses as well as other trailhead parking and amenities. These facilities can be located along all classifications of unpaved trail corridors.

| General Size   | Parking Spaces <sup>1</sup>               | Rest-rooms | Area and Amenity Lighting | General Amenities                                                                             | Signs                                                       | Equestrian Amenities: EQ water source, tethering rails                                  |
|----------------|-------------------------------------------|------------|---------------------------|-----------------------------------------------------------------------------------------------|-------------------------------------------------------------|-----------------------------------------------------------------------------------------|
| Small (THE[S]) | 6-30 std. +5-8 equestrian <sup>2</sup>    | Yes        | Yes                       | Benches, drinking water, landscape/ shade structure/picnic ramada, trash disposal, bike racks | Rules/notices, general and interpretive signs, location map | Yes, plus ADA mounting ramp or platform, manure disposal area, 1 round pen, 1 wash rack |
| Large (THE[L]) | 31-60 std. +10-15 equestrian <sup>2</sup> | Yes        | Yes                       | Benches, drinking water, landscape/ shade structure/picnic ramada, trash disposal, bike racks | Rules/notices, general and interpretive signs, location map | Yes, plus ADA mounting ramp or platform, manure disposal area, 1 round pen, 1 wash rack |

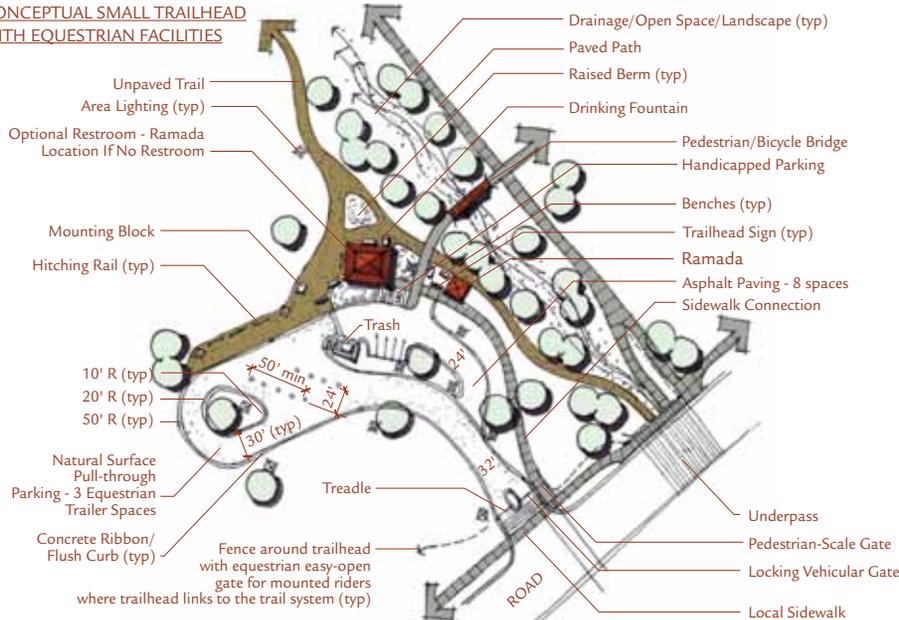
1. Standard parking spaces are in addition to number of required parking spaces for combined park site.

2. Equestrian parking requirements: 25-foot min. width by 60- to 70-foot length.

Note: The facilities and improvements noted above are recommended and will typically be required for the trailhead types listed. Final determination of the scope of trailhead development will be determined by the applicable jurisdiction or agency parks and recreation department. Modifications to these standards may be proposed in response to:

- Existing conditions associated with the approved site
- Anticipated demand for various types of public use
- The economic cost of utility service extensions
- Consistency with adopted resource management plans, park master plans, and/or other adopted planning documents

CONCEPTUAL SMALL TRAILHEAD WITH EQUESTRIAN FACILITIES

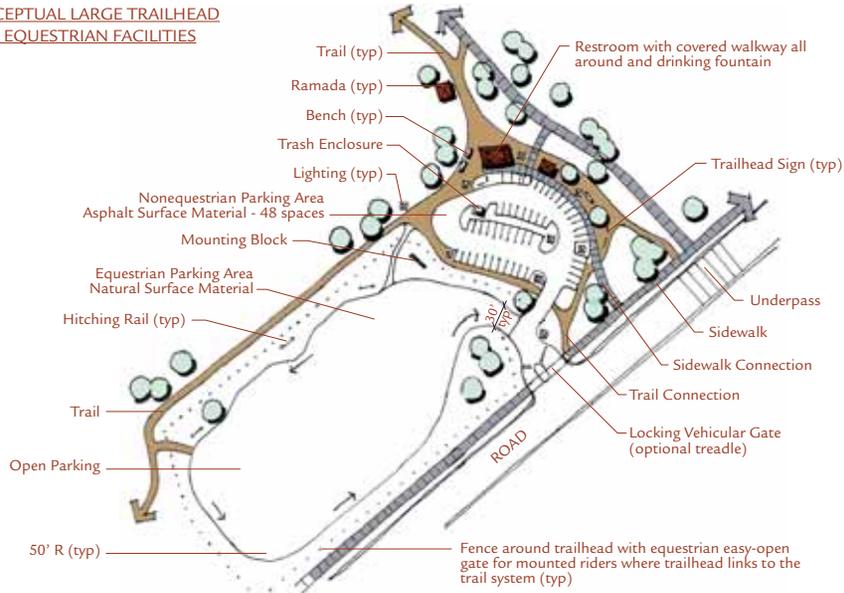


Small Trailhead With Equestrian Facilities

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Large Trailhead With Equestrian Facilities

CONCEPTUAL LARGE TRAILHEAD  
WITH EQUESTRIAN FACILITIES



# Entry Nodes

Entry Nodes are developed access areas along all types of path and trail corridors that serve to encourage and welcome neighborhood and local pedestrian, equestrian, and bicycle access to the path/trail system. They provide minimal amenities, most importantly trail system signs. They should be located at approximately one-quarter-mile intervals along corridors, a distance typically cited as a reasonable walking distance to a destination. Entry nodes typically do not include parking facilities, but could have up to five standard size spaces depending on needs and circumstances. Because there would be numerous nodes using this spacing recommendation, they are not mapped.

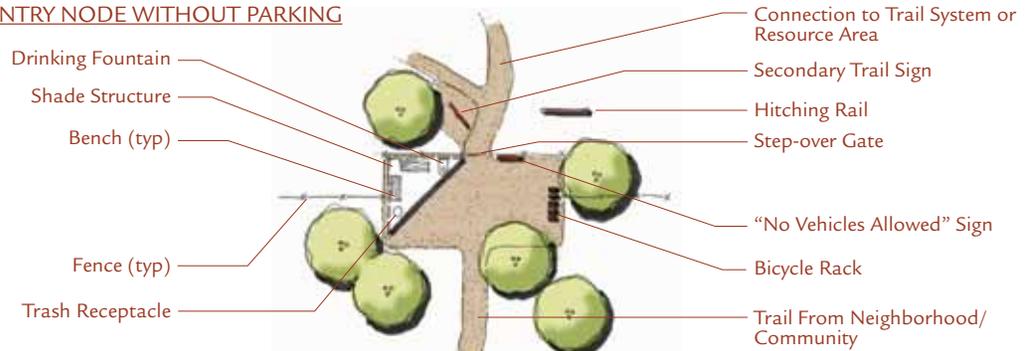
| Spacing                       | Acreage    | Parking Spaces | Rest-rooms | Area and Amenity Lighting | General Amenities                                                              | Signs                                                       | Equestrian Amenities                                                    |
|-------------------------------|------------|----------------|------------|---------------------------|--------------------------------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------------------------------------|
| ¼ mile intervals <sup>1</sup> | ±.02 acres | 0-5            | None       | Optional                  | Benches, drinking water, landscape/shade structure, trash disposal, bike racks | Rules/notices, general and interpretive signs, location map | Equestrian water source and tethering rails when along an unpaved trail |

1. River Park entry nodes as often as possible.

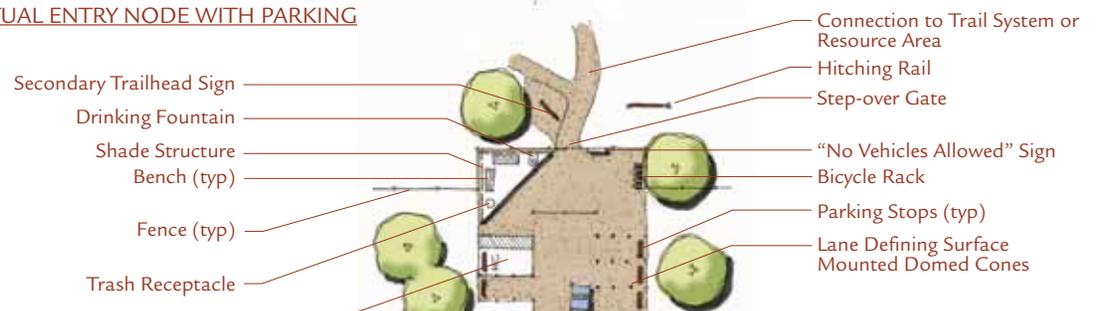
Note: The facilities and improvements noted above are recommended and will typically be required for the entry nodes. Final determination of the scope of trailhead development will be determined by the Town. Modifications to these standards may be proposed in response to:

- Existing conditions associated with the approved site
- Anticipated demand for various types of public use
- The economic cost of utility service extensions
- Consistency with adopted resource management plans, park master plans, and/or other adopted planning documents

CONCEPTUAL ENTRY NODE WITHOUT PARKING



CONCEPTUAL ENTRY NODE WITH PARKING

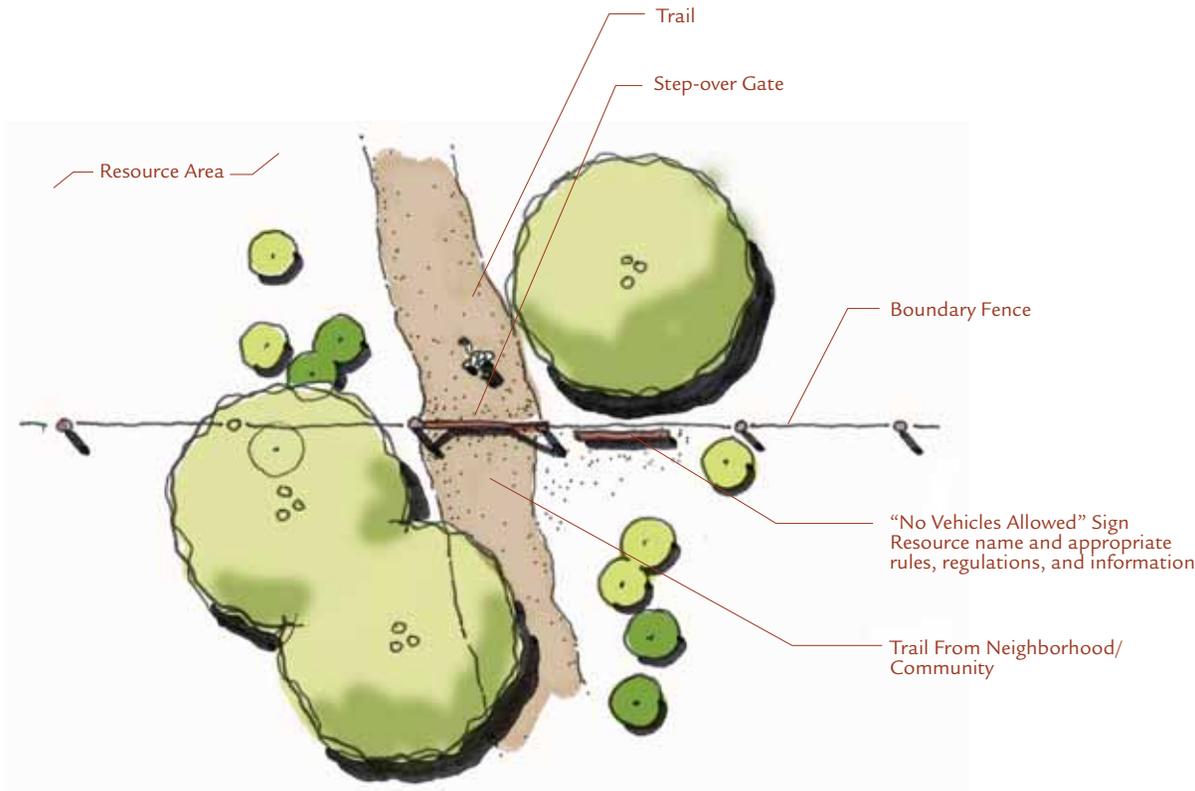


# Marana Parks, Recreation, Trails And Open Space Master Plan

## Boundary Access Points

Boundary Access Points are the smallest, most basic entry point to the natural resource areas surrounding Marana. They are generally a four-foot wide gap in the boundary fence with a small trail sign. Parking is not provided. The small fence gap prohibits access by motorized vehicles.

| Location                                      | Size                                                                                | Parking Spaces | Rest-rooms | Area and Amenity Lighting | General Amenities | Signs                                                                            | Equestrian Amenities |
|-----------------------------------------------|-------------------------------------------------------------------------------------|----------------|------------|---------------------------|-------------------|----------------------------------------------------------------------------------|----------------------|
| Where path or trail enters large public lands | Four-foot fence opening with step over or other feature to discourage motorized use | None           | None       | None                      | None              | Rules/notices, general and information (may include trail name and location map) | None                 |



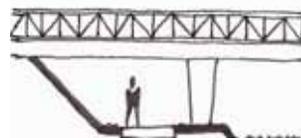
# Crossings

## Grade-Separated

Grade-separated crossings typically occur when a road bridges over a path or trail following a river or other linear corridor. Where possible, paths and trails should be routed to this type of crossing, where a bridge or culvert already exists, or where one is feasible in the future, especially where a trail crosses a major arterial. There are four types of grade-separated crossings that are discussed below: Bridge Underpasses, Pedestrian Underpasses, Shared Bicycle/Pedestrian Bridge and Pedestrian/Bridge Overpass.

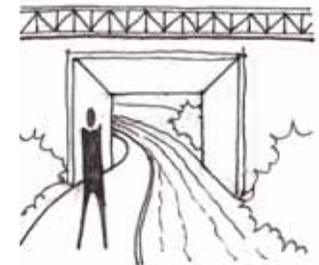
| BRIDGE UNDERPASS                                                                                                                            |                                                                            |
|---------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------|
| When a trail and/or path passes under a bridge for a road or railroad track (such as along a river or creek), the following standards apply |                                                                            |
| Vertical Clearance                                                                                                                          | 12-foot minimum                                                            |
| Width                                                                                                                                       | 15-foot minimum plus path or trail clearance standard                      |
| Grade                                                                                                                                       | Maximum 5%.                                                                |
| Lighting                                                                                                                                    | Continuous, all day under bridge                                           |
| Signs                                                                                                                                       | Multi-use trail/path signs at both ends including Trail Etiquette          |
| Public Art                                                                                                                                  | Incorporate public art into design                                         |
| Location of Path/Trail Within Bridge Section                                                                                                | Above the low-flow channel to minimize maintenance and maximize usability. |

A BRIDGE UNDERPASS with a defined path/trail corridor along one side of a wash/drainage corridor. Provide a separate path and trail wherever possible.



| PEDESTRIAN UNDERPASS                                                                                                                                                                                                                                                           |                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|
| Where a trail/path passes under a road or railroad in a separate structure like a culvert or a tunnel, the following standards apply. This is a structure exclusive to path/trail and drainage use (except emergency and maintenance vehicles) and does not include a roadway. |                                                                                                                    |
| Vertical Clearance                                                                                                                                                                                                                                                             | 12-foot minimum                                                                                                    |
| Width                                                                                                                                                                                                                                                                          | 15-foot minimum plus path or trail clearance standard                                                              |
| Grade                                                                                                                                                                                                                                                                          | Maximum 5%.                                                                                                        |
| Alignment                                                                                                                                                                                                                                                                      | As close as possible to perpendicular to the roadway to minimize length                                            |
| Visibility                                                                                                                                                                                                                                                                     | Continuous sight line distance from beginning to end                                                               |
| Lighting                                                                                                                                                                                                                                                                       | Continuous, all day under bridge. Provide skylight/light tunnel at midpoint where medians above create opportunity |
| Signs                                                                                                                                                                                                                                                                          | Multi-use trail/path signs at both ends including Trail Etiquette                                                  |
| Public Art                                                                                                                                                                                                                                                                     | Incorporate public art into design                                                                                 |
| Location of Path/Trail Within Bridge Section                                                                                                                                                                                                                                   | Above the low-flow channel to minimize maintenance and maximize usability                                          |

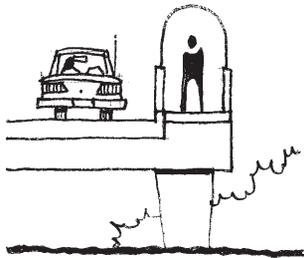
The safest and most usable PEDESTRIAN UNDERPASSES are lighted with clear sight lines. Users often share the space with drainage



# Marana Parks, Recreation, Trails And Open Space Master Plan

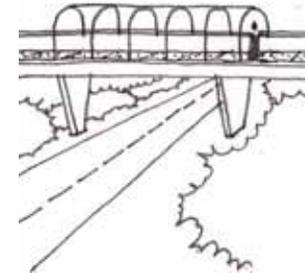
## Grade Separated Crossings (continued)

| SHARED BRIDGE                                                                                                                                                                        |                                                                              |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|
| Where a trail or path shares a bridge with vehicles, the bridge width should be increased on one side of the bridge to accommodate the trail or path. The following standards apply: |                                                                              |
| Vertical Clearance                                                                                                                                                                   | 12-foot minimum*                                                             |
| Width                                                                                                                                                                                | 15 feet*                                                                     |
| Grade                                                                                                                                                                                | Maximum 5%.                                                                  |
| Visibility                                                                                                                                                                           | See-through, continuous sides and tops around trail/path for maximum safety  |
| Lighting                                                                                                                                                                             | Yes                                                                          |
| Signs                                                                                                                                                                                | Multi-use trail/path signs at both ends including Trail Etiquette            |
| Public Art                                                                                                                                                                           | Incorporate public art into design                                           |
| Location of Path/Trail Within Bridge Section                                                                                                                                         | Vertical separation between trail/path and traffic, such as a jersey barrier |



A SHARED BRIDGE accommodates vehicles as well as non-vehicular users within a protective enclosure separated from vehicular traffic

| PEDESTRIAN BRIDGE/OVERPASS                                                                                                                                      |                                                                                            |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------|
| In cases where a special bridge that accommodates pedestrians, bicyclists or equestrians crosses over a road, creek or drainage, the following standards apply. |                                                                                            |
| Vertical Clearance                                                                                                                                              | 12-foot minimum for pedestrians/bicyclists on bridge*                                      |
| Width                                                                                                                                                           | 15 feet*                                                                                   |
| Visibility                                                                                                                                                      | See-through, continuous sides and tops around trail/path for maximum safety                |
| Lighting                                                                                                                                                        | Yes                                                                                        |
| Public Art                                                                                                                                                      | Incorporate public art into design                                                         |
| Safety                                                                                                                                                          | Incorporate devices as needed to prevent items being thrown from bridge into traffic below |
| Signs                                                                                                                                                           | Multi-use trail/path signs at both ends including Trail Etiquette                          |



A PEDESTRIAN OVERPASS/BRIDGE passes above a road, railroad, canal or drainage corridor within a protective enclosure

\*For additional information on developing bridge crossings that are equestrian friendly, refer to: Equestrian Design Guidebook for Trails, Trailheads, and Campgrounds. Hancock, Jan et al. United States Department of Agriculture, Forest Service, Technology & Development Program In Cooperation with United States Department of Transportation Federal Highway Administration. December 2007.

The following at-grade path and trail crossing treatments are guidelines only and identify desirable elements that can be incorporated into crossings to make them more accommodating to path and trail users. These guidelines must be considered in combination with all other roadway and intersection design parameters and constraints.

## At-Grade Crossings

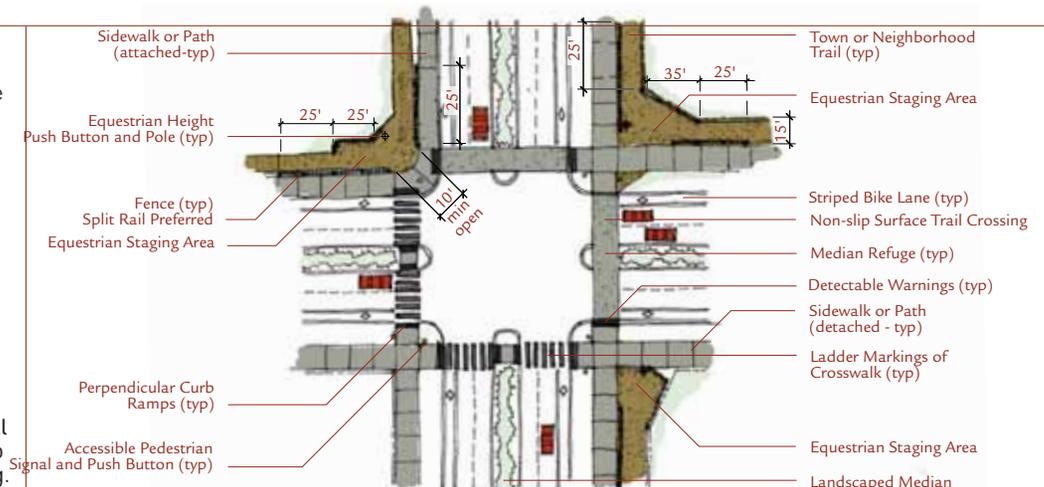
### ENHANCED SIGNALIZED CROSSING

Where trails and paths encounter signalized intersections, the following guidelines apply. The design may include corner improvements on two, three or four corners and one, two, three or four cross-walk improvements, depending on the trails and paths coming together at the corner.

- |          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Features | <ul style="list-style-type: none"> <li>• Provide ladder markings of crosswalks and curb ramps at right angles to moving traffic</li> <li>• Where feasible, curb extensions with landscaping and detectable warning</li> <li>• Provide accessible pedestrian signals</li> <li>• Provide adequate sight line distances that consider adequate time, visibility, warning signs, and lighting</li> <li>• Do not impede sight lines at roadway crossings with signs, bus stops, benches, parked vehicles, light posts, vegetation, or other objects that could reduce user visibility</li> <li>• Where feasible, provide a roadway refuge or median area that permits a "safe zone" when traffic is moving on a multi-lane or divided roadway</li> <li>• Where feasible, provide traffic calming designs, such as flashing lights alerting drivers to a path/trail crossing area ahead in the roadway, decreased speed limits, roundabouts, narrowed travel lanes, speed tables or plateaus, and stop bars</li> <li>• Provide for pedestrian/equestrian scale lighting</li> <li>• Whenever possible, provide curb cuts for people with disabilities, which are also equestrian-friendly, Design them to be the same width as the trail/path tread or greater.</li> </ul> |
|----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### Where Equestrians Are Present

- Provide a "gathering space" or a holding zone/area that will permit a group of equestrians to stand and wait for the appropriate and safe time to complete a roadway crossing. The trail surface width should fan out to incorporate a minimum 25-foot wide area parallel to the edge of the roadway that is also a minimum of 15 feet in depth from the edge of the roadway
- Equestrian push button-activated crosswalk signal mounted within the gathering space at a height of 6' at any corner crossed by the trail
- The tread for an at-grade, hard-surface roadway crossing should have enough texture to prevent an equine's hooves from slipping on the surface. Heavy traffic requires a very durable tread surface such as washed concrete with 3/8 - 1/2-inch exposed broken aggregate. Very light traffic roadways can generally utilize grooved or very coarse broom-finished concrete surfaces, bricks, pavers, or chip seal asphalt. Concrete grooves should be incised perpendicular to the direction of travel for trail users on the roadway crossing. Depth of the grooves should be 1/4 to 1/2 inch deep, at 1 to 2-inch intervals. NOTE: Typical asphalt and concrete road or sidewalk surfaces DO NOT provide enough texture or traction and can be very slippery to an equine.
- Fencing or barriers to separate trail from path, adjoining property, etc.



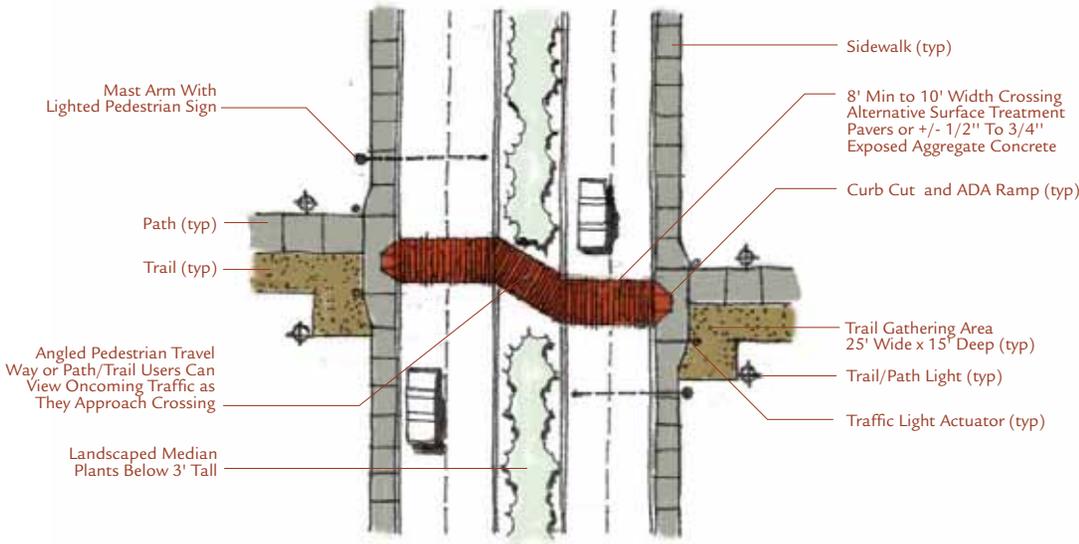
# Marana Parks, Recreation, Trails And Open Space Master Plan

## At-Grade Crossings

### MID-BLOCK CROSSING

At the few locations where a trail or path follows a utility corridor and intersects a street where no other street or potentially signalized intersection exists, the crossing can be enhanced to better warn roadway and path/trail users of this crossing. Many of the same features of the enhanced at-grade crossing apply to mid-block crossings as well. These features would include one or more of the elements shown below.

| Features | <ul style="list-style-type: none"> <li>• Ladder or continental style marked crosswalks</li> <li>• Adequate sight line distance considering time, visibility, amenities, warning, signs, and lighting</li> <li>• Gather spaces at each crossing side</li> <li>• Push button activated crosswalk signals at 6-foot height for equestrians and at pedestrian heights at sides of road and within the median</li> <li>• Detectable warning at street/path/trail edge</li> <li>• Crossing island or median (raised or flush) safe zone with curb ramps (if raised) and staggered or "Danish Offset" the same width or greater than path/trail</li> <li>• Where feasible, provide traffic calming designs such as decreased speed limits, narrowed travel lanes, speed tables or plateaus, and stop bars</li> <li>• Pedestrian warning signs (refer to MUTCD) for sign placement criteria. Consider yield signs, flashing yield signs, or traffic signals</li> <li>• Advance yield lines</li> <li>• Appropriate pedestrian- scale lighting</li> <li>• Refer to the AASHTO Guide for the Planning, Design and Operations of Pedestrian Facilities, July 2004., Section 3.4 "Midblock Crossings" and the AASHTO Guide for the Development of Bicycle Facilities, 1999, pages 46-53 for additional information.</li> </ul> |
|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|----------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



The feasibility of providing any mid-block crossing decreases as a roadway is widened, and speeds and traffic increase. As this situation develops over time, it is possible that trails along mid-block corridors would be routed to nearby signalized or grade-separated crossings and mid-block crossings will be discouraged through signs, fencing, and/or barriers.

## At-Grade Crossings

Nationwide, transportation planners and officials are exploring mid-block crossing options. Tucson has three types that are gaining popularity ([www.tucsonaz.gov](http://www.tucsonaz.gov)).

### PELICAN Traffic Signal

The PEdestrian Light Control Activation (PELICAN) system provides a safe, two-stage crossing for pedestrians. The crossing incorporates the median island refuge between the two stages. These crossings can be easily identified by artwork displayed on the median. The PELICAN is placed mid-block on major streets, and minimizes the potential for stops, delays, and accidents. A pedestrian uses the crossing by pressing a button to activate the first signal. When the light turns red, a "WALK" signal prompts them to proceed to the median. The pedestrian then walks a short distance along the median to activate the second signal. A second "WALK" indication appears when the traffic signal turns red. The PELICAN uses a standard Red-Yellow-Green signal for motorists and remains green unless activated by a pedestrian. Bicyclists should yield to pedestrians, dismounting if necessary.

### TOUCAN Traffic Signal

The Two GroUps CAN cross (TOUCAN) system was designed to provide a safe crossing for two groups - pedestrians and bicyclists. TOUCAN systems are placed at locations of heavy bicycle and pedestrian crossing activity and along roadways that are prioritized for non-motorized uses, sometimes known as "Bike Boulevards." An added benefit to the TOUCAN signal system is that motorized traffic is not allowed to proceed through these signals, decreasing the number of cars on neighborhood streets, and enhancing the neighborhood's quality of life. A TOUCAN can be activated only by bicyclists or by pedestrians. Both use a push button to activate the signal. Bicyclists respond to an innovative bicycle signal and use a special lane when crossing. Pedestrians get a standard WALK indication and have a separate, adjacent crosswalk. The system uses a standard signal for motorists.

### HAWK Pedestrian Flasher

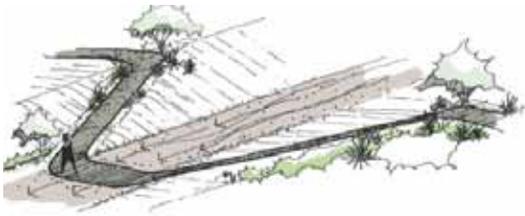
The High Intensity Activated Cross Walk (HAWK) is one of the newest crossing systems in use. It is based on a European design and resembles the American school bus "children present" warning. The HAWK consists of a Red-Yellow-Red signal format for motorists. The signals remain off until a pedestrian activates the system by pressing a button. First, a FLASHING YELLOW light warns motorists that a pedestrian is present. The signal then changes to SOLID YELLOW, alerting drivers to prepare to stop. The signal then turns SOLID RED and shows the pedestrian a "WALK" symbol. The signal then begins ALTERNATING FLASHING RED and the pedestrian is shown a flashing "DON'T WALK" with a countdown timer. Drivers are allowed to proceed during the flashing red after coming to a full stop and making sure there is no danger to pedestrians. In school zones, drivers must wait until the children and crossing guard are completely out of the crossing before proceeding. Bicyclists are advised to yield to pedestrians and dismount if necessary.



# Marana Parks, Recreation, Trails And Open Space Master Plan

## At-Grade Crossings

| WASH LOW FLOW OR DIP CROSSING                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                               |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| These crossings can be used at drainage areas where a bridge structure is financially unfeasible or where flows are small or infrequent. They can be installed as an initial phase and eventually replaced by a separate pedestrian/bridge overpass or a shared bridge, thereby ensuring year round use. |                                                                                                                                                                                                                                                                                                                                                                                                                               |
| Vertical Clearance                                                                                                                                                                                                                                                                                       | 12-foot minimum                                                                                                                                                                                                                                                                                                                                                                                                               |
| Width                                                                                                                                                                                                                                                                                                    | Same as the trail or path                                                                                                                                                                                                                                                                                                                                                                                                     |
| Surface                                                                                                                                                                                                                                                                                                  | Unpaved trail crossing: washed concrete with 3/8"-1/2" exposed broken aggregate or incise grooves in concrete perpendicular to direction of trail traveler, 1/4-1/2" deep at 1-2" intervals; Thickened concrete edges<br><br>Path crossings: heavy broom finish in concrete perpendicular to direction of path traveler; thickened concrete edges<br><br>Line the ramps upper and lower edges with 5-inch to 6-inch high rock |
| Lighting                                                                                                                                                                                                                                                                                                 | Optional (at jurisdictions discretion for safety)                                                                                                                                                                                                                                                                                                                                                                             |
| Signs                                                                                                                                                                                                                                                                                                    | Multi-use trail/path signs at both ends including Trail Etiquette                                                                                                                                                                                                                                                                                                                                                             |



A WASH LOW-FLOW or DIP CROSSING provides a stable and firm footing for all users

# Signs

## DESIGN CONSIDERATIONS

- Use distinct or identifying shape
- Use of jurisdictional logo and/or new logo for Pima Regional Trail System
- Use universal/international pictorials recreational symbols.
- Design for flexibility and modularity
- Design for shade and/or protection from the elements at appropriate locations
- Incorporate color coding for various types of information
- Use durable, low maintenance materials
- Design for simple and straight forward sign ordering and installation procedures (professional, staff, volunteers)
- Incorporate simple fabrication procedures
- Incorporate readily available materials to lessen costs
- Use non-fade colors
- Strive for vandal resistance in materials and fabrication techniques.
- Conduct a detailed sign inventory by path or trail corridor and recommend specific locations for all sign types.
- Universal pictorials

A sign template that incorporates the name of the trail or facility, the name of the jurisdiction in which the particular trail is located and, when the trail is part of the regional trail system, a symbol showing the regional trail system segment should be posted. The sign could also include room for logos and/or names associated with sub-trail systems.

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Signs

| Sign Type                           | Sign Reference | Sign Description/Information                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | Recommended Locations                                                                                                 |
|-------------------------------------|----------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------|
| Large entry monument                | A-1            | Facility name, address, jurisdictional logo, Pima Regional Trail System logo                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | At drive-in location to largest trailheads with large amount of parking and access to main trails and paths           |
| Medium entry monument               | A-2            | Facility name, address, jurisdictional logo, Pima Regional Trail System logo                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | At drive-in location to smaller trailheads with at least 10 parking spaces and access to major path or trail corridor |
| Primary Trailhead                   | TH-1           | <p>Front Side: Jurisdictional logo and/or Pima Regional Trail System logo, trail/path name, regulation description and universal symbols if any, approved trail use, Universal Trail Access Info (surface, length, typical slopes, etc.) trail etiquette triangle if more than one use, directional arrows, map of Pima Regional Trail System logo path/trail system network with "you are here."</p> <p>Backside: Jurisdictional logo and/or Pima Regional Trail System logo, trail/path name, bulletin board with space for brochures, fliers, pamphlets, small maps, temporary warnings, etc. Room for additional information, directional arrow panels.</p> | At trail/path access point from a trailhead or from other public areas like parks.                                    |
| Secondary Trailhead                 | TH-2           | <p>Front Side: Jurisdictional logo and/or Pima Regional Trail System logo, trail/path name, regulation description and universal symbols if any, Universal Trail Access Info (surface, length, typical slopes, etc.) approved trail use, Universal Trail Access Info (surface, length, typical slopes, etc.) trail etiquette triangle if more than one use, directional arrows.</p> <p>Back Side: Map of Pima Regional Trail System network with "you are here."</p>                                                                                                                                                                                            | At trail/path access point within an Entry Node.                                                                      |
| Special Regulatory/Boundary Warning | R-1            | Jurisdictional logo, distinct shape, special issue regulation, i.e. "No fires", "No motorized vehicles", "No vehicles beyond this point", "Private property beyond this point", "Please respect the private property of our neighbors", etc.                                                                                                                                                                                                                                                                                                                                                                                                                    | As needed where problems already exist or preventive where problem is possible or likely                              |

## Signs

| Sign Type                             | Sign Reference | Sign Description/Information                                                                                                                                                                                      | Recommended Locations                                                                       |
|---------------------------------------|----------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
| Interpretive Orientation              | I-1            | Jurisdictional logo and/or Pima Regional Trail System logo, orienting information for entire area or beginning of an interpretive trail in written and/or graphic format                                          | At beginning of interpretive trail corridor                                                 |
| Interpretive                          | I-2            | Jurisdictional logo and/or Pima Regional Trail System logo, interpretive information in written and/or graphic format                                                                                             | At identified features                                                                      |
| Single Path/Trail Directional         | T-1            | Jurisdictional logo and/or Pima Regional Trail System logo, trail name with directional arrow, universal graphic symbols, distance to main features along trail, trailheads, and intersections with other trails. | Approximately ¼ mile from trailhead and approximately every ¼ mile along corridor           |
| Multi-Path/Trail/ Feature Directional | T-2            | Multiple trail name panels with directional arrows on perpendicular or parallel panels, universal graphic symbols, distance to main features, trailheads, and intersections with other trails.                    | At intersection of paths/trails or routes to features                                       |
| Trail Etiquette                       | T-3            | Trail user yield triangle if more than one use allowed<br><br>                                                                 | At intersections of paths/trails and at Trailheads, Entry Nodes and Boundary Access points. |

# Marana Parks, Recreation, Trails And Open Space Master Plan

## Pedestrian Activity Areas

Since trails and paths mostly follow significant physical features in the landscape, they provide only a portion of the region's non-vehicular mobility routes. In more urbanized areas, the ability to move about without a vehicle will depend upon an interconnected system of sidewalks or pedestrian routes. Current development standards typically result in sidewalk construction, but more can be done, particularly in areas with either a current or potential high quantity of pedestrians; unusually high concentrations of employment, commercial activity, or public services. Areas of highest population density and with the greatest mix of uses would therefore deserve a higher level of pedestrian improvements and accommodations.

This plan incorporates the Pedestrian Activity Area concept included in the Pima Regional Trail System Master Plan. In Marana, Pedestrian Activity Areas are located at the Marana Main Street Activity Area and the I-10 and Cortaro Farms Road Intersection.

### DESIGN CONSIDERATIONS

- A 8- to 12-foot wide walkway, visually and functionally separate from the path of vehicles.
- A walkway surface that is smooth, slip-resistant, and without cracks, indents, or steep grade.
- Clear of protruding objects.
- Walkways are flat and straight and set back from curb so they don't meander around driveway crossings
- Driveway crossings are few.
- All changes in elevation have ramps and intersections corners have curb cuts for both directions or one broad cut servicing both crosswalks.
- The walkway is physically separated from vehicular traffic by at least two vertical or horizontal elements.
- At least one foot-candle of lighting at intersections and crosswalks and lights are spaced so there is spot to spot lighting.
- Pedestrian crossings with vehicular traffic have a defined crosswalk and may also include activated signal, median refuge or other such elements.
- Traffic calming improvements are introduced to slow vehicular speeds in appropriate areas off arterial streets.
- Traffic signals are timed for a walking speed of two and eight-tenths feet per second, and there are walk/don't walk signs, auditory signals or other such elements.
- Minimum 60 percent shade coverage along the pedestrian route and at gathering nodes.



The Marana Town Center is planned and constructed to promote pedestrian activity. Photo: PLAN-et.

# Appendix IV Private Park Inventory

# Marana Parks, Recreation, Trails And Open Space Master Plan

APPENDIX IV - PARK INVENTORY

Town of Marana  
Parks and Recreation Department

Town of Marana  
Comprehensive Parks and Recreation Master Plan  
Interim Report

# Inventory of Private Recreation Areas in the Town of Marana

April 2010

Inventory Prepared by:

McGann & Associates, Landscape Architects and Planners

Consultant Team:

EDAW / AECOM, Prime Consultant  
McGann & Associates, Landscape Architects  
Ballard-King, Recreational Facility Planning and Operational Consultants  
Coffman Studio, Landscape Architecture and Planning  
Elliott D. Pollack & Company, Economic and Real Estate Consultants

## Summary - Private Recreation Areas

| <b>General</b>                              |                               |                                                                             |
|---------------------------------------------|-------------------------------|-----------------------------------------------------------------------------|
| Quantity of Sites                           |                               | Thirty-five (35)                                                            |
| Site Locations                              | 1                             | Sunflower (North Sunflower Drive) Recreation Area                           |
|                                             | 2                             | Sunflower (West Copper Crest Place) Recreation Area                         |
|                                             | 3                             | Sunflower (Mystic Sky Lane) Recreation Area / Linear Park                   |
|                                             | 4                             | Sunflower (West Wandering Spring) Recreation Area / Linear Park             |
|                                             | 5                             | Continental Ranch (West Sunset Mountain Drive) Recreation Area              |
|                                             | 6                             | Continental Ranch (West Mountain Sky Drive) Recreation Area                 |
|                                             | 7                             | Continental Ranch (North Yellow Moon Drive) Recreation Area                 |
|                                             | 8                             | Continental Ranch (West Wenden Way) Recreation Area                         |
|                                             | 9                             | Continental Ranch (West Phobos Drive) Recreation Area                       |
|                                             | 10                            | Continental Ranch (North Finrock Drive) Recreation Area                     |
|                                             | 11                            | Continental Ranch (Coachline Boulevard) Recreation Area                     |
|                                             | 12                            | Continental Ranch (Windmill Park) Recreation Area                           |
|                                             | 13                            | Sierra Crest (West Siesta Rock Drive) Recreation Area                       |
|                                             | 14                            | Twin Peaks Highland (North Misty Brook Drive) Recreation Area               |
|                                             | 15                            | Silvermoon (North Golden Moon Way) Recreation Area                          |
|                                             | 16                            | Dove Mountain Park / Recreation Area                                        |
|                                             | 17                            | Dove Mountain Preserve (West Rain Shadow Way) Recreation Area               |
|                                             | 18                            | Dove Mountain Preserve (West New Shadow Way) Recreation Area                |
|                                             | 19                            | Tangerine Crossing (North Windrunner Parkway) Recreation Area               |
|                                             | 20                            | Tangerine Crossing (North Whistling Wind Avenue) Recreation Area            |
|                                             | 21                            | Bashas Shopping Center (North Dove Mountain Boulevard) Recreation Area      |
|                                             | 22                            | Gladden Farms (West Emmer Drive) Recreation Area                            |
|                                             | 23                            | Gladden Farms (North Brabant Drive) Recreation Area                         |
|                                             | 24                            | Gladden Farms (North Stone Ring Drive) Recreation Area                      |
|                                             | 25                            | Gladden Farms (North Starthroat Drive) Recreation Area                      |
|                                             | 26                            | Gladden Farms (Lon Adams Road / Internal) Detention Basin / Recreation Area |
|                                             | 27                            | Gladden Farms (Moore Road) Detention Basin / Recreation Area                |
|                                             | 28                            | Rancho Marana (Lea Maw Drive Detention Basin / Recreation Area              |
|                                             | 29                            | Rancho Marana (Pocatella Drive South) Recreation Area                       |
|                                             | 30                            | Rancho Marana (Pocatella Drive North) Detention Basin / Recreation Area     |
|                                             | 31                            | Yoem Pueblo Recreation Area                                                 |
|                                             | 32                            | Willow-Ridge Commons Recreation Area                                        |
|                                             | 33                            | San Lucas (West Anasazi Street) Recreation Area                             |
|                                             | 34                            | San Lucas (West Pipestone Street) Recreation Area                           |
|                                             | 35                            | San Lucas (West Copper Field Street) Recreation Area                        |
| <b>Fields and Turf Grass Play Areas</b>     |                               |                                                                             |
| Sites with Turf Grass Practice Fields       | 1 (3%)                        |                                                                             |
| Sites with Turf Grass Play Areas            | 23 (66%)                      |                                                                             |
| <b>Courts</b>                               |                               |                                                                             |
| Sites with Full-Size Court with Lights      | 2 Sites (5 Courts Total) (6%) |                                                                             |
| Sites with Full-Size Court without Lights   | 1 (3%)                        |                                                                             |
| Sites with Half-Size Court with Lights      | 0 (0%)                        |                                                                             |
| Sites with Half-Size Court without Lights   | 2 (6%)                        |                                                                             |
| <b>Playgrounds and Play Structures</b>      |                               |                                                                             |
| Sites with Playground - 2-5 Year Structure  | 2 (6%)                        |                                                                             |
| Sites with Playground - 5-12 Year Structure | 22 (63%)                      |                                                                             |
| <b>Aquatic Facilities</b>                   |                               |                                                                             |
| Sites with Lap Pool                         | 1 (3%)                        |                                                                             |
| Sites with Recreation Pool                  | 3 (9%)                        |                                                                             |
| <b>Park Buildings</b>                       |                               |                                                                             |
| Sites with Restroom Building                | 3 (9%)                        |                                                                             |
| Sites with Ramada                           | 17 (49%)                      |                                                                             |
| <b>On-Site Parking</b>                      |                               |                                                                             |
| Sites with Off-Street Parking Spaces        | 9 (26%)                       |                                                                             |

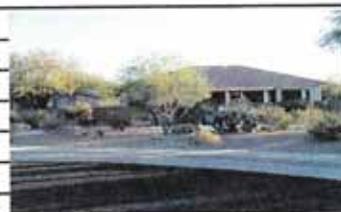
## Sunflower (North Sunflower Drive) Recreation Area

|                                            |  |                                          |
|--------------------------------------------|--|------------------------------------------|
| <b>General</b>                             |  |                                          |
| Location (Mailing Address)                 |  | 9401 North Sunflower Drive, Marana       |
| Location (Closest Assigned Street Address) |  | 9401 North Sunflower Drive, Marana       |
| Location (T-R-S)                           |  | Section 20 (T125-R12E)                   |
| Assessor's Parcel Number                   |  | 2261405B                                 |
| Owner                                      |  | Sunflower Community Association          |
| Size (Site)                                |  | 6.45 Acres                               |
| Size (Developed)                           |  | 6.45 Acres                               |
|                                            |  |                                          |
| <b>Utility Services</b>                    |  |                                          |
| Potable Water                              |  | Yes                                      |
| Reclaimed Water                            |  | No                                       |
| Sanitary Sewer                             |  | Yes                                      |
| Electric                                   |  | Yes                                      |
|                                            |  |                                          |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                          |
| Turf Grass Practice Fields                 |  | No                                       |
| Turf Grass Play Areas                      |  | Yes (Festival / Special Events Area)     |
|                                            |  |                                          |
| <b>Courts</b>                              |  |                                          |
| Full-Size Court with Lights                |  | Three Tennis Courts                      |
| Full-Size Court without Lights             |  | No                                       |
| Half-Size Court with Lights                |  | No                                       |
| Half-Size Court without Lights             |  | No                                       |
|                                            |  |                                          |
| <b>Playgrounds and Play Structures</b>     |  |                                          |
| Playground - 2-5 Year Structure            |  | No                                       |
| Playground - 5-12 Year Structure           |  | Yes                                      |
| Shade Canopy                               |  | No                                       |
|                                            |  |                                          |
| <b>Aquatic Facilities</b>                  |  |                                          |
| Lap Pool                                   |  | Yes                                      |
| Recreation Pool                            |  | Yes                                      |
| Other                                      |  | Spa                                      |
|                                            |  |                                          |
| <b>Park Buildings</b>                      |  |                                          |
| Restroom Building                          |  | As part of Clubhouse                     |
| Ramada                                     |  | Yes                                      |
| Other                                      |  | Clubhouse                                |
|                                            |  |                                          |
| <b>Miscellaneous Park Facilities</b>       |  |                                          |
| Barbecue Grill(s)                          |  | Yes                                      |
| Picnic Tables / Benches                    |  | Yes                                      |
| Other                                      |  | Horeshoe Pits, Bocce Ball, Putting Green |
|                                            |  |                                          |
| <b>On-Site Parking</b>                     |  |                                          |
| Parking Spaces                             |  | Yes (+/- 75 Spaces)                      |
|                                            |  |                                          |



## Sunflower (West Copper Crest Place) Recreation Area

|                                            |  |                                      |
|--------------------------------------------|--|--------------------------------------|
| <b>General</b>                             |  |                                      |
| Location (Mailing Address)                 |  | None Assigned                        |
| Location (Closest Assigned Street Address) |  | 7669 West Copper Crest Place, Marana |
| Location (T-R-S)                           |  | Section 16 (T12S-R12E)               |
| Assessor's Parcel Number                   |  | 22611623A                            |
| Owner                                      |  | Sunflower Community Association      |
| Size (Site)                                |  | 0.2                                  |
| Size (Developed)                           |  | 0.2                                  |
|                                            |  |                                      |
| <b>Utility Services</b>                    |  |                                      |
| Potable Water                              |  | Yes (Irrigation)                     |
| Reclaimed Water                            |  | No                                   |
| Sanitary Sewer                             |  | No                                   |
| Electric                                   |  | No                                   |
|                                            |  |                                      |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                      |
| Turf Grass Practice Fields                 |  | No                                   |
| Turf Grass Play Areas                      |  | No                                   |
|                                            |  |                                      |
| <b>Courts</b>                              |  |                                      |
| Full-Size Court with Lights                |  | No                                   |
| Full-Size Court without Lights             |  | No                                   |
| Half-Size Court with Lights                |  | No                                   |
| Half-Size Court without Lights             |  | No                                   |
|                                            |  |                                      |
| <b>Playgrounds and Play Structures</b>     |  |                                      |
| Playground - 2-5 Year Structure            |  | No                                   |
| Playground - 5-12 Year Structure           |  | No                                   |
| Shade Canopy                               |  | No                                   |
|                                            |  |                                      |
| <b>Aquatic Facilities</b>                  |  |                                      |
| Lap Pool                                   |  | No                                   |
| Recreation Pool                            |  | No                                   |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Park Buildings</b>                      |  |                                      |
| Restroom Building                          |  | No                                   |
| Ramada                                     |  | No                                   |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Miscellaneous Park Facilities</b>       |  |                                      |
| Barbecue Grill(s)                          |  | No                                   |
| Picnic Tables / Benches                    |  | No                                   |
| Other                                      |  | Benches                              |
|                                            |  |                                      |
| <b>On-Site Parking</b>                     |  |                                      |
| Parking Spaces                             |  | None                                 |
|                                            |  |                                      |



## Sunflower (Mystic Sky Lane) Recreation Area / Linear Park

|                                            |  |                                 |
|--------------------------------------------|--|---------------------------------|
| <b>General</b>                             |  |                                 |
| Location (Mailing Address)                 |  | None Assigned                   |
| Location (Closest Assigned Street Address) |  | 7579 Mystic Sky Lane, Marana    |
| Location (T-R-S)                           |  | Section 20 (T12S-R12E)          |
| Assessor's Parcel Number                   |  | 226071330                       |
| Owner                                      |  | Sunflower Community Association |
| Size (Site)                                |  | 2.3 Acres                       |
| Size (Developed)                           |  | 2.3 Acres                       |
|                                            |  |                                 |
| <b>Utility Services</b>                    |  |                                 |
| Potable Water                              |  | Yes (Irrigation)                |
| Reclaimed Water                            |  | No                              |
| Sanitary Sewer                             |  | No                              |
| Electric                                   |  | No                              |
|                                            |  |                                 |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                 |
| Turf Grass Practice Fields                 |  | No                              |
| Turf Grass Play Areas                      |  | No                              |
|                                            |  |                                 |
| <b>Courts</b>                              |  |                                 |
| Full-Size Court with Lights                |  | No                              |
| Full-Size Court without Lights             |  | No                              |
| Half-Size Court with Lights                |  | No                              |
| Half-Size Court without Lights             |  | No                              |
|                                            |  |                                 |
| <b>Playgrounds and Play Structures</b>     |  |                                 |
| Playground - 2-5 Year Structure            |  | No                              |
| Playground - 5-12 Year Structure           |  | No                              |
| Shade Canopy                               |  | No                              |
|                                            |  |                                 |
| <b>Aquatic Facilities</b>                  |  |                                 |
| Lap Pool                                   |  | No                              |
| Recreation Pool                            |  | No                              |
| Other                                      |  | No                              |
|                                            |  |                                 |
| <b>Park Buildings</b>                      |  |                                 |
| Restroom Building                          |  | No                              |
| Ramada                                     |  | No                              |
| Other                                      |  | No                              |
|                                            |  |                                 |
| <b>Miscellaneous Park Facilities</b>       |  |                                 |
| Barbecue Grill(s)                          |  | No                              |
| Picnic Tables / Benches                    |  | Benches                         |
| Other                                      |  | Multi-Use Path                  |
|                                            |  |                                 |
| <b>On-Site Parking</b>                     |  |                                 |
| Parking Spaces                             |  | None                            |
|                                            |  |                                 |



## Sunflower (West Wandering Spring) Recreation Area / Linear Park

|                                            |  |                                        |
|--------------------------------------------|--|----------------------------------------|
| <b>General</b>                             |  |                                        |
| Location (Mailing Address)                 |  | None Assigned                          |
| Location (Closest Assigned Street Address) |  | 7984 West Wandering Spring Way, Marana |
| Location (T-R-S)                           |  | Section 20 (T12S-R12E)                 |
| Assessor's Parcel Number                   |  | 22610279B                              |
| Owner                                      |  | Sunflower Community Association        |
| Size (Site)                                |  | 0.53 Acres                             |
| Size (Developed)                           |  | 0.53 Acres                             |
|                                            |  |                                        |
| <b>Utility Services</b>                    |  |                                        |
| Potable Water                              |  | Yes (Irrigation)                       |
| Reclaimed Water                            |  | No                                     |
| Sanitary Sewer                             |  | No                                     |
| Electric                                   |  | No                                     |
|                                            |  |                                        |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                        |
| Turf Grass Practice Fields                 |  | No                                     |
| Turf Grass Play Areas                      |  | No                                     |
|                                            |  |                                        |
| <b>Courts</b>                              |  |                                        |
| Full-Size Court with Lights                |  | No                                     |
| Full-Size Court without Lights             |  | No                                     |
| Half-Size Court with Lights                |  | No                                     |
| Half-Size Court without Lights             |  | No                                     |
|                                            |  |                                        |
| <b>Playgrounds and Play Structures</b>     |  |                                        |
| Playground - 2-5 Year Structure            |  | No                                     |
| Playground - 5-12 Year Structure           |  | No                                     |
| Shade Canopy                               |  | No                                     |
|                                            |  |                                        |
| <b>Aquatic Facilities</b>                  |  |                                        |
| Lap Pool                                   |  | No                                     |
| Recreation Pool                            |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>Park Buildings</b>                      |  |                                        |
| Restroom Building                          |  | No                                     |
| Ramada                                     |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>Miscellaneous Park Facilities</b>       |  |                                        |
| Barbecue Grill(s)                          |  | No                                     |
| Picnic Tables / Benches                    |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>On-Site Parking</b>                     |  |                                        |
| Parking Spaces                             |  | None                                   |
|                                            |  |                                        |



## Continental Ranch (West Sunset Mountain Drive) Recreation Area

|                                            |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| <b>General</b>                             |  |                                         |
| Location (Mailing Address)                 |  | 7302 West Sunset Mountain Drive, Marana |
| Location (Closest Assigned Street Address) |  | 7302 West Sunset Mountain Drive, Marana |
| Location (T-R-S)                           |  | Section 21 (T12S-R12E)                  |
| Assessor's Parcel Number                   |  | 226111800                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 0.21 Acres                              |
| Size (Developed)                           |  | 0.21 Acres                              |
|                                            |  |                                         |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | No                                      |
| Electric                                   |  | No                                      |
|                                            |  |                                         |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | No                                      |
|                                            |  |                                         |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  | No                                      |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
|                                            |  |                                         |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | Yes                                     |
| Shade Canopy                               |  | No                                      |
|                                            |  |                                         |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | No                                      |
| Recreation Pool                            |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | Benches                                 |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | None                                    |
|                                            |  |                                         |



## Continental Ranch (West Mountain Sky Drive) Recreation Area

| <b>General</b>                             |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| Location (Mailing Address)                 |  | 7430 West Mountain Sky Drive, Marana    |
| Location (Closest Assigned Street Address) |  | 7430 West Mountain Sky Drive, Marana    |
| Location (T-R-S)                           |  | Section 21 (T12S-R12E)                  |
| Assessor's Parcel Number                   |  | 226184950                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 0.16 Acres                              |
| Size (Developed)                           |  | 0.16 Acres                              |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (Irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | No                                      |
| Electric                                   |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  | No                                      |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | Yes                                     |
| Shade Canopy                               |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | No                                      |
| Recreation Pool                            |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | Benches                                 |
| Other                                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | None                                    |
|                                            |  |                                         |
|                                            |  |                                         |



## Continental Ranch (North Yellow Moon Drive) Recreation Area

|                                            |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| <b>General</b>                             |  |                                         |
| Location (Mailing Address)                 |  | 8921 North Yellow Moon Drive            |
| Location (Closest Assigned Street Address) |  | 8921 North Yellow Moon Drive            |
| Location (T-R-S)                           |  | Section 21 (T12S-R12E)                  |
| Assessor's Parcel Number                   |  | 226190460                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 0.23 Acres                              |
| Size (Developed)                           |  | 0.23 Acres                              |
|                                            |  |                                         |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (Irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | No                                      |
| Electric                                   |  | No                                      |
|                                            |  |                                         |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | No                                      |
|                                            |  | No                                      |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  |                                         |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
|                                            |  |                                         |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | Yes                                     |
| Shade Canopy                               |  | No                                      |
|                                            |  |                                         |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | No                                      |
| Recreation Pool                            |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | Benches                                 |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | None                                    |
|                                            |  |                                         |



## Continental Ranch (West Wenden Way) Recreation Area

|                                            |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| <b>General</b>                             |  |                                         |
| Location (Mailing Address)                 |  | None Assigned                           |
| Location (Closest Assigned Street Address) |  | 6496 West Wenden Way, Marana            |
| Location (T-R-S)                           |  | Section 27 (T12S-R12E0)                 |
| Assessor's Parcel Number                   |  | 22625544A                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 0.18 Acres                              |
| Size (Developed)                           |  | 0.18 Acres                              |
|                                            |  |                                         |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (Irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | No                                      |
| Electric                                   |  | Yes                                     |
|                                            |  |                                         |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | No                                      |
|                                            |  |                                         |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  | No                                      |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
|                                            |  |                                         |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | Yes (Not ADA Compliant)                 |
| Shade Canopy                               |  | No                                      |
|                                            |  |                                         |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | No                                      |
| Recreation Pool                            |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | Benches                                 |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | None                                    |
|                                            |  |                                         |



## Continental Ranch (North Finrock Drive) Recreation Area

| <b>General</b>                             |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| Location (Mailing Address)                 |  | None Assigned                           |
| Location (Closest Assigned Street Address) |  | 8810 North Finrock Drive, Marana        |
| Location (T-R-S)                           |  | Section 21 (T12S-R12E)                  |
| Assessor's Parcel Number                   |  | 226226130                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 0.86 Acres                              |
| Size (Developed)                           |  | 0.86 Acres                              |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (Irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | No                                      |
| Electric                                   |  | No                                      |
|                                            |  |                                         |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | Yes (Irrigation)                        |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  | No                                      |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | Yes                                     |
| Shade Canopy                               |  | Yes                                     |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | No                                      |
| Recreation Pool                            |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | Benches                                 |
| Other                                      |  | No                                      |
|                                            |  |                                         |
|                                            |  |                                         |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | None                                    |
|                                            |  |                                         |
|                                            |  |                                         |

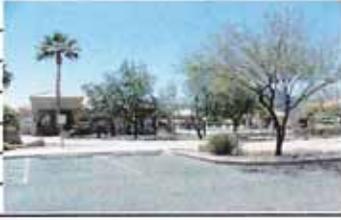


## Continental Ranch (Coachline Boulevard) Recreation Area

|                                            |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| <b>General</b>                             |  |                                         |
| Location (Mailing Address)                 |  | None Assigned                           |
| Location (Closest Assigned Street Address) |  | 8877 North Coachline Blvd.              |
| Location (T-R-S)                           |  | Section 21 (T12S-R12E)                  |
| Assessor's Parcel Number                   |  | 22622011N                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 2.85 Acres                              |
| Size (Developed)                           |  | 2.85 Acres                              |
|                                            |  |                                         |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (Irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | Yes                                     |
| Electric                                   |  | Yes                                     |
|                                            |  |                                         |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | No                                      |
|                                            |  |                                         |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  | No                                      |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
|                                            |  |                                         |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | No                                      |
| Shade Canopy                               |  | No                                      |
|                                            |  |                                         |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | Yes                                     |
| Recreation Pool                            |  | Yes                                     |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | Community Center Building               |
|                                            |  |                                         |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | No                                      |
| Other                                      |  | No                                      |
|                                            |  |                                         |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | Yes (+/- 37 Spaces)                     |
|                                            |  |                                         |



## Continental Ranch (Windmill Park) Recreation Area

|                                            |  |                                                                                     |
|--------------------------------------------|--|-------------------------------------------------------------------------------------|
| <b>General</b>                             |  |                                                                                     |
| Location (Mailing Address)                 |  | 9150 North Coachline Boulevard                                                      |
| Location (Closest Assigned Street Address) |  | 9150 North Coachline Boulevard                                                      |
| Location (T-R-S)                           |  | Section 21 (T12S-R12E)                                                              |
| Assessor's Parcel Number                   |  | 22611845C                                                                           |
| Owner                                      |  | Continental Ranch Community Association                                             |
| Size (Site)                                |  | 6.91 Acres                                                                          |
| Size (Developed)                           |  | 6.19 Acres                                                                          |
|                                            |  |  |
| <b>Utility Services</b>                    |  |                                                                                     |
| Potable Water                              |  | Yes (Irrigation)                                                                    |
| Reclaimed Water                            |  | No                                                                                  |
| Sanitary Sewer                             |  | Yes                                                                                 |
| Electric                                   |  | Yes                                                                                 |
|                                            |  |                                                                                     |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                                                                     |
| Turf Grass Practice Fields                 |  | One (1) Soccer Field and One (1) Softball / Baseball Field                          |
| Turf Grass Play Areas                      |  | Yes                                                                                 |
|                                            |  |                                                                                     |
| <b>Courts</b>                              |  |                                                                                     |
| Full-Size Court with Lights                |  | No                                                                                  |
| Full-Size Court without Lights             |  | No                                                                                  |
| Half-Size Court with Lights                |  | No                                                                                  |
| Half-Size Court without Lights             |  | No                                                                                  |
|                                            |  |                                                                                     |
| <b>Playgrounds and Play Structures</b>     |  |                                                                                     |
| Playground - 2-5 Year Structure            |  | No                                                                                  |
| Playground - 5-12 Year Structure           |  | No                                                                                  |
| Shade Canopy                               |  | No                                                                                  |
|                                            |  |                                                                                     |
| <b>Aquatic Facilities</b>                  |  |                                                                                     |
| Lap Pool                                   |  | No                                                                                  |
| Recreation Pool                            |  | Yes                                                                                 |
| Other                                      |  | No                                                                                  |
|                                            |  |                                                                                     |
| <b>Park Buildings</b>                      |  |                                                                                     |
| Restroom Building                          |  | No                                                                                  |
| Ramada                                     |  | No                                                                                  |
| Other                                      |  | Community Center Building                                                           |
|                                            |  |                                                                                     |
| <b>Miscellaneous Park Facilities</b>       |  |                                                                                     |
| Barbecue Grill(s)                          |  | No                                                                                  |
| Picnic Tables / Benches                    |  | No                                                                                  |
| Other                                      |  | No                                                                                  |
|                                            |  |                                                                                     |
| <b>On-Site Parking</b>                     |  |                                                                                     |
| Parking Spaces                             |  | Yes (+/- 43 Spaces)                                                                 |
|                                            |  |                                                                                     |

## Sierra Crest (West Siesta Rock Drive) Recreation Area

|                                            |  |                                     |
|--------------------------------------------|--|-------------------------------------|
| <b>General</b>                             |  |                                     |
| Location (Mailing Address)                 |  | None Assigned                       |
| Location (Closest Assigned Street Address) |  | 7586 West Siesta Rock Drive, Marana |
| Location (T-R-S)                           |  | Section 28 (T12S-R12E)              |
| Assessor's Parcel Number                   |  | 221216960                           |
| Owner                                      |  | Sierra Crest Homeowners Association |
| Size (Site)                                |  | 0.65 Acres                          |
| Size (Developed)                           |  | 0.65 Acres                          |
|                                            |  |                                     |
| <b>Utility Services</b>                    |  |                                     |
| Potable Water                              |  | Yes (Irrigation)                    |
| Reclaimed Water                            |  | No                                  |
| Sanitary Sewer                             |  | No                                  |
| Electric                                   |  | No                                  |
|                                            |  |                                     |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                     |
| Turf Grass Practice Fields                 |  | No                                  |
| Turf Grass Play Areas                      |  | No                                  |
|                                            |  | No                                  |
| <b>Courts</b>                              |  |                                     |
| Full-Size Court with Lights                |  | No                                  |
| Full-Size Court without Lights             |  | No                                  |
| Half-Size Court with Lights                |  | No                                  |
| Half-Size Court without Lights             |  | No                                  |
|                                            |  |                                     |
| <b>Playgrounds and Play Structures</b>     |  |                                     |
| Playground - 2-5 Year Structure            |  | No                                  |
| Playground - 5-12 Year Structure           |  | No                                  |
| Shade Canopy                               |  | No                                  |
|                                            |  |                                     |
| <b>Aquatic Facilities</b>                  |  |                                     |
| Lap Pool                                   |  | No                                  |
| Recreation Pool                            |  | Yes                                 |
| Other                                      |  | No                                  |
|                                            |  |                                     |
| <b>Park Buildings</b>                      |  |                                     |
| Restroom Building                          |  | No                                  |
| Ramada                                     |  | No                                  |
| Other                                      |  | No                                  |
|                                            |  |                                     |
| <b>Miscellaneous Park Facilities</b>       |  |                                     |
| Barbecue Grill(s)                          |  | ?                                   |
| Picnic Tables / Benches                    |  | ?                                   |
| Other                                      |  | ?                                   |
|                                            |  |                                     |
| <b>On-Site Parking</b>                     |  |                                     |
| Parking Spaces                             |  | Yes (7 Spaces)                      |
|                                            |  |                                     |



## Silvermoon (North Golden Moon Way) Recreation Area

|                                            |  |                                  |
|--------------------------------------------|--|----------------------------------|
| <b>General</b>                             |  |                                  |
| Location (Mailing Address)                 |  | None Assigned                    |
| Location (Closest Assigned Street Address) |  | 8647 North Golden Moon Way       |
| Location (T-R-S)                           |  | Section 28 (T125-R12E)           |
| Assessor's Parcel Number                   |  | 221210340                        |
| Owner                                      |  | Silvermoon Community Association |
| Size (Site)                                |  | 1.78 Acres                       |
| Size (Developed)                           |  | 1.78 Acres                       |
|                                            |  |                                  |
| <b>Utility Services</b>                    |  |                                  |
| Potable Water                              |  | Yes                              |
| Reclaimed Water                            |  | No                               |
| Sanitary Sewer                             |  | No                               |
| Electric                                   |  | Yes                              |
|                                            |  |                                  |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                  |
| Turf Grass Practice Fields                 |  | No                               |
| Turf Grass Play Areas                      |  | Yes                              |
|                                            |  |                                  |
| <b>Courts</b>                              |  |                                  |
| Full-Size Court with Lights                |  | No                               |
| Full-Size Court without Lights             |  | No                               |
| Half-Size Court with Lights                |  | No                               |
| Half-Size Court without Lights             |  | Yes                              |
|                                            |  |                                  |
| <b>Playgrounds and Play Structures</b>     |  |                                  |
| Playground - 2-5 Year Structure            |  | Yes                              |
| Playground - 5-12 Year Structure           |  | No                               |
| Shade Canopy                               |  | No                               |
|                                            |  |                                  |
| <b>Aquatic Facilities</b>                  |  |                                  |
| Lap Pool                                   |  | No                               |
| Recreation Pool                            |  | No                               |
| Other                                      |  | No                               |
|                                            |  |                                  |
| <b>Park Buildings</b>                      |  |                                  |
| Restroom Building                          |  | No                               |
| Ramada                                     |  | Yes (10' x 10')                  |
| Other                                      |  | No                               |
|                                            |  |                                  |
| <b>Miscellaneous Park Facilities</b>       |  |                                  |
| Barbecue Grill(s)                          |  | Yes                              |
| Picnic Tables / Benches                    |  | Benches                          |
| Other                                      |  | No                               |
|                                            |  |                                  |
| <b>On-Site Parking</b>                     |  |                                  |
| Parking Spaces                             |  | None                             |
|                                            |  |                                  |



## Dove Mountain Park / Recreation Area

|                                            |  |                                                          |
|--------------------------------------------|--|----------------------------------------------------------|
| <b>General</b>                             |  |                                                          |
| Location (Mailing Address)                 |  | 12405 North Dove Mountain Boulevard                      |
| Location (Closest Assigned Street Address) |  | 12405 North Dove Mountain Boulevard                      |
| Location (T-R-S)                           |  | Section 35 (T11S-R12E)                                   |
| Assessor's Parcel Number                   |  | 21854002J                                                |
| Owner                                      |  | Dove Mountain Association                                |
| Size (Site)                                |  | 5.82 Acres                                               |
| Size (Developed)                           |  | 5.82 Acres                                               |
|                                            |  |                                                          |
| <b>Utility Services</b>                    |  |                                                          |
| Potable Water                              |  | Yes                                                      |
| Reclaimed Water                            |  | No                                                       |
| Sanitary Sewer                             |  | Yes                                                      |
| Electric                                   |  | Yes                                                      |
|                                            |  |                                                          |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                                          |
| Turf Grass Practice Fields                 |  | No                                                       |
| Turf Grass Play Areas                      |  | Yes                                                      |
|                                            |  |                                                          |
| <b>Courts</b>                              |  |                                                          |
| Full-Size Court with Lights                |  | Two (2) Tennis Courts                                    |
| Full-Size Court without Lights             |  | One (1) Basketball Court / One (1) Sand Volleyball Court |
| Half-Size Court with Lights                |  | No                                                       |
| Half-Size Court without Lights             |  | No                                                       |
|                                            |  |                                                          |
| <b>Playgrounds and Play Structures</b>     |  |                                                          |
| Playground - 2-5 Year Structure            |  | No                                                       |
| Playground - 5-12 Year Structure           |  | Yes                                                      |
| Shade Canopy                               |  | Yes                                                      |
|                                            |  |                                                          |
| <b>Aquatic Facilities</b>                  |  |                                                          |
| Lap Pool                                   |  | No                                                       |
| Recreation Pool                            |  | No                                                       |
| Other                                      |  | No                                                       |
|                                            |  |                                                          |
| <b>Park Buildings</b>                      |  |                                                          |
| Restroom Building                          |  | Yes (2)                                                  |
| Ramada                                     |  | Yes (2)                                                  |
| Other                                      |  | No                                                       |
|                                            |  |                                                          |
| <b>Miscellaneous Park Facilities</b>       |  |                                                          |
| Barbecue Grill(s)                          |  | Yes                                                      |
| Picnic Tables / Benches                    |  | Yes                                                      |
| Other                                      |  | Off-Leash Dog Park                                       |
|                                            |  |                                                          |
| <b>On-Site Parking</b>                     |  |                                                          |
| Parking Spaces                             |  | Yes (+/- 24 Spaces)                                      |
|                                            |  |                                                          |



## Dove Mountain Preserve (West Rain Shadow Way) Recreation Area

|                                            |  |                                                  |
|--------------------------------------------|--|--------------------------------------------------|
| <b>General</b>                             |  |                                                  |
| Location (Mailing Address)                 |  | None Assigned                                    |
| Location (Closest Assigned Street Address) |  | 5229 West New Shadow Way, Marana                 |
| Location (T-R-S)                           |  | Section 36 (T115-R12E)                           |
| Assessor's Parcel Number                   |  | 218-55-2030                                      |
| Owner                                      |  | Dove Mountain Community Association              |
| Size (Site)                                |  | Part of 24.9 Acre Parcel                         |
| Size (Developed)                           |  | 1.7 Acres                                        |
|                                            |  |                                                  |
| <b>Utility Services</b>                    |  |                                                  |
| Potable Water                              |  | Yes                                              |
| Reclaimed Water                            |  | No                                               |
| Sanitary Sewer                             |  | Yes                                              |
| Electric                                   |  | Yes                                              |
|                                            |  |                                                  |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                                  |
| Turf Grass Practice Fields                 |  | No                                               |
| Turf Grass Play Areas                      |  | Yes                                              |
|                                            |  |                                                  |
| <b>Courts</b>                              |  |                                                  |
| Full-Size Court with Lights                |  | No                                               |
| Full-Size Court without Lights             |  | No                                               |
| Half-Size Court with Lights                |  | No                                               |
| Half-Size Court without Lights             |  | Yes (Basketball)                                 |
|                                            |  |                                                  |
| <b>Playgrounds and Play Structures</b>     |  |                                                  |
| Playground - 2-5 Year Structure            |  | No                                               |
| Playground - 5-12 Year Structure           |  | Yes                                              |
| Shade Canopy                               |  | Yes                                              |
|                                            |  |                                                  |
| <b>Aquatic Facilities</b>                  |  |                                                  |
| Lap Pool                                   |  | No                                               |
| Recreation Pool                            |  | No                                               |
| Other                                      |  | No                                               |
|                                            |  |                                                  |
| <b>Park Buildings</b>                      |  |                                                  |
| Restroom Building                          |  | Yes                                              |
| Ramada                                     |  | Yes (+/- 20' x 20')                              |
| Other                                      |  | No                                               |
|                                            |  |                                                  |
| <b>Miscellaneous Park Facilities</b>       |  |                                                  |
| Barbecue Grill(s)                          |  | Yes                                              |
| Picnic Tables / Benches                    |  | Yes                                              |
| Other                                      |  | Small Off-Leash Dog Park / Access to Local Trail |
|                                            |  |                                                  |
| <b>On-Site Parking</b>                     |  |                                                  |
| Parking Spaces                             |  | Yes (7 Spaces)                                   |
|                                            |  |                                                  |



## Dove Mountain Preserve (West New Shadow Way) Recreation Area

|                                                                                     |  |                                     |                                         |  |     |
|-------------------------------------------------------------------------------------|--|-------------------------------------|-----------------------------------------|--|-----|
| <b>General</b>                                                                      |  |                                     |                                         |  |     |
| Location (Mailing Address)                                                          |  | None Assigned                       |                                         |  |     |
| Location (Closest Assigned Street Address)                                          |  | 5182 West Rain Shaddow Way, Marana  |                                         |  |     |
| Location (T-R-S)                                                                    |  | Section 36 (T11S-R12E)              |                                         |  |     |
| Assessor's Parcel Number                                                            |  | 218-55-3300                         |                                         |  |     |
| Owner                                                                               |  | Dove Mountain Community Association |                                         |  |     |
| Size (Site)                                                                         |  | 0.19 Acre                           |                                         |  |     |
| Size (Developed)                                                                    |  | 0.19 Acre                           |                                         |  |     |
|  |  |                                     |                                         |  |     |
|                                                                                     |  |                                     | <b>Utility Services</b>                 |  |     |
|                                                                                     |  |                                     | Potable Water                           |  | Yes |
|                                                                                     |  |                                     | Reclaimed Water                         |  | No  |
|                                                                                     |  |                                     | Sanitary Sewer                          |  | ?   |
|                                                                                     |  |                                     | Electric                                |  | ?   |
|                                                                                     |  |                                     | <b>Fields and Turf Grass Play Areas</b> |  |     |
| Turf Grass Practice Fields                                                          |  | No                                  |                                         |  |     |
| Turf Grass Play Areas                                                               |  | Yes                                 |                                         |  |     |
| <b>Courts</b>                                                                       |  |                                     |                                         |  |     |
| Full-Size Court with Lights                                                         |  | No                                  |                                         |  |     |
| Full-Size Court without Lights                                                      |  | No                                  |                                         |  |     |
| Half-Size Court with Lights                                                         |  | No                                  |                                         |  |     |
| Half-Size Court without Lights                                                      |  | No                                  |                                         |  |     |
| <b>Playgrounds and Play Structures</b>                                              |  |                                     |                                         |  |     |
| Playground - 2-5 Year Structure                                                     |  | ?                                   |                                         |  |     |
| Playground - 5-12 Year Structure                                                    |  | ?                                   |                                         |  |     |
| Shade Canopy                                                                        |  | Yes                                 |                                         |  |     |
| <b>Aquatic Facilities</b>                                                           |  |                                     |                                         |  |     |
| Lap Pool                                                                            |  | No                                  |                                         |  |     |
| Recreation Pool                                                                     |  | No                                  |                                         |  |     |
| Other                                                                               |  | No                                  |                                         |  |     |
| <b>Park Buildings</b>                                                               |  |                                     |                                         |  |     |
| Restroom Building                                                                   |  | ?                                   |                                         |  |     |
| Ramada                                                                              |  | ?                                   |                                         |  |     |
| Other                                                                               |  | ?                                   |                                         |  |     |
| <b>Miscellaneous Park Facilities</b>                                                |  |                                     |                                         |  |     |
| Barbecue Grill(s)                                                                   |  | ?                                   |                                         |  |     |
| Picnic Tables / Benches                                                             |  | ?                                   |                                         |  |     |
| Other                                                                               |  | ?                                   |                                         |  |     |
| <b>On-Site Parking</b>                                                              |  |                                     |                                         |  |     |
| Parking Spaces                                                                      |  | Yes (4 Spaces)                      |                                         |  |     |

## Tangerine Crossing (North Windrunner Parkway) Recreation Area

|                                            |  |                                                   |
|--------------------------------------------|--|---------------------------------------------------|
| <b>General</b>                             |  |                                                   |
| Location (Mailing Address)                 |  | None Assigned                                     |
| Location (Closest Assigned Street Address) |  | 12370 North Windrunner Parkway                    |
| Location (T-R-S)                           |  | Section 32 (T11S-R13E)                            |
| Assessor's Parcel Number                   |  | 219-37-3680                                       |
| Owner                                      |  | Tangerine Crossing HOA                            |
| Size (Site)                                |  | 1.25 Acres                                        |
| Size (Developed)                           |  | 1.25 Acres                                        |
|                                            |  |                                                   |
| <b>Utility Services</b>                    |  |                                                   |
| Potable Water                              |  | Yes                                               |
| Reclaimed Water                            |  | No                                                |
| Sanitary Sewer                             |  | No                                                |
| Electric                                   |  | Yes                                               |
|                                            |  |                                                   |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                                   |
| Turf Grass Practice Fields                 |  | No                                                |
| Turf Grass Play Areas                      |  | Turf grass within and adjacent to detention basin |
|                                            |  |                                                   |
| <b>Courts</b>                              |  |                                                   |
| Full-Size Court with Lights                |  | No                                                |
| Full-Size Court without Lights             |  | No                                                |
| Half-Size Court with Lights                |  | No                                                |
| Half-Size Court without Lights             |  | No                                                |
|                                            |  |                                                   |
| <b>Playgrounds and Play Structures</b>     |  |                                                   |
| Playground - 2-5 Year Structure            |  | No                                                |
| Playground - 5-12 Year Structure           |  | Yes                                               |
| Shade Canopy                               |  | Yes                                               |
|                                            |  |                                                   |
| <b>Aquatic Facilities</b>                  |  |                                                   |
| Lap Pool                                   |  | No                                                |
| Recreation Pool                            |  | No                                                |
| Other                                      |  | No                                                |
|                                            |  |                                                   |
| <b>Park Buildings</b>                      |  |                                                   |
| Restroom Building                          |  | No                                                |
| Ramada                                     |  | Yes (+/- 12' x 12')                               |
| Other                                      |  | No                                                |
|                                            |  |                                                   |
| <b>Miscellaneous Park Facilities</b>       |  |                                                   |
| Barbecue Grill(s)                          |  | Yes                                               |
| Picnic Tables / Benches                    |  | Yes                                               |
| Other                                      |  | Accessible Drinking Fountain                      |
|                                            |  |                                                   |
| <b>On-Site Parking</b>                     |  |                                                   |
| Parking Spaces                             |  | None                                              |
|                                            |  |                                                   |



## Tangerine Crossing (North Whistling Wind Avenue) Recreation Area

|                                            |  |                                           |
|--------------------------------------------|--|-------------------------------------------|
| <b>General</b>                             |  |                                           |
| Location (Mailing Address)                 |  | None Assigned                             |
| Location (Closest Assigned Street Address) |  | 12289 North Whistling Wind Avenue, Marana |
| Location (T-R-S)                           |  | Section 32 (T11S-R13E)                    |
| Assessor's Parcel Number                   |  | 219-37-3670                               |
| Owner                                      |  | Tangerine Crossing HOA                    |
| Size (Site)                                |  | 1.25 Acres                                |
| Size (Developed)                           |  | 1.25 Acres                                |
|                                            |  |                                           |
| <b>Utility Services</b>                    |  |                                           |
| Potable Water                              |  | Yes                                       |
| Reclaimed Water                            |  | No                                        |
| Sanitary Sewer                             |  | No                                        |
| Electric                                   |  | Yes                                       |
|                                            |  |                                           |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                           |
| Turf Grass Practice Fields                 |  | No                                        |
| Turf Grass Play Areas                      |  | Yes                                       |
|                                            |  |                                           |
| <b>Courts</b>                              |  |                                           |
| Full-Size Court with Lights                |  | No                                        |
| Full-Size Court without Lights             |  | No                                        |
| Half-Size Court with Lights                |  | No                                        |
| Half-Size Court without Lights             |  | No                                        |
|                                            |  |                                           |
| <b>Playgrounds and Play Structures</b>     |  |                                           |
| Playground - 2-5 Year Structure            |  | No                                        |
| Playground - 5-12 Year Structure           |  | Yes                                       |
| Shade Canopy                               |  | Yes                                       |
|                                            |  |                                           |
| <b>Aquatic Facilities</b>                  |  |                                           |
| Lap Pool                                   |  | No                                        |
| Recreation Pool                            |  | No                                        |
| Other                                      |  | No                                        |
|                                            |  |                                           |
| <b>Park Buildings</b>                      |  |                                           |
| Restroom Building                          |  | No                                        |
| Ramada                                     |  | Yes (+/- 12' x 12')                       |
| Other                                      |  | No                                        |
|                                            |  |                                           |
| <b>Miscellaneous Park Facilities</b>       |  |                                           |
| Barbecue Grill(s)                          |  | Yes                                       |
| Picnic Tables / Benches                    |  | Yes                                       |
| Other                                      |  | Accessible Drinking Fountain              |
|                                            |  |                                           |
| <b>On-Site Parking</b>                     |  |                                           |
| Parking Spaces                             |  | None                                      |
|                                            |  |                                           |



## Bashas Shopping Center (North Dove Mountain Boulevard) Recreation Area

| <b>General</b>                             |  |                                     |
|--------------------------------------------|--|-------------------------------------|
| Location (Mailing Address)                 |  | 12000 North Dove Mountain Boulevard |
| Location (Closest Assigned Street Address) |  | 12000 North Dove Mountain Boulevard |
| Location (T-R-S)                           |  | Section 36 (T11S-R12E)              |
| Assessor's Parcel Number                   |  | 218555740                           |
| Owner                                      |  | Dove Mountain Retail II LLC         |
| Size (Site)                                |  | Part of 13.66 Ac. Parcel            |
| Size (Developed)                           |  | 0.1 Acre                            |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Utility Services</b>                    |  |                                     |
| Potable Water                              |  | Yes                                 |
| Reclaimed Water                            |  | No                                  |
| Sanitary Sewer                             |  | No                                  |
| Electric                                   |  | Yes                                 |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                     |
| Turf Grass Practice Fields                 |  | No                                  |
| Turf Grass Play Areas                      |  | No                                  |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Courts</b>                              |  |                                     |
| Full-Size Court with Lights                |  | No                                  |
| Full-Size Court without Lights             |  | No                                  |
| Half-Size Court with Lights                |  | No                                  |
| Half-Size Court without Lights             |  | No                                  |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Playgrounds and Play Structures</b>     |  |                                     |
| Playground - 2-5 Year Structure            |  | Yes                                 |
| Playground - 5-12 Year Structure           |  | No                                  |
| Shade Canopy                               |  | No                                  |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Aquatic Facilities</b>                  |  |                                     |
| Lap Pool                                   |  | No                                  |
| Recreation Pool                            |  | No                                  |
| Other                                      |  | No                                  |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Park Buildings</b>                      |  |                                     |
| Restroom Building                          |  | No                                  |
| Ramada                                     |  | No                                  |
| Other                                      |  | No                                  |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>Miscellaneous Park Facilities</b>       |  |                                     |
| Barbecue Grill(s)                          |  | No                                  |
| Picnic Tables / Benches                    |  | Yes                                 |
| Other                                      |  | Dusk-to-Dawn Lighting               |
|                                            |  |                                     |
|                                            |  |                                     |
| <b>On-Site Parking</b>                     |  |                                     |
| Parking Spaces                             |  | Yes (As part of retail center)      |
|                                            |  |                                     |
|                                            |  |                                     |



## Gladden Farms (West Emmer Drive) Recreation Area

|                                            |  |                                      |
|--------------------------------------------|--|--------------------------------------|
| <b>General</b>                             |  |                                      |
| Location (Mailing Address)                 |  | None Assigned                        |
| Location (Closest Assigned Street Address) |  | 11688 West Emmer Drive               |
| Location (T-R-S)                           |  | Section 34 (T11S-R11E)               |
| Assessor's Parcel Number                   |  | 217536120                            |
| Owner                                      |  | Gladden Farms Community Association  |
| Size (Site)                                |  | 1.11 Acres                           |
| Size (Developed)                           |  | 1.11 Acres                           |
|                                            |  |                                      |
| <b>Utility Services</b>                    |  |                                      |
| Potable Water                              |  | Yes                                  |
| Reclaimed Water                            |  | No                                   |
| Sanitary Sewer                             |  | No                                   |
| Electric                                   |  | Yes                                  |
|                                            |  |                                      |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                      |
| Turf Grass Practice Fields                 |  | No                                   |
| Turf Grass Play Areas                      |  | Yes                                  |
|                                            |  |                                      |
| <b>Courts</b>                              |  |                                      |
| Full-Size Court with Lights                |  | No                                   |
| Full-Size Court without Lights             |  | No                                   |
| Half-Size Court with Lights                |  | No                                   |
| Half-Size Court without Lights             |  | No                                   |
|                                            |  |                                      |
| <b>Playgrounds and Play Structures</b>     |  |                                      |
| Playground - 2-5 Year Structure            |  | No                                   |
| Playground - 5-12 Year Structure           |  | Yes                                  |
| Shade Canopy                               |  | Yes                                  |
|                                            |  |                                      |
| <b>Aquatic Facilities</b>                  |  |                                      |
| Lap Pool                                   |  | No                                   |
| Recreation Pool                            |  | No                                   |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Park Buildings</b>                      |  |                                      |
| Restroom Building                          |  | No                                   |
| Ramada                                     |  | Yes (30' x 30')                      |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Miscellaneous Park Facilities</b>       |  |                                      |
| Barbecue Grill(s)                          |  | Yes                                  |
| Picnic Tables / Benches                    |  | Benches / Picnic Tables / BBQ Grills |
| Other                                      |  | Horeshoe Pits / Drinking Fountain    |
|                                            |  |                                      |
| <b>On-Site Parking</b>                     |  |                                      |
| Parking Spaces                             |  | None                                 |
|                                            |  |                                      |



## Gladden Farms (North Brabant Drive) Recreation Area

|                                            |  |                                      |
|--------------------------------------------|--|--------------------------------------|
| <b>General</b>                             |  |                                      |
| Location (Mailing Address)                 |  | None Assigned                        |
| Location (Closest Assigned Street Address) |  | 12668 North Brabant Drive, Marana    |
| Location (T-R-S)                           |  | Section 34 (T11S-R11E)               |
| Assessor's Parcel Number                   |  | 217562430                            |
| Owner                                      |  | Gladden Farms Community Association  |
| Size (Site)                                |  | 1.72 Acres                           |
| Size (Developed)                           |  | 1.72 Acres                           |
|                                            |  |                                      |
| <b>Utility Services</b>                    |  |                                      |
| Potable Water                              |  | Yes                                  |
| Reclaimed Water                            |  | No                                   |
| Sanitary Sewer                             |  | No                                   |
| Electric                                   |  | Yes                                  |
|                                            |  |                                      |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                      |
| Turf Grass Practice Fields                 |  | No                                   |
| Turf Grass Play Areas                      |  | Yes                                  |
|                                            |  |                                      |
| <b>Courts</b>                              |  |                                      |
| Full-Size Court with Lights                |  | No                                   |
| Full-Size Court without Lights             |  | No                                   |
| Half-Size Court with Lights                |  | No                                   |
| Half-Size Court without Lights             |  | No                                   |
|                                            |  |                                      |
| <b>Playgrounds and Play Structures</b>     |  |                                      |
| Playground - 2-5 Year Structure            |  | No                                   |
| Playground - 5-12 Year Structure           |  | Yes                                  |
| Shade Canopy                               |  | Yes                                  |
|                                            |  |                                      |
| <b>Aquatic Facilities</b>                  |  |                                      |
| Lap Pool                                   |  | No                                   |
| Recreation Pool                            |  | No                                   |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Park Buildings</b>                      |  |                                      |
| Restroom Building                          |  | No                                   |
| Ramada                                     |  | Yes (30' x 30')                      |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Miscellaneous Park Facilities</b>       |  |                                      |
| Barbecue Grill(s)                          |  | Yes                                  |
| Picnic Tables / Benches                    |  | Benches / Picnic Tables / BBQ Grills |
| Other                                      |  | Horeshoe Pits / Drinking Fountain    |
|                                            |  |                                      |
| <b>On-Site Parking</b>                     |  |                                      |
| Parking Spaces                             |  | None                                 |
|                                            |  |                                      |



## Gladden Farms (North Stone Ring Drive) Recreation Area

|                                            |  |                                      |
|--------------------------------------------|--|--------------------------------------|
| <b>General</b>                             |  |                                      |
| Location (Mailing Address)                 |  | None Assigned                        |
| Location (Closest Assigned Street Address) |  | 12613 North Stone Ring Drive, Marana |
| Location (T-R-S)                           |  | Section 34 (T11S-R11E)               |
| Assessor's Parcel Number                   |  | 217535240                            |
| Owner                                      |  | Gladden Farms Community Association  |
| Size (Site)                                |  | 1.87 Acres                           |
| Size (Developed)                           |  | 1.87 Acres                           |
|                                            |  |                                      |
| <b>Utility Services</b>                    |  |                                      |
| Potable Water                              |  | Yes                                  |
| Reclaimed Water                            |  | No                                   |
| Sanitary Sewer                             |  | No                                   |
| Electric                                   |  | Yes                                  |
|                                            |  |                                      |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                      |
| Turf Grass Practice Fields                 |  | No                                   |
| Turf Grass Play Areas                      |  | Yes                                  |
|                                            |  |                                      |
| <b>Courts</b>                              |  |                                      |
| Full-Size Court with Lights                |  | No                                   |
| Full-Size Court without Lights             |  | No                                   |
| Half-Size Court with Lights                |  | No                                   |
| Half-Size Court without Lights             |  | No                                   |
|                                            |  |                                      |
| <b>Playgrounds and Play Structures</b>     |  |                                      |
| Playground - 2-5 Year Structure            |  | No                                   |
| Playground - 5-12 Year Structure           |  | Yes                                  |
| Shade Canopy                               |  | Yes                                  |
|                                            |  |                                      |
| <b>Aquatic Facilities</b>                  |  |                                      |
| Lap Pool                                   |  | No                                   |
| Recreation Pool                            |  | No                                   |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Park Buildings</b>                      |  |                                      |
| Restroom Building                          |  | No                                   |
| Ramada                                     |  | Yes (20' x 20')                      |
| Other                                      |  | No                                   |
|                                            |  |                                      |
| <b>Miscellaneous Park Facilities</b>       |  |                                      |
| Barbecue Grill(s)                          |  | Yes                                  |
| Picnic Tables / Benches                    |  | Benches / Picnic Tables              |
| Other                                      |  | Horeshoe Pits / Drinking Fountain    |
|                                            |  |                                      |
| <b>On-Site Parking</b>                     |  |                                      |
| Parking Spaces                             |  | None                                 |
|                                            |  |                                      |



## Gladden Farms (North Starthroat Drive) Recreation Area

| <b>General</b>                             |  |                                      |
|--------------------------------------------|--|--------------------------------------|
| Location (Mailing Address)                 |  | None Assigned                        |
| Location (Closest Assigned Street Address) |  | 12381 North Starthroat Drive, Marana |
| Location (T-R-S)                           |  | Section 34 (T11S-R11E)               |
| Assessor's Parcel Number                   |  | 217573650                            |
| Owner                                      |  | Gladden Farms Community Association  |
| Size (Site)                                |  | 1.24 Acres                           |
| Size (Developed)                           |  | 1.24 Acres                           |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Utility Services</b>                    |  |                                      |
| Potable Water                              |  | Yes                                  |
| Reclaimed Water                            |  | No                                   |
| Sanitary Sewer                             |  | No                                   |
| Electric                                   |  | Yes                                  |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                      |
| Turf Grass Practice Fields                 |  | No                                   |
| Turf Grass Play Areas                      |  | Yes                                  |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Courts</b>                              |  |                                      |
| Full-Size Court with Lights                |  | No                                   |
| Full-Size Court without Lights             |  | No                                   |
| Half-Size Court with Lights                |  | No                                   |
| Half-Size Court without Lights             |  | No                                   |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Playgrounds and Play Structures</b>     |  |                                      |
| Playground - 2-5 Year Structure            |  | No                                   |
| Playground - 5-12 Year Structure           |  | Yes                                  |
| Shade Canopy                               |  | Yes                                  |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Aquatic Facilities</b>                  |  |                                      |
| Lap Pool                                   |  | No                                   |
| Recreation Pool                            |  | No                                   |
| Other                                      |  | No                                   |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Park Buildings</b>                      |  |                                      |
| Restroom Building                          |  | No                                   |
| Ramada                                     |  | Yes (20' x 20')                      |
| Other                                      |  | No                                   |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>Miscellaneous Park Facilities</b>       |  |                                      |
| Barbecue Grill(s)                          |  | Yes                                  |
| Picnic Tables / Benches                    |  | Benches / Picnic Tables              |
| Other                                      |  | Hoeshoe Pits / Drinking Fountain     |
|                                            |  |                                      |
|                                            |  |                                      |
| <b>On-Site Parking</b>                     |  |                                      |
| Parking Spaces                             |  | None                                 |
|                                            |  |                                      |
|                                            |  |                                      |



## Gladden Farms (Lon Adams Road / Internal) Detention Basin / Recreation Area

|                                                                                     |  |                                     |                                         |  |     |
|-------------------------------------------------------------------------------------|--|-------------------------------------|-----------------------------------------|--|-----|
| <b>General</b>                                                                      |  |                                     |                                         |  |     |
| Location (Mailing Address)                                                          |  | None Assigned                       |                                         |  |     |
| Location (Closest Assigned Street Address)                                          |  | 12751 North Lon Adams Road          |                                         |  |     |
| Location (T-R-S)                                                                    |  | Section 34 (T11S-R11E)              |                                         |  |     |
| Assessor's Parcel Number                                                            |  | 21753048A                           |                                         |  |     |
| Owner                                                                               |  | Gladden Farms Community Association |                                         |  |     |
| Size (Site)                                                                         |  | 21.96 Acres                         |                                         |  |     |
| Size (Developed)                                                                    |  | 21.96 Acres                         |                                         |  |     |
|  |  |                                     |                                         |  |     |
|                                                                                     |  |                                     | <b>Utility Services</b>                 |  |     |
|                                                                                     |  |                                     | Potable Water                           |  | Yes |
|                                                                                     |  |                                     | Reclaimed Water                         |  | No  |
|                                                                                     |  |                                     | Sanitary Sewer                          |  | Yes |
|                                                                                     |  |                                     | Electric                                |  | No  |
|                                                                                     |  |                                     | <b>Fields and Turf Grass Play Areas</b> |  |     |
|                                                                                     |  |                                     | Turf Grass Practice Fields              |  | No  |
|                                                                                     |  |                                     | Turf Grass Play Areas                   |  | Yes |
|                                                                                     |  |                                     | <b>Courts</b>                           |  |     |
| Full-Size Court with Lights                                                         |  | No                                  |                                         |  |     |
| Full-Size Court without Lights                                                      |  | No                                  |                                         |  |     |
| Half-Size Court with Lights                                                         |  | No                                  |                                         |  |     |
| Half-Size Court without Lights                                                      |  | No                                  |                                         |  |     |
| <b>Playgrounds and Play Structures</b>                                              |  |                                     |                                         |  |     |
| Playground - 2-5 Year Structure                                                     |  | No                                  |                                         |  |     |
| Playground - 5-12 Year Structure                                                    |  | No                                  |                                         |  |     |
| Shade Canopy                                                                        |  |                                     |                                         |  |     |
| <b>Aquatic Facilities</b>                                                           |  |                                     |                                         |  |     |
| Lap Pool                                                                            |  | No                                  |                                         |  |     |
| Recreation Pool                                                                     |  | No                                  |                                         |  |     |
| Other                                                                               |  | No                                  |                                         |  |     |
| <b>Park Buildings</b>                                                               |  |                                     |                                         |  |     |
| Restroom Building                                                                   |  | No                                  |                                         |  |     |
| Ramada                                                                              |  | No                                  |                                         |  |     |
| Other                                                                               |  | No                                  |                                         |  |     |
| <b>Miscellaneous Park Facilities</b>                                                |  |                                     |                                         |  |     |
| Barbecue Grill(s)                                                                   |  | No                                  |                                         |  |     |
| Picnic Tables / Benches                                                             |  | No                                  |                                         |  |     |
| Other                                                                               |  | Walking Paths                       |                                         |  |     |
| <b>On-Site Parking</b>                                                              |  |                                     |                                         |  |     |
| Parking Spaces                                                                      |  | None                                |                                         |  |     |

## Gladden Farms (Moore Road) Detention Basin / Recreation Area

|                                            |  |                                        |
|--------------------------------------------|--|----------------------------------------|
| <b>General</b>                             |  |                                        |
| Location (Mailing Address)                 |  | None Assigned                          |
| Location (Closest Assigned Street Address) |  | 12571 North Lon Adams Road, Marana     |
| Location (T-R-S)                           |  | Section 34 (T11S-R11E)                 |
| Assessor's Parcel Number                   |  | N/A - Parcel is in Public Right-of-Way |
| Owner                                      |  | Town of Marana                         |
| Size (Site)                                |  | N/A                                    |
| Size (Developed)                           |  | N/A                                    |
|                                            |  |                                        |
| <b>Utility Services</b>                    |  |                                        |
| Potable Water                              |  | Yes                                    |
| Reclaimed Water                            |  | No                                     |
| Sanitary Sewer                             |  | No                                     |
| Electric                                   |  | No                                     |
|                                            |  |                                        |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                        |
| Turf Grass Practice Fields                 |  | No                                     |
| Turf Grass Play Areas                      |  | Yes                                    |
|                                            |  |                                        |
| <b>Courts</b>                              |  |                                        |
| Full-Size Court with Lights                |  | No                                     |
| Full-Size Court without Lights             |  | No                                     |
| Half-Size Court with Lights                |  | No                                     |
| Half-Size Court without Lights             |  | No                                     |
|                                            |  |                                        |
| <b>Playgrounds and Play Structures</b>     |  |                                        |
| Playground - 2-5 Year Structure            |  | No                                     |
| Playground - 5-12 Year Structure           |  | No                                     |
| Shade Canopy                               |  | No                                     |
|                                            |  |                                        |
| <b>Aquatic Facilities</b>                  |  |                                        |
| Lap Pool                                   |  | No                                     |
| Recreation Pool                            |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>Park Buildings</b>                      |  |                                        |
| Restroom Building                          |  | No                                     |
| Ramada                                     |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>Miscellaneous Park Facilities</b>       |  |                                        |
| Barbecue Grill(s)                          |  | No                                     |
| Picnic Tables / Benches                    |  | Benches                                |
| Other                                      |  | Walking Paths                          |
|                                            |  |                                        |
| <b>On-Site Parking</b>                     |  |                                        |
| Parking Spaces                             |  | None                                   |
|                                            |  |                                        |







## Rancho Marana (Pocatella Drive North) Detention Basin / Recreation Area

|                                            |  |                                        |
|--------------------------------------------|--|----------------------------------------|
| <b>General</b>                             |  |                                        |
| Location (Mailing Address)                 |  | None Assigned                          |
| Location (Closest Assigned Street Address) |  | 12911 North Pocatella Drive            |
| Location (T-R-S)                           |  | Section 28 (T11S-R11E)                 |
| Assessor's Parcel Number                   |  | N/A - Parcel is in Public Right-of-Way |
| Owner                                      |  | Town of Marana                         |
| Size (Site)                                |  | N/A                                    |
| Size (Developed)                           |  | N/A                                    |
|                                            |  |                                        |
| <b>Utility Services</b>                    |  |                                        |
| Potable Water                              |  | Yes                                    |
| Reclaimed Water                            |  | No                                     |
| Sanitary Sewer                             |  | No                                     |
| Electric                                   |  | No                                     |
|                                            |  |                                        |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                        |
| Turf Grass Practice Fields                 |  | No                                     |
| Turf Grass Play Areas                      |  | Yes                                    |
|                                            |  |                                        |
| <b>Courts</b>                              |  |                                        |
| Full-Size Court with Lights                |  | No                                     |
| Full-Size Court without Lights             |  | No                                     |
| Half-Size Court with Lights                |  | No                                     |
| Half-Size Court without Lights             |  | No                                     |
|                                            |  |                                        |
| <b>Playgrounds and Play Structures</b>     |  |                                        |
| Playground - 2-5 Year Structure            |  | No                                     |
| Playground - 5-12 Year Structure           |  | No                                     |
| Shade Canopy                               |  | No                                     |
|                                            |  |                                        |
| <b>Aquatic Facilities</b>                  |  |                                        |
| Lap Pool                                   |  | No                                     |
| Recreation Pool                            |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>Park Buildings</b>                      |  |                                        |
| Restroom Building                          |  | No                                     |
| Ramada                                     |  | No                                     |
| Other                                      |  | No                                     |
|                                            |  |                                        |
| <b>Miscellaneous Park Facilities</b>       |  |                                        |
| Barbecue Grill(s)                          |  | No                                     |
| Picnic Tables / Benches                    |  | No                                     |
| Other                                      |  | Walking Paths                          |
|                                            |  |                                        |
| <b>On-Site Parking</b>                     |  |                                        |
| Parking Spaces                             |  | None                                   |
|                                            |  |                                        |



## Yoem Pueblo Recreation Area

|                                            |  |                        |
|--------------------------------------------|--|------------------------|
| <b>General</b>                             |  |                        |
| Location (Mailing Address)                 |  | 11732 West Sewa Voo'o  |
| Location (Closest Assigned Street Address) |  | N/A                    |
| Location (T-R-S)                           |  | Section 27 (T11S-R11E) |
| Assessor's Parcel Number                   |  | 217-370-450            |
| Owner                                      |  | John Shiffer           |
| Size (Site)                                |  | .22 Acres              |
| Size (Developed)                           |  | .22 Acres              |
|                                            |  |                        |
| <b>Utility Services</b>                    |  |                        |
| Potable Water                              |  | Yes                    |
| Reclaimed Water                            |  | No                     |
| Sanitary Sewer                             |  | No                     |
| Electric                                   |  | No                     |
|                                            |  |                        |
| <b>Fields and Turf Grass Play Areas</b>    |  |                        |
| Turf Grass Practice Fields                 |  | No                     |
| Turf Grass Play Areas                      |  | No                     |
|                                            |  |                        |
| <b>Courts</b>                              |  |                        |
| Full-Size Court with Lights                |  | No                     |
| Full-Size Court without Lights             |  | No                     |
| Half-Size Court with Lights                |  | No                     |
| Half-Size Court without Lights             |  | No                     |
|                                            |  |                        |
| <b>Playgrounds and Play Structures</b>     |  |                        |
| Playground - 2-5 Year Structure            |  | No                     |
| Playground - 5-12 Year Structure           |  | Yes                    |
| Shade Canopy                               |  |                        |
|                                            |  |                        |
| <b>Aquatic Facilities</b>                  |  |                        |
| Lap Pool                                   |  | No                     |
| Recreation Pool                            |  | No                     |
| Other                                      |  | No                     |
|                                            |  |                        |
| <b>Park Buildings</b>                      |  |                        |
| Restroom Building                          |  | No                     |
| Ramada                                     |  | Yes (15' x 15')        |
| Other                                      |  | No                     |
|                                            |  |                        |
| <b>Miscellaneous Park Facilities</b>       |  |                        |
| Barbecue Grill(s)                          |  | Yes                    |
| Picnic Tables / Benches                    |  | Benches                |
| Other                                      |  | Drinking Fountain      |
|                                            |  |                        |
| <b>On-Site Parking</b>                     |  |                        |
| Parking Spaces                             |  | No                     |
|                                            |  |                        |



## Willow-Ridge Commons Recreation Area

|                                            |  |                            |
|--------------------------------------------|--|----------------------------|
| <b>General</b>                             |  |                            |
| Location (Mailing Address)                 |  | None Assigned              |
| Location (Closest Assigned Street Address) |  | 8301 North Willow Park Way |
| Location (T-R-S)                           |  | Section 25 (T12S-R12E)     |
| Assessor's Parcel Number                   |  | 221-18-6090                |
| Owner                                      |  | Willow-Ridge Commons HOA   |
| Size (Site)                                |  | .81 Acres                  |
| Size (Developed)                           |  | .81 Acres                  |
|                                            |  |                            |
| <b>Utility Services</b>                    |  |                            |
| Potable Water                              |  | Yes                        |
| Reclaimed Water                            |  | No                         |
| Sanitary Sewer                             |  | No                         |
| Electric                                   |  | No                         |
|                                            |  |                            |
| <b>Fields and Turf Grass Play Areas</b>    |  |                            |
| Turf Grass Practice Fields                 |  | No                         |
| Turf Grass Play Areas                      |  | Yes                        |
|                                            |  |                            |
| <b>Courts</b>                              |  |                            |
| Full-Size Court with Lights                |  | No                         |
| Full-Size Court without Lights             |  | No                         |
| Half-Size Court with Lights                |  | No                         |
| Half-Size Court without Lights             |  | No                         |
|                                            |  |                            |
| <b>Playgrounds and Play Structures</b>     |  |                            |
| Playground - 2-5 Year Structure            |  | No                         |
| Playground - 5-12 Year Structure           |  | Yes                        |
| Shade Canopy                               |  | No                         |
|                                            |  |                            |
| <b>Aquatic Facilities</b>                  |  |                            |
| Lap Pool                                   |  | No                         |
| Recreation Pool                            |  | No                         |
| Other                                      |  | No                         |
|                                            |  |                            |
| <b>Park Buildings</b>                      |  |                            |
| Restroom Building                          |  | No                         |
| Ramada                                     |  | Yes (20' x 20')            |
| Other                                      |  | No                         |
|                                            |  |                            |
| <b>Miscellaneous Park Facilities</b>       |  |                            |
| Barbecue Grill(s)                          |  | Yes                        |
| Picnic Tables / Benches                    |  | Yes                        |
| Other                                      |  | No                         |
|                                            |  |                            |
| <b>On-Site Parking</b>                     |  |                            |
| Parking Spaces                             |  | No                         |
|                                            |  |                            |



## San Lucas (West Anasazi Passage Street) Recreation Area

|                                            |  |                                            |
|--------------------------------------------|--|--------------------------------------------|
| <b>General</b>                             |  |                                            |
| Location (Mailing Address)                 |  | None Assigned                              |
| Location (Closest Assigned Street Address) |  | 11495 West Anasazi Passage Street          |
| Location (T-R-S)                           |  | Section 22 (T11S-R11E)                     |
| Assessor's Parcel Number                   |  | 217-27-7530                                |
| Owner                                      |  | Title Security Agency of Arizona Trust 965 |
| Size (Site)                                |  | .49 Acres                                  |
| Size (Developed)                           |  | .49 Acres                                  |
|                                            |  |                                            |
| <b>Utility Services</b>                    |  |                                            |
| Potable Water                              |  | Yes                                        |
| Reclaimed Water                            |  | No                                         |
| Sanitary Sewer                             |  | No                                         |
| Electric                                   |  | No                                         |
|                                            |  |                                            |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                            |
| Turf Grass Practice Fields                 |  | No                                         |
| Turf Grass Play Areas                      |  | Yes                                        |
|                                            |  |                                            |
| <b>Courts</b>                              |  |                                            |
| Full-Size Court with Lights                |  | No                                         |
| Full-Size Court without Lights             |  | No                                         |
| Half-Size Court with Lights                |  | No                                         |
| Half-Size Court without Lights             |  | No                                         |
|                                            |  |                                            |
| <b>Playgrounds and Play Structures</b>     |  |                                            |
| Playground - 2-5 Year Structure            |  | No                                         |
| Playground - 5-12 Year Structure           |  | Yes                                        |
| Shade Canopy                               |  | Yes                                        |
|                                            |  |                                            |
| <b>Aquatic Facilities</b>                  |  |                                            |
| Lap Pool                                   |  | No                                         |
| Recreation Pool                            |  | No                                         |
| Other                                      |  | No                                         |
|                                            |  |                                            |
| <b>Park Buildings</b>                      |  |                                            |
| Restroom Building                          |  | No                                         |
| Ramada                                     |  | Yes (10' x 10')                            |
| Other                                      |  | No                                         |
|                                            |  |                                            |
| <b>Miscellaneous Park Facilities</b>       |  |                                            |
| Barbecue Grill(s)                          |  | Yes                                        |
| Picnic Tables / Benches                    |  | Yes                                        |
| Other                                      |  | Drinking Fountain                          |
|                                            |  |                                            |
| <b>On-Site Parking</b>                     |  |                                            |
| Parking Spaces                             |  | No                                         |
|                                            |  |                                            |



## San Lucas (West Pipestone Street) Recreation Area

|                                            |  |                                       |
|--------------------------------------------|--|---------------------------------------|
| <b>General</b>                             |  |                                       |
| Location (Mailing Address)                 |  | None Assigned                         |
| Location (Closest Assigned Street Address) |  | 11436 West Pipestone Street           |
| Location (T-R-S)                           |  | Section 22 (T115-R11E)                |
| Assessor's Parcel Number                   |  | 217-27-3110                           |
| Owner                                      |  | Fidelity National Title - Trust 60365 |
| Size (Site)                                |  | 2 Acres                               |
| Size (Developed)                           |  | 2 Acres                               |
|                                            |  |                                       |
| <b>Utility Services</b>                    |  |                                       |
| Potable Water                              |  | Yes                                   |
| Reclaimed Water                            |  | No                                    |
| Sanitary Sewer                             |  | No                                    |
| Electric                                   |  | No                                    |
|                                            |  |                                       |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                       |
| Turf Grass Practice Fields                 |  | No                                    |
| Turf Grass Play Areas                      |  | Yes                                   |
|                                            |  |                                       |
| <b>Courts</b>                              |  |                                       |
| Full-Size Court with Lights                |  | No                                    |
| Full-Size Court without Lights             |  | No                                    |
| Half-Size Court with Lights                |  | No                                    |
| Half-Size Court without Lights             |  | No                                    |
|                                            |  |                                       |
| <b>Playgrounds and Play Structures</b>     |  |                                       |
| Playground - 2-5 Year Structure            |  | No                                    |
| Playground - 5-12 Year Structure           |  | Yes                                   |
| Shade Canopy                               |  | Yes                                   |
|                                            |  |                                       |
| <b>Aquatic Facilities</b>                  |  |                                       |
| Lap Pool                                   |  | No                                    |
| Recreation Pool                            |  | No                                    |
| Other                                      |  | No                                    |
|                                            |  |                                       |
| <b>Park Buildings</b>                      |  |                                       |
| Restroom Building                          |  | No                                    |
| Ramada                                     |  | Yes (10' x 10')                       |
| Other                                      |  | No                                    |
|                                            |  |                                       |
| <b>Miscellaneous Park Facilities</b>       |  |                                       |
| Barbecue Grill(s)                          |  | Yes                                   |
| Picnic Tables / Benches                    |  | Yes                                   |
| Other                                      |  | Drinking Fountain                     |
|                                            |  |                                       |
| <b>On-Site Parking</b>                     |  |                                       |
| Parking Spaces                             |  | No                                    |
|                                            |  |                                       |





## Continental Ranch (West Phobos Drive) Recreation Area

| General                                    |  |                                         |
|--------------------------------------------|--|-----------------------------------------|
| Location (Mailing Address)                 |  | None Assigned                           |
| Location (Closest Assigned Street Address) |  | 7536 West Phobos Drive, Marana          |
| Location (T-R-S)                           |  | Section 16 (T12S-R12E)                  |
| Assessor's Parcel Number                   |  | 226073960                               |
| Owner                                      |  | Continental Ranch Community Association |
| Size (Site)                                |  | 0.93 Acres                              |
| Size (Developed)                           |  | 0.93 Acres                              |
| <b>Utility Services</b>                    |  |                                         |
| Potable Water                              |  | Yes (Irrigation)                        |
| Reclaimed Water                            |  | No                                      |
| Sanitary Sewer                             |  | No                                      |
| Electric                                   |  | No                                      |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                         |
| Turf Grass Practice Fields                 |  | No                                      |
| Turf Grass Play Areas                      |  | No                                      |
| <b>Courts</b>                              |  |                                         |
| Full-Size Court with Lights                |  | No                                      |
| Full-Size Court without Lights             |  | No                                      |
| Half-Size Court with Lights                |  | No                                      |
| Half-Size Court without Lights             |  | No                                      |
| <b>Playgrounds and Play Structures</b>     |  |                                         |
| Playground - 2-5 Year Structure            |  | No                                      |
| Playground - 5-12 Year Structure           |  | No                                      |
| Shade Canopy                               |  | No                                      |
| <b>Aquatic Facilities</b>                  |  |                                         |
| Lap Pool                                   |  | No                                      |
| Recreation Pool                            |  | No                                      |
| Other                                      |  | No                                      |
| <b>Park Buildings</b>                      |  |                                         |
| Restroom Building                          |  | No                                      |
| Ramada                                     |  | No                                      |
| Other                                      |  | No                                      |
| <b>Miscellaneous Park Facilities</b>       |  |                                         |
| Barbecue Grill(s)                          |  | No                                      |
| Picnic Tables / Benches                    |  | Benches                                 |
| Other                                      |  | Path                                    |
| <b>On-Site Parking</b>                     |  |                                         |
| Parking Spaces                             |  | None                                    |



## Countryside Ridge Recreation Area

|                                            |  |                                    |                                                                                     |
|--------------------------------------------|--|------------------------------------|-------------------------------------------------------------------------------------|
| <b>General</b>                             |  |                                    |  |
| Location (Mailing Address)                 |  | None Assigned                      |                                                                                     |
| Location (Closest Assigned Street Address) |  | 9524 Marsh Wren Place              |                                                                                     |
| Location (T-R-S)                           |  | Section 24 (T12S-R12E)             |                                                                                     |
| Assessor's Parcel Number                   |  | 221100980                          |                                                                                     |
| Owner                                      |  | Countryside Ridge Homeowners Assoc |                                                                                     |
| Size (Site)                                |  | 2.05 Acres                         |                                                                                     |
| Size (Developed)                           |  | 0.44                               |                                                                                     |
|                                            |  |                                    |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Utility Services</b>                    |  |                                    |                                                                                     |
| Potable Water                              |  | Yes                                |                                                                                     |
| Reclaimed Water                            |  | No                                 |                                                                                     |
| Sanitary Sewer                             |  | No                                 |                                                                                     |
| Electric                                   |  | Yes                                |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                    |                                                                                     |
| Turf Grass Practice Fields                 |  | No                                 |                                                                                     |
| Turf Grass Play Areas                      |  | Yes                                |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Courts</b>                              |  |                                    |                                                                                     |
| Full-Size Court with Lights                |  | No                                 |                                                                                     |
| Full-Size Court without Lights             |  | No                                 |                                                                                     |
| Half-Size Court with Lights                |  | Yes                                |                                                                                     |
| Half-Size Court without Lights             |  | No                                 |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Playgrounds and Play Structures</b>     |  |                                    |                                                                                     |
| Playground - 2-5 Year Structure            |  | No                                 |                                                                                     |
| Playground - 5-12 Year Structure           |  | Yes                                |                                                                                     |
| Shade Canopy                               |  | No                                 |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Aquatic Facilities</b>                  |  |                                    |                                                                                     |
| Lap Pool                                   |  | No                                 |                                                                                     |
| Recreation Pool                            |  | No                                 |                                                                                     |
| Other                                      |  | No                                 |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Park Buildings</b>                      |  |                                    |                                                                                     |
| Restroom Building                          |  | No                                 |                                                                                     |
| Ramada                                     |  | Yes (10' x 8')                     |                                                                                     |
| Other                                      |  | No                                 |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>Miscellaneous Park Facilities</b>       |  |                                    |                                                                                     |
| Barbecue Grill(s)                          |  | No                                 |                                                                                     |
| Picnic Tables / Benches                    |  | Yes                                |                                                                                     |
| Other                                      |  | Drinking Fountain                  |                                                                                     |
|                                            |  |                                    |                                                                                     |
| <b>On-Site Parking</b>                     |  |                                    |                                                                                     |
| Parking Spaces                             |  | No                                 |                                                                                     |
|                                            |  |                                    |                                                                                     |

## Hartman Vistas Recreation Area

|                                            |  |                                       |                                                                                     |
|--------------------------------------------|--|---------------------------------------|-------------------------------------------------------------------------------------|
| <b>General</b>                             |  |                                       |  |
| Location (Mailing Address)                 |  | None Assigned                         |                                                                                     |
| Location (Closest Assigned Street Address) |  | 9300 Grizzley Flats Place             |                                                                                     |
| Location (T-R-S)                           |  | Section 23 (T12S-R12E)                |                                                                                     |
| Assessor's Parcel Number                   |  | 221063990                             |                                                                                     |
| Owner                                      |  | Hartman Vistas Homeowners Assoc       |                                                                                     |
| Size (Site)                                |  | 5.17                                  |                                                                                     |
| Size (Developed)                           |  | 0.87                                  |                                                                                     |
| <b>Utility Services</b>                    |  |                                       |                                                                                     |
| Potable Water                              |  | Yes - Irrigation                      |                                                                                     |
| Reclaimed Water                            |  | No                                    |                                                                                     |
| Sanitary Sewer                             |  | No                                    |                                                                                     |
| Electric                                   |  | No                                    |                                                                                     |
| <b>Fields and Turf Grass Play Areas</b>    |  |                                       |                                                                                     |
| Turf Grass Practice Fields                 |  | No                                    |                                                                                     |
| Turf Grass Play Areas                      |  | No                                    |                                                                                     |
| <b>Courts</b>                              |  |                                       |                                                                                     |
| Full-Size Court with Lights                |  | No                                    |                                                                                     |
| Full-Size Court without Lights             |  | No                                    |                                                                                     |
| Half-Size Court with Lights                |  | No                                    |                                                                                     |
| Half-Size Court without Lights             |  | Yes                                   |                                                                                     |
| <b>Playgrounds and Play Structures</b>     |  |                                       |                                                                                     |
| Playground - 2-5 Year Structure            |  | No                                    |                                                                                     |
| Playground - 5-12 Year Structure           |  | No                                    |                                                                                     |
| Shade Canopy                               |  | No                                    |                                                                                     |
| <b>Aquatic Facilities</b>                  |  |                                       |                                                                                     |
| Lap Pool                                   |  | No                                    |                                                                                     |
| Recreation Pool                            |  | No                                    |                                                                                     |
| Other                                      |  | No                                    |                                                                                     |
| <b>Park Buildings</b>                      |  |                                       |                                                                                     |
| Restroom Building                          |  | No                                    |                                                                                     |
| Ramada                                     |  | Yes (10' x 8')                        |                                                                                     |
| Other                                      |  | No                                    |                                                                                     |
| <b>Miscellaneous Park Facilities</b>       |  |                                       |                                                                                     |
| Barbecue Grill(s)                          |  | Yes                                   |                                                                                     |
| Picnic Tables / Benches                    |  | Yes                                   |                                                                                     |
| Other                                      |  | Sand Volleyball Court/no poles or net |                                                                                     |
| <b>On-Site Parking</b>                     |  |                                       |                                                                                     |
| Parking Spaces                             |  | No                                    |                                                                                     |





# Marana Parks, Recreation, Trails and Open Space Master Plan

## CONSULTANT TEAM

**PLANet**

**AECOM**

**Coffman Studio**

**Ballard\*King**

**Elliot D. Pollack & Company**

**Behavior Research**

