

The spring season started with little momentum. In March, single-family home sales dipped by 2.5% year-over-year and condo sales fell 22.5%. The median sales price for single-family homes rose to \$1,100,000, marking a 1.5% year-over-year increase. Conversely, the median price for condos dropped to \$500,000, down 6.7% from last March's record-setting price of \$536,000.

Single-family home sales priced \$899,999 and below experienced a modest uptick, with 70 sales, marking a 6.1% increase compared to 66 last March. Meanwhile, the largest decrease in sales volume occurred for single-family homes purchased in the \$900,000 to \$999,999 price range, down 28.1% or 9 sales from a year ago. Condo sales observed an uptick in the \$200,000 to \$399,999 range by 11.8% or 10 sales, but declined sharply in the \$1,000,000 and above range, dropping to 25 from 52 last March, or 51.9%. Sales in the \$400,000 to \$799,999 range also fell by 28.5% year-over-year.

Both single-family homes and condos typically entered contract within one month. Median days on market for single-family homes and condos were 31 and 29 days, respectively. However, single-family homes continued to draw buyers, with 280 pending sales, an 8.5% year-over-year increase. Condo contract signings remained steady compared to last March, with 439 pending sales, a moderate 1.1% decrease.

Pending sales in the \$800,000 to \$999,999 range continued to mark a sizable share for single-family homes, with 81 contract signings this March, growing 15.7% year-over-year. Additionally, condos priced between \$300,000 to \$599,999 contributed nearly 50% of the month's pending sales. For single-family homes, 23% of sales closed above the original asking price compared to 24% last year. Meanwhile, condo sales above asking price decreased to 18% from 21% the same time last year.

New listings in the single-family home market remained nearly steady compared to a year ago, with 291 new listings, a slight 0.7% decline. Meanwhile, condos added 647 new listings, up 22.1%. Overall, new listing volume rose in both markets for the first quarter, with single-family homes up by 9.7% and condos up by 16.2%.

March concluded with a 7.4% increase in active inventory for single-family homes, driven by rises in the upper price range at \$1,600,000 and above, up by 23.2%, and the \$1,000,000 to \$1,599,999 range, up by 9.2%. Conversely, inventory in the \$999,999 and below range declined by 7.5%. In the condo market, active inventory surged by 29.6% year-over-year, with significant increases across most price points, offering buyers more options. The \$300,000 to \$499,999 range skyrocketed 84.9%, with 464 units available, compared to 251 a year ago.

First Quarter

Despite these challenges, first-quarter sales grew 6.1% for single-family homes but fell by 7.1% for condos.

Year-to-date (Q1) median prices reached \$1,070,000 for single-family homes and \$505,000 for condos, a 4.4% and 1.0% year-over-year increase, respectively.

Through the first quarter of 2024, single-family home sales in the \$1,000,000 and above range increased to 340 from 292 in Q1 2023, rising 16.4%. However, single-family homes priced at \$999,999 and below decreased by 5.2%, with 253 sales compared to 267 in the same period last year. For condos, sales in the \$400,000 to \$499,999 range slumped 19.6%, with 164 sales compared to 204 in Q1 2023. Sales volume for condos priced at \$1,000,000 and above also dipped, with 71 sales compared to 102 during the same period last year, a 30.4% drop.



Oahu Monthly Housing Statistics

March 2024



SINGLE-FAMILY HOMES

Median Sales Price	YoY %chg
\$1,100,000	+1.5%
Closed Sales	YoY %chg
230	-2.5%
Average Sales Price	YoY %chg
\$1,380,838	-0.8%

CONDOS

Median Sales Price	YoY %chg
\$500,000	-6.7%
Closed Sales	YoY %chg
344	-22.5%
Average Sales Price	YoY %chg
\$579,500	-11.1%

YoY % chg = year-over-year percent change comparing current month to the same month last year.

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Monthly Indicators

OAHU, HAWAII

March 2024

	Single-Family Homes					Condos				
	Mar-24	Mar-23	YoY %chg	Feb-24	MoM %chg	Mar-24	Mar-23	YoY %chg	Feb-24	MoM %chg
Closed Sales	230	236	-2.5%	179	28.5%	344	444	-22.5%	334	3.0%
Median Sales Price	\$1,100,000	\$1,083,750	1.5%	\$1,075,000	2.3%	\$500,000	\$536,000	-6.7%	\$512,500	-2.4%
Average Sales Price	\$1,380,838	\$1,391,538	-0.8%	\$1,437,693	-4.0%	\$579,500	\$651,630	-11.1%	\$580,274	-0.1%
Median Days on Market	31	36	-13.9%	30	3.3%	29	24	20.8%	39	-25.6%
Percent of Orig. List Price Received	98.3%	96.7%	1.7%	97.8%	0.5%	98.3%	98.5%	-0.2%	97.9%	0.4%
New Listings	291	293	-0.7%	295	-1.4%	647	530	22.1%	533	21.4%
Pending Sales*	280	258	8.5%	269	4.1%	439	444	-1.1%	390	12.6%
Active Inventory*	581	541	7.4%	599	-3.0%	1,493	1,152	29.6%	1,388	7.6%
Total Inventory in Escrow*	448	393	14.0%	416	7.7%	647	602	7.5%	586	10.4%
Months Supply of Active Inventory*	2.7	2.1	28.6%	2.8	-3.6%	4.0	2.4	66.7%	3.6	11.1%

*see footnotes on pages 9-12 regarding methodology updates

YoY % chg = year-over-year percent change comparing current month to the same month last year.
MoM % chg = month-over-month percent change comparing current month to the previous month.

Year-to-Date

	Single-Family Homes					Condos				
	YTD-2024	YTD-2023	1-yr %chg	YTD-2022	2-yr %chg	YTD-2024	YTD-2023	1-yr %chg	YTD-2022	2-yr %chg
Closed Sales	593	559	6.1%	888	-33.2%	970	1,044	-7.1%	1,710	-43.3%
Median Sales Price	\$1,070,000	\$1,025,000	4.4%	\$1,100,000	-2.7%	\$505,000	\$500,000	1.0%	\$510,000	-1.0%
Average Sales Price	\$1,377,753	\$1,335,094	3.2%	\$1,437,670	-4.2%	\$584,486	\$627,071	-6.8%	\$612,642	-4.6%
Median Days on Market	29	36	-19.4%	11	163.6%	32	25	28.0%	11	190.9%
Percent of Orig. List Price Received	98.2%	96.5%	1.8%	101.5%	-3.3%	98.0%	98.3%	-0.3%	100.0%	-2.0%
New Listings	871	794	9.7%	1,099	-20.7%	1,761	1,516	16.2%	2,119	-16.9%
Pending Sales*	769	742	3.6%	1,015	-24.2%	1,205	1,221	-1.3%	1,908	-36.8%

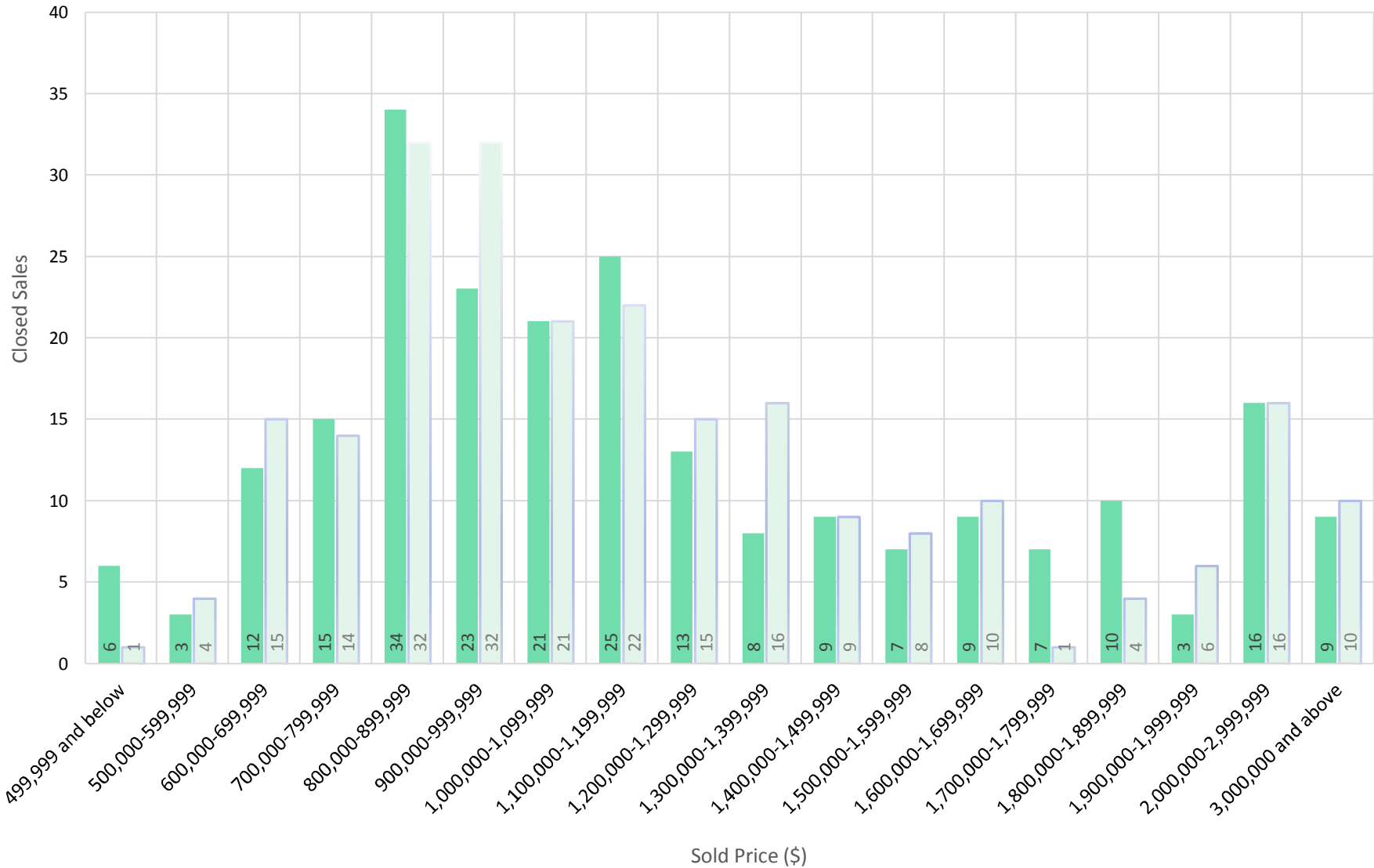
*see footnotes on pages 9-12 regarding methodology updates

1-yr % chg = percent change comparing the current YTD time period to the same YTD time period one year ago.
2-yr % chg = percent change comparing the current YTD time period to the same YTD time period two years ago.

Single-Family Homes Sold

March 2024 vs. March 2023

2024 2023



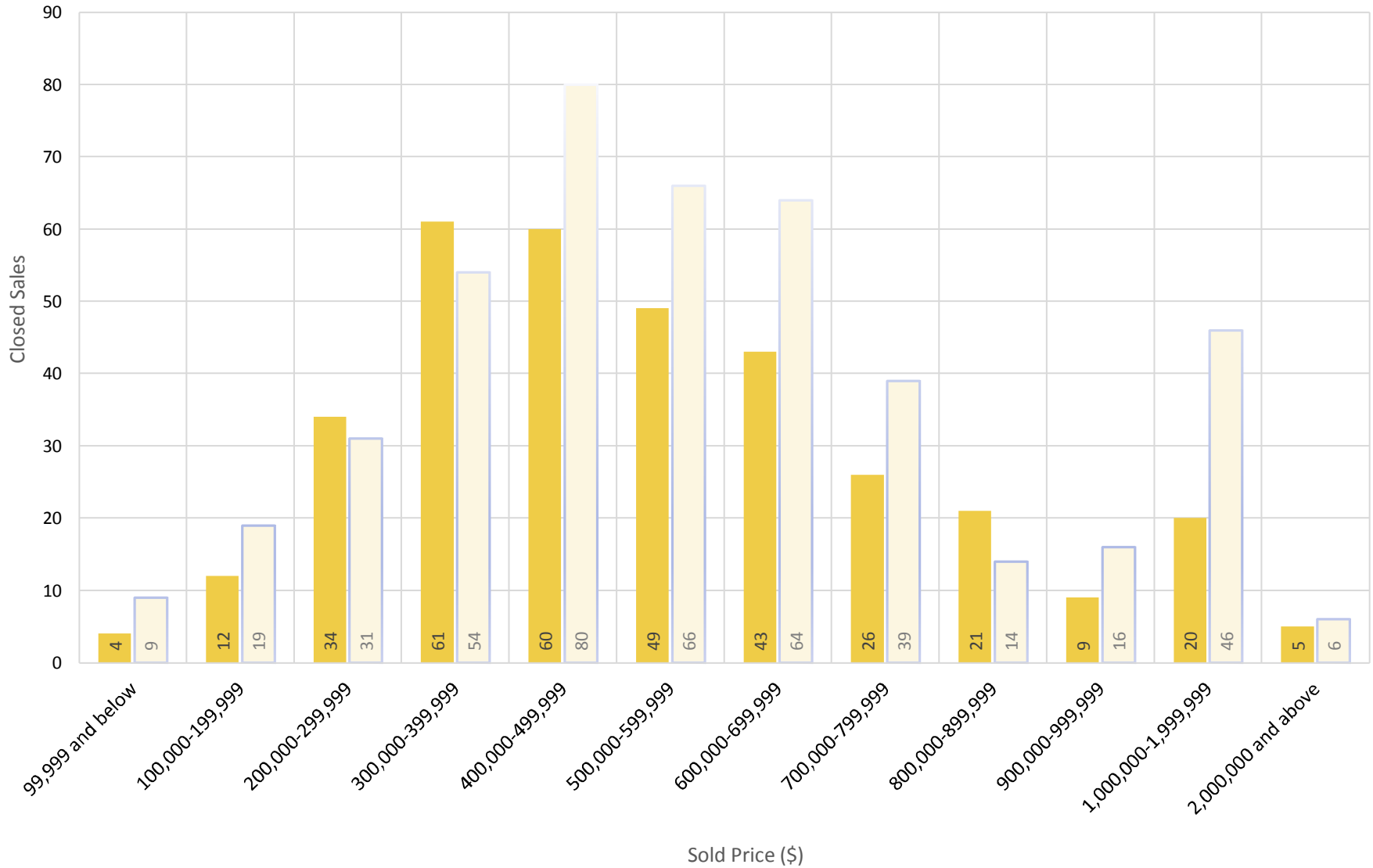
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Condos Sold

March 2024 vs. March 2023

■ 2024 ■ 2023



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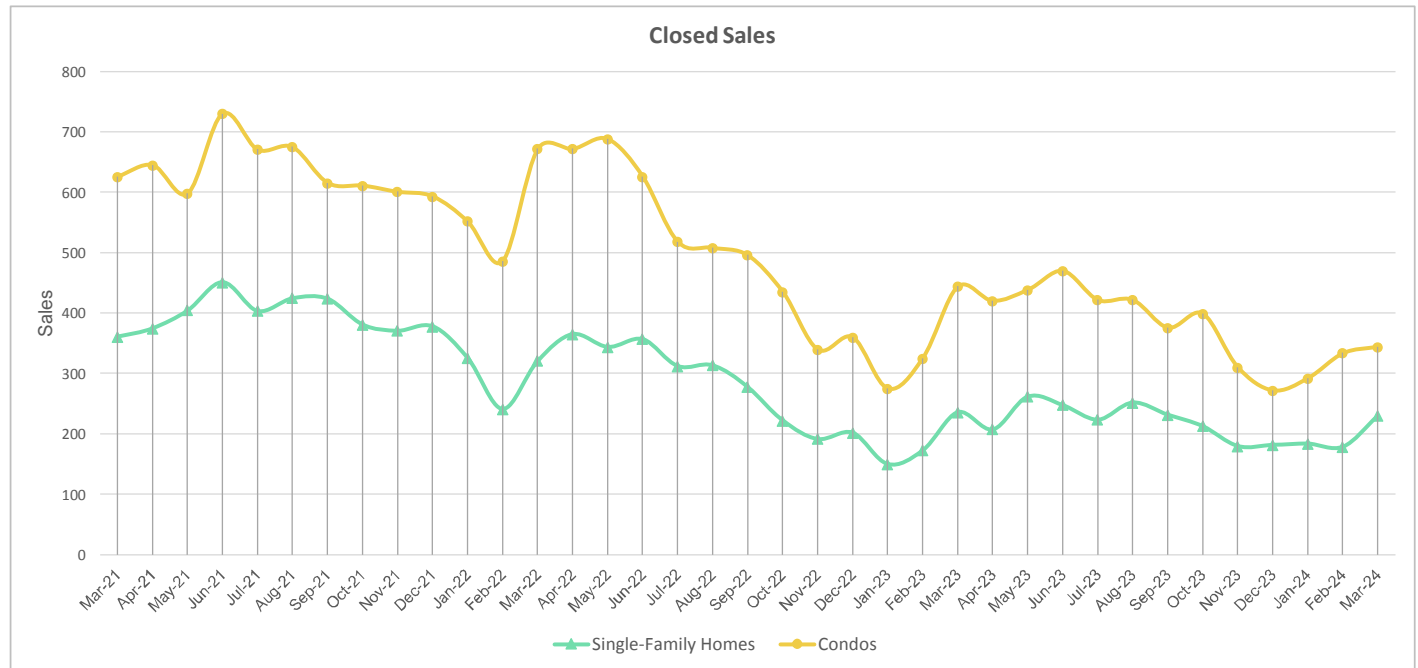
Closed Sales

March 2024

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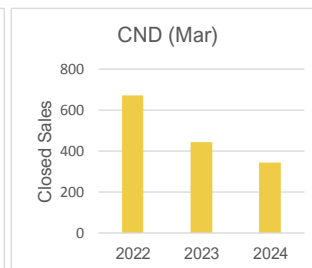
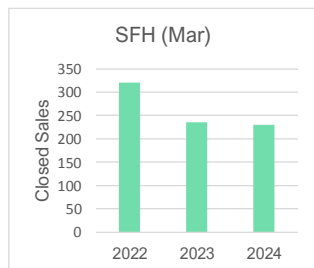
(A count of properties that have closed in a given month)

Mo-Yr	Single-Family Homes	Condos	Total
Mar-21	361	626	987
Apr-21	375	645	1,020
May-21	405	598	1,003
Jun-21	451	730	1,181
Jul-21	404	671	1,075
Aug-21	425	675	1,100
Sep-21	424	615	1,039
Oct-21	381	611	992
Nov-21	371	601	972
Dec-21	378	593	971
Jan-22	326	552	878
Feb-22	241	486	727
Mar-22	321	672	993
Apr-22	365	672	1,037
May-22	344	688	1,032
Jun-22	357	626	983
Jul-22	312	518	830
Aug-22	314	508	822
Sep-22	278	496	774
Oct-22	222	435	657
Nov-22	192	340	532
Dec-22	202	360	562
Jan-23	150	275	425
Feb-23	173	325	498
Mar-23	236	444	680
Apr-23	208	420	628
May-23	262	438	700
Jun-23	248	470	718
Jul-23	224	422	646
Aug-23	252	422	674
Sep-23	232	376	608
Oct-23	213	399	612
Nov-23	180	310	490
Dec-23	182	272	454
Jan-24	184	292	476
Feb-24	179	334	513
Mar-24	230	344	574



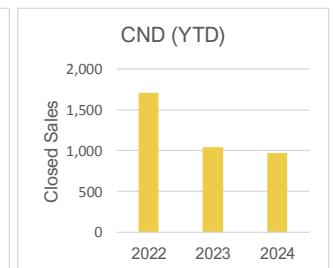
Monthly Closed Sales

Month	SFH	YoY %chg	CND	YoY %chg
March 2022	321	-11.1%	672	7.3%
March 2023	236	-26.5%	444	-33.9%
March 2024	230	-2.5%	344	-22.5%



Year-to-Date Closed Sales

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	888	-2.6%	1,710	16.8%
2023	559	-37.0%	1,044	-38.9%
2024	593	6.1%	970	-7.1%



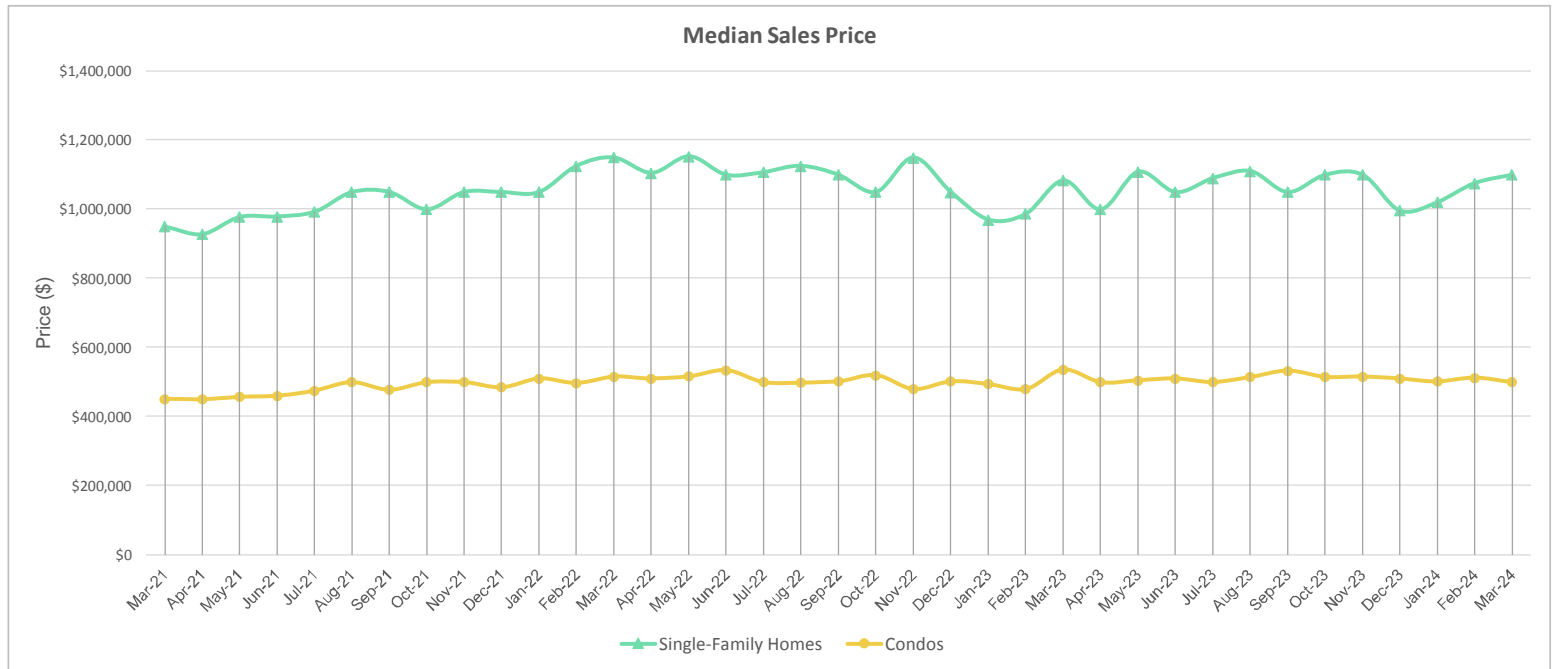
Median Sales Price

March 2024

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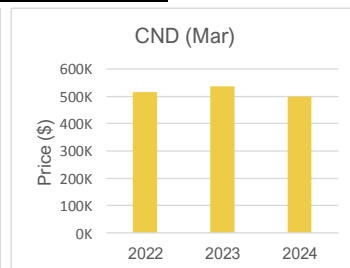
(The median sales price of all closed properties in a given month)

Mo/Yr	Single-Family Homes	Condos
Mar-21	\$950,000	\$451,000
Apr-21	\$928,000	\$450,000
May-21	\$978,000	\$457,750
Jun-21	\$979,000	\$460,000
Jul-21	\$992,500	\$475,000
Aug-21	\$1,050,000	\$500,000
Sep-21	\$1,050,000	\$478,000
Oct-21	\$1,000,000	\$500,000
Nov-21	\$1,050,000	\$500,000
Dec-21	\$1,050,000	\$485,000
Jan-22	\$1,050,000	\$510,000
Feb-22	\$1,125,000	\$497,000
Mar-22	\$1,150,000	\$515,500
Apr-22	\$1,105,000	\$510,000
May-22	\$1,153,500	\$516,500
Jun-22	\$1,100,000	\$534,000
Jul-22	\$1,107,944	\$500,000
Aug-22	\$1,125,500	\$498,500
Sep-22	\$1,100,000	\$502,500
Oct-22	\$1,050,000	\$520,000
Nov-22	\$1,149,500	\$480,000
Dec-22	\$1,049,500	\$502,500
Jan-23	\$970,000	\$495,000
Feb-23	\$987,000	\$480,000
Mar-23	\$1,083,750	\$536,000
Apr-23	\$999,995	\$500,000
May-23	\$1,109,000	\$505,000
Jun-23	\$1,050,000	\$510,000
Jul-23	\$1,090,000	\$500,000
Aug-23	\$1,110,000	\$515,000
Sep-23	\$1,050,000	\$532,500
Oct-23	\$1,100,000	\$515,000
Nov-23	\$1,100,055	\$516,179
Dec-23	\$996,500	\$510,000
Jan-24	\$1,021,016	\$502,500
Feb-24	\$1,075,000	\$512,500
Mar-24	\$1,100,000	\$500,000



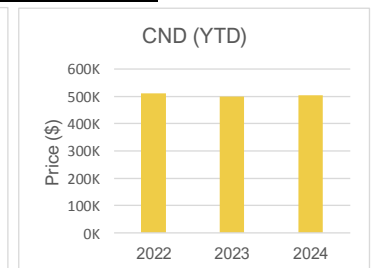
Monthly Median Sales Price

Month	SFH	YoY %chg	CND	YoY %chg
2022	\$1,150,000	21.1%	\$515,500	14.3%
2023	\$1,083,750	-5.8%	\$536,000	4.0%
2024	\$1,100,000	1.5%	\$500,000	-6.7%



Year-to-Date Median Sales Price

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	\$1,100,000	20.2%	\$510,000	12.1%
2023	\$1,025,000	-6.8%	\$500,000	-2.0%
2024	\$1,070,000	4.4%	\$505,000	1.0%



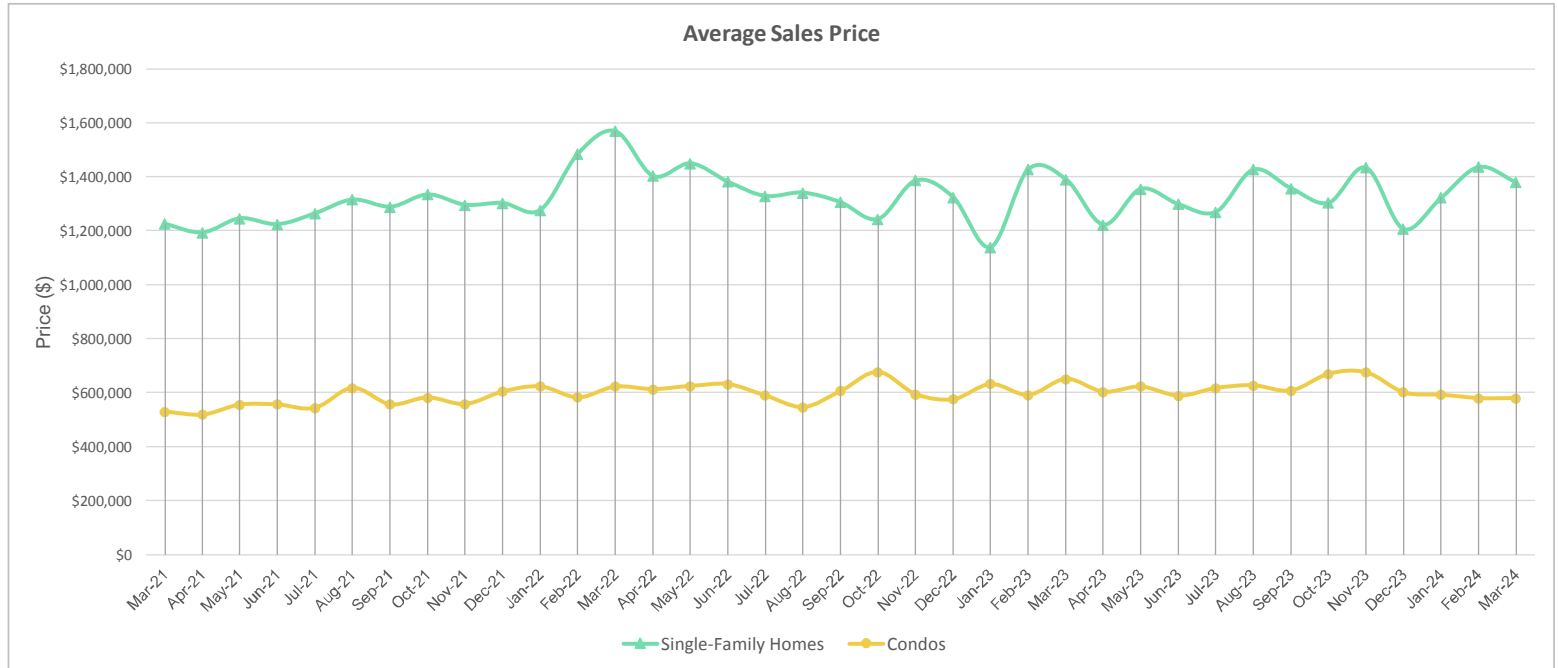
Average Sales Price

March 2024

OAHU, HAWAII

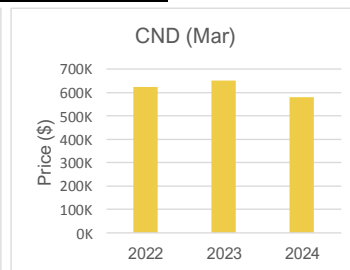
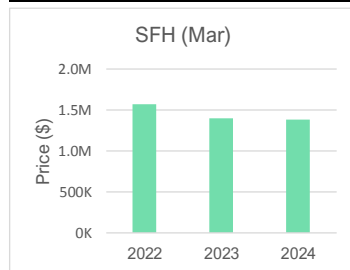
(The average sales price of all closed properties in a given month)

Mo/Yr	Single-Family Homes	Condos
Mar-21	\$1,226,827	\$530,257
Apr-21	\$1,194,150	\$520,192
May-21	\$1,246,611	\$555,798
Jun-21	\$1,225,011	\$557,302
Jul-21	\$1,265,382	\$544,064
Aug-21	\$1,316,681	\$618,612
Sep-21	\$1,289,510	\$558,002
Oct-21	\$1,335,171	\$582,509
Nov-21	\$1,296,551	\$559,007
Dec-21	\$1,303,481	\$604,749
Jan-22	\$1,277,309	\$623,928
Feb-22	\$1,486,088	\$583,367
Mar-22	\$1,570,668	\$623,684
Apr-22	\$1,404,481	\$613,189
May-22	\$1,450,008	\$625,327
Jun-22	\$1,382,559	\$631,822
Jul-22	\$1,329,023	\$590,934
Aug-22	\$1,341,958	\$547,319
Sep-22	\$1,307,249	\$607,502
Oct-22	\$1,243,960	\$676,988
Nov-22	\$1,387,685	\$594,444
Dec-22	\$1,325,156	\$576,689
Jan-23	\$1,139,294	\$633,441
Feb-23	\$1,427,864	\$592,131
Mar-23	\$1,391,538	\$651,630
Apr-23	\$1,223,383	\$603,795
May-23	\$1,355,804	\$623,748
Jun-23	\$1,300,456	\$589,597
Jul-23	\$1,270,421	\$617,683
Aug-23	\$1,427,996	\$628,127
Sep-23	\$1,357,981	\$608,222
Oct-23	\$1,304,757	\$670,805
Nov-23	\$1,434,999	\$676,625
Dec-23	\$1,207,793	\$602,535
Jan-24	\$1,323,172	\$593,630
Feb-24	\$1,437,693	\$580,274
Mar-24	\$1,380,838	\$579,500



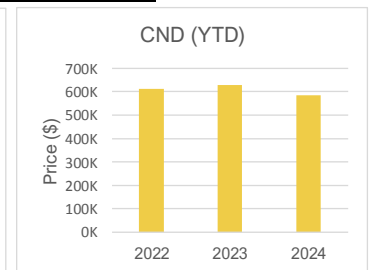
Monthly Average Sales Price

Month	SFH	YoY %chg	CND	YoY %chg
2022	\$1,570,668	28.0%	\$623,684	17.6%
2023	\$1,391,538	-11.4%	\$651,630	4.5%
2024	\$1,380,838	-0.8%	\$579,500	-11.1%



Year-to-Date Average Sales Price

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	\$1,437,670	24.6%	\$612,642	16.6%
2023	\$1,335,094	-7.1%	\$627,071	2.4%
2024	\$1,377,753	3.2%	\$584,486	-6.8%



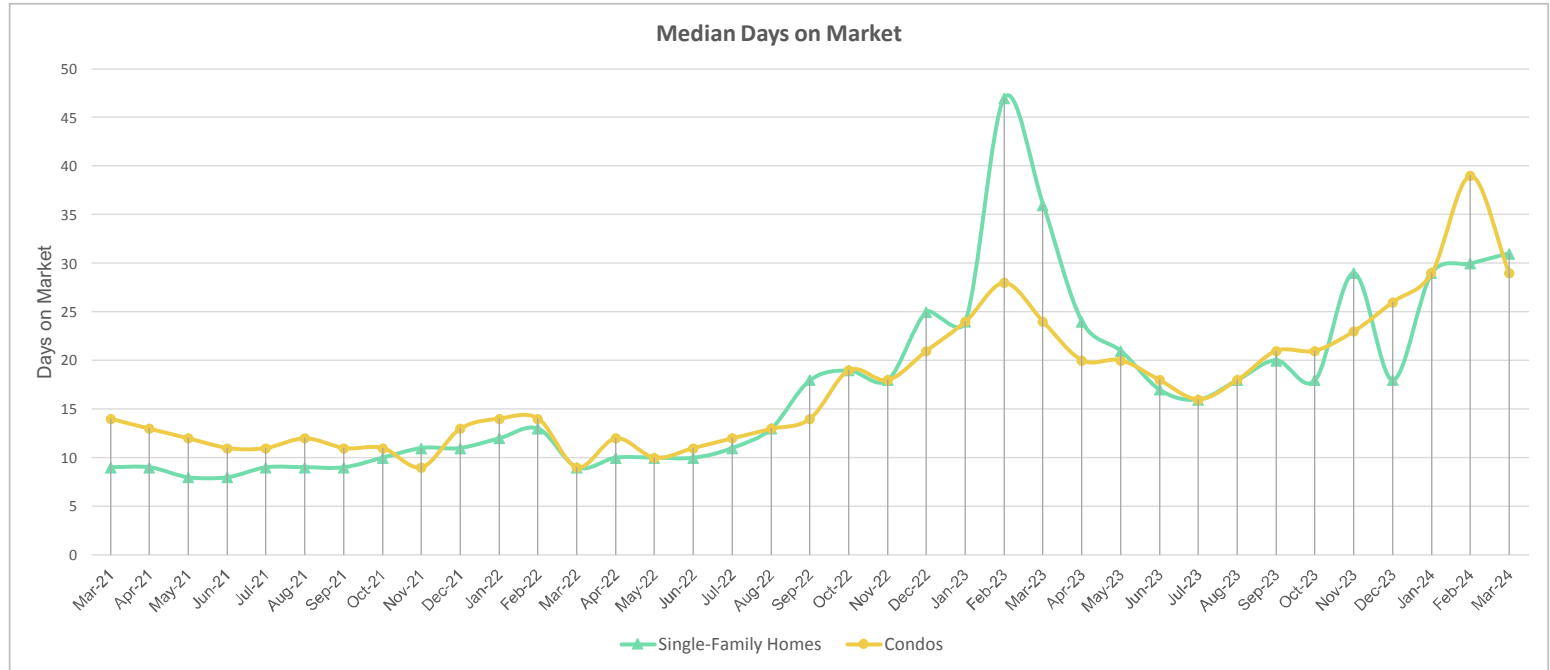
Median Days on Market

March 2024

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(Days on Market represents the number of days from when a property is first listed to when an offer is accepted; the Median Days on Market represents the median of all sales in a given month)

Mo/Yr	Single-Family Homes	Condos
Mar-21	9	14
Apr-21	9	13
May-21	8	12
Jun-21	8	11
Jul-21	9	11
Aug-21	9	12
Sep-21	9	11
Oct-21	10	11
Nov-21	11	9
Dec-21	11	13
Jan-22	12	14
Feb-22	13	14
Mar-22	9	9
Apr-22	10	12
May-22	10	10
Jun-22	10	11
Jul-22	11	12
Aug-22	13	13
Sep-22	18	14
Oct-22	19	19
Nov-22	18	18
Dec-22	25	21
Jan-23	24	24
Feb-23	47	28
Mar-23	36	24
Apr-23	24	20
May-23	21	20
Jun-23	17	18
Jul-23	16	16
Aug-23	18	18
Sep-23	20	21
Oct-23	18	21
Nov-23	29	23
Dec-23	18	26
Jan-24	29	29
Feb-24	30	39
Mar-24	31	29

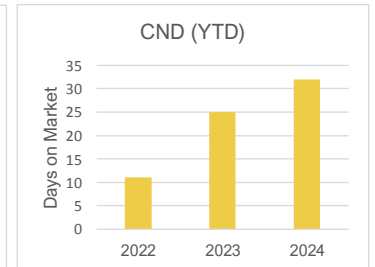
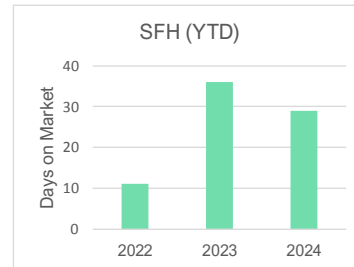
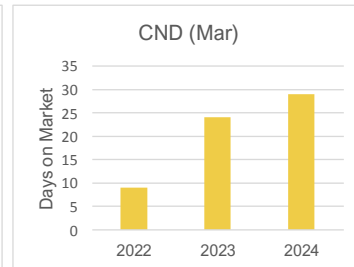
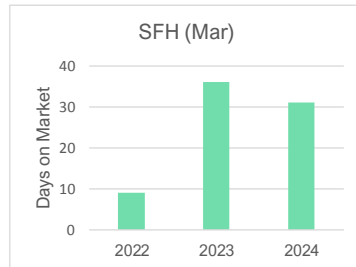


Monthly Median Days on Market

Month	SFH	YoY %chg	CND	YoY %chg
March 2022	9	0.0%	9	-35.7%
March 2023	36	300.0%	24	166.7%
March 2024	31	-13.9%	29	20.8%

Year-to-Date Median Days on Market

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	11	22.2%	11	-35.3%
2023	36	227.3%	25	127.3%
2024	29	-19.4%	32	28.0%



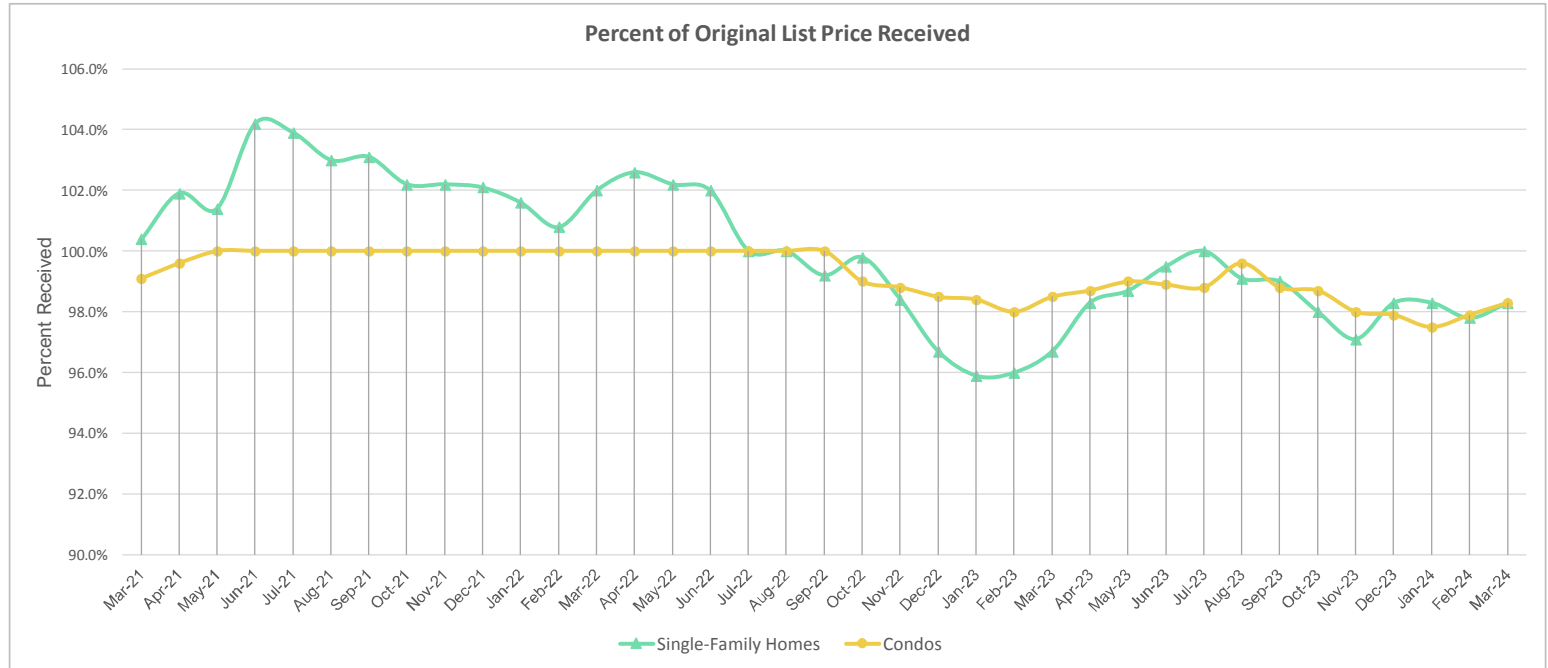
Percent of Original List Price Received

March 2024

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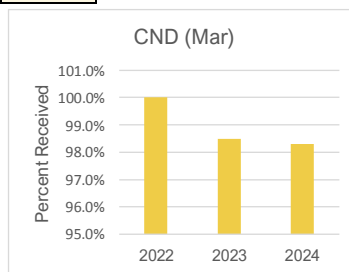
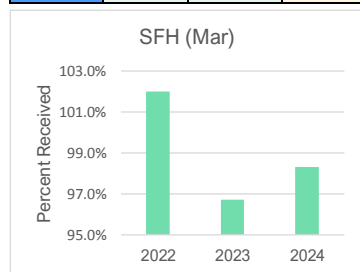
(The percentage found when dividing a property's sales price by the original list price; reported percentage is the median of all sales for the period indicated)

Mo/Yr	Single-Family Homes	Condos
Mar-21	100.4%	99.1%
Apr-21	101.9%	99.6%
May-21	101.4%	100.0%
Jun-21	104.2%	100.0%
Jul-21	103.9%	100.0%
Aug-21	103.0%	100.0%
Sep-21	103.1%	100.0%
Oct-21	102.2%	100.0%
Nov-21	102.2%	100.0%
Dec-21	102.1%	100.0%
Jan-22	101.6%	100.0%
Feb-22	100.8%	100.0%
Mar-22	102.0%	100.0%
Apr-22	102.6%	100.0%
May-22	102.2%	100.0%
Jun-22	102.0%	100.0%
Jul-22	100.0%	100.0%
Aug-22	100.0%	100.0%
Sep-22	99.2%	100.0%
Oct-22	99.8%	99.0%
Nov-22	98.4%	98.8%
Dec-22	96.7%	98.5%
Jan-23	95.9%	98.4%
Feb-23	96.0%	98.0%
Mar-23	96.7%	98.5%
Apr-23	98.3%	98.7%
May-23	98.7%	99.0%
Jun-23	99.5%	98.9%
Jul-23	100.0%	98.8%
Aug-23	99.1%	99.6%
Sep-23	99.0%	98.8%
Oct-23	98.0%	98.7%
Nov-23	97.1%	98.0%
Dec-23	98.3%	97.9%
Jan-24	98.3%	97.5%
Feb-24	97.8%	97.9%
Mar-24	98.3%	98.3%



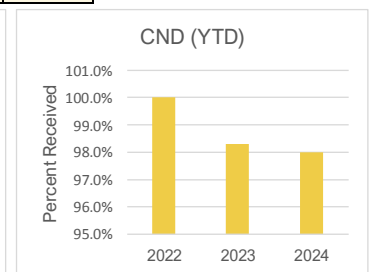
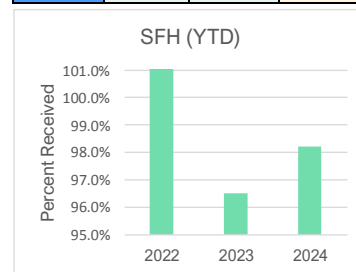
Monthly Percent of Original List Price Received

Month	SFH	YoY %chg	CND	YoY %chg
2022	102.0%	1.6%	100.0%	0.9%
2023	96.7%	-5.2%	98.5%	-1.5%
2024	98.3%	1.7%	98.3%	-0.2%



Year-to-Date Percent of Original List Price Received

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	101.5%	1.1%	100.0%	1.1%
2023	96.5%	-4.9%	98.3%	-1.7%
2024	98.2%	1.8%	98.0%	-0.3%



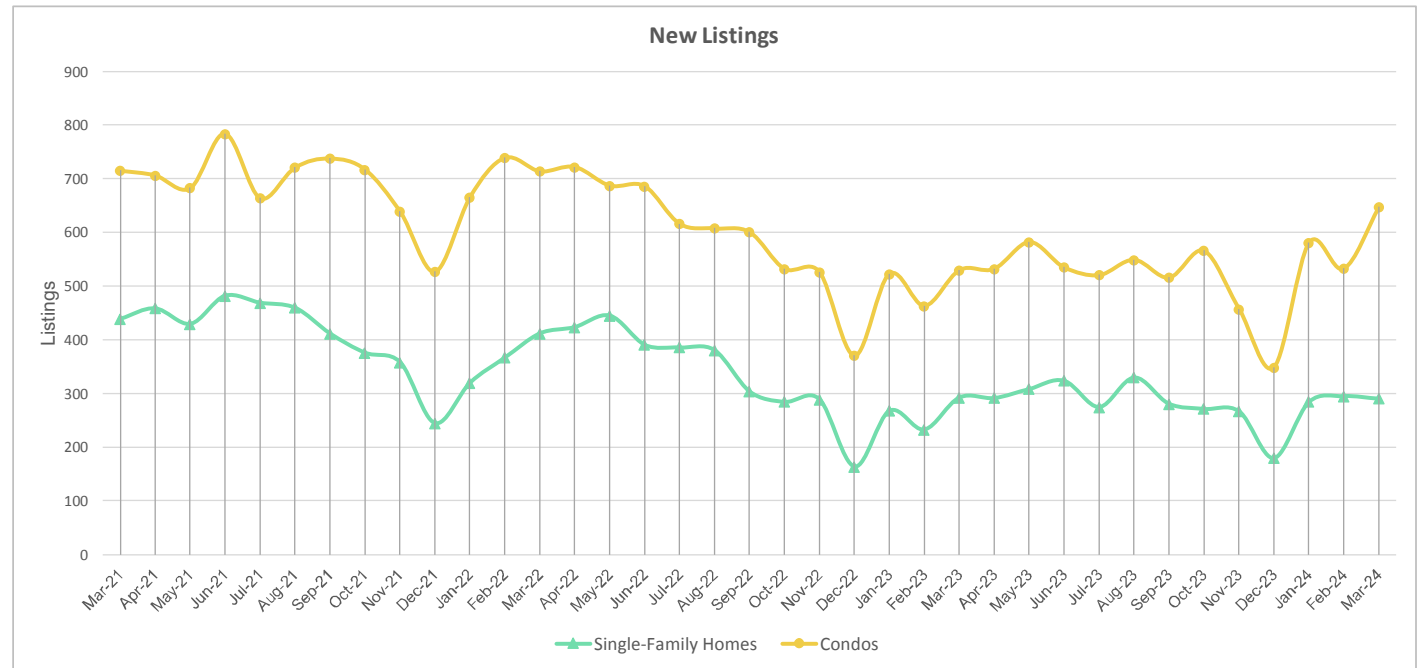
New Listings

March 2024

OAHU, HAWAII

(A count of properties that have been newly listed on the market in a given month)

Mo-Yr	Single-Family Homes	Condos	Total
Mar-21	439	715	1,154
Apr-21	459	706	1,165
May-21	430	683	1,113
Jun-21	482	784	1,266
Jul-21	469	664	1,133
Aug-21	460	721	1,181
Sep-21	412	738	1,150
Oct-21	376	717	1,093
Nov-21	358	639	997
Dec-21	245	527	772
Jan-22	320	666	986
Feb-22	367	739	1,106
Mar-22	412	714	1,126
Apr-22	424	722	1,146
May-22	445	687	1,132
Jun-22	391	686	1,077
Jul-22	386	616	1,002
Aug-22	381	608	989
Sep-22	304	601	905
Oct-22	285	532	817
Nov-22	289	526	815
Dec-22	164	371	535
Jan-23	268	523	791
Feb-23	233	463	696
Mar-23	293	530	823
Apr-23	292	532	824
May-23	309	582	891
Jun-23	324	535	859
Jul-23	275	521	796
Aug-23	330	549	879
Sep-23	281	516	797
Oct-23	272	566	838
Nov-23	267	457	724
Dec-23	180	349	529
Jan-24	285	581	866
Feb-24	295	533	828
Mar-24	291	647	938

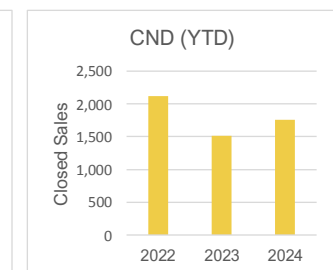
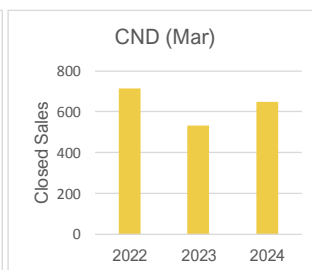
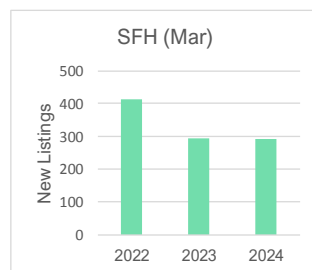


Monthly New Listings

Month	SFH	YoY %chg	CND	YoY %chg
March 2022	412	-6.2%	714	-0.1%
March 2023	293	-28.9%	530	-25.8%
March 2024	291	-0.7%	647	22.1%

Year-to-Date New Listings

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	1,099	-2.4%	2,119	6.1%
2023	794	-27.8%	1,516	-28.5%
2024	871	9.7%	1,761	16.2%



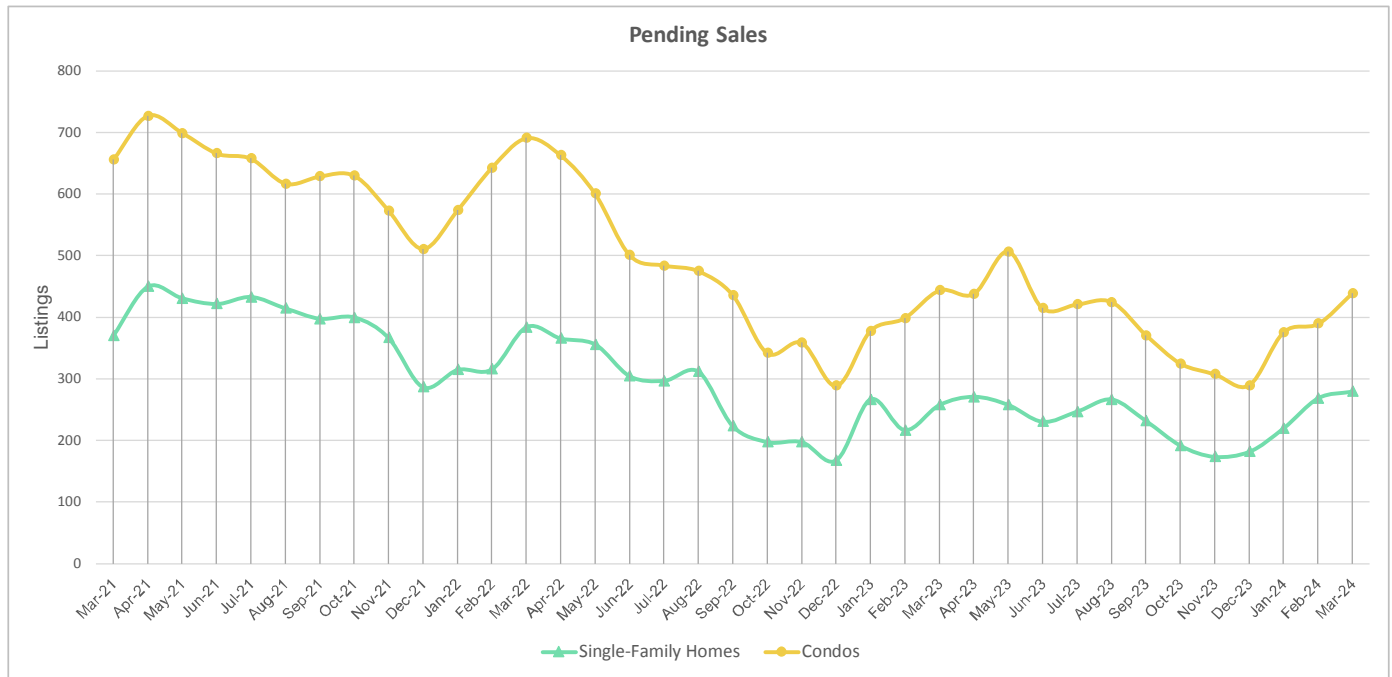
Pending Sales*

March 2024

OAHU, HAWAII

(A measure of contract activity represented by a count of properties that have had offers accepted on them during a given month)

Mo/Yr	Single-Family Homes	Condos	Total
Mar-21	370	656	1,026
Apr-21	450	727	1,177
May-21	431	699	1,130
Jun-21	422	666	1,088
Jul-21	433	658	1,091
Aug-21	415	617	1,032
Sep-21	398	629	1,027
Oct-21	400	630	1,030
Nov-21	367	573	940
Dec-21	287	511	798
Jan-22	315	574	889
Feb-22	316	643	959
Mar-22	384	691	1,075
Apr-22	366	663	1,029
May-22	356	601	957
Jun-22	305	501	806
Jul-22	297	484	781
Aug-22	312	475	787
Sep-22	224	436	660
Oct-22	198	342	540
Nov-22	198	359	557
Dec-22	168	289	457
Jan-23	267	378	645
Feb-23	217	399	616
Mar-23	258	444	702
Apr-23	271	438	709
May-23	258	507	765
Jun-23	231	415	646
Jul-23	247	421	668
Aug-23	267	425	692
Sep-23	232	371	603
Oct-23	192	325	517
Nov-23	174	308	482
Dec-23	182	290	472
Jan-24	220	376	596
Feb-24	269	390	659
Mar-24	280	439	719

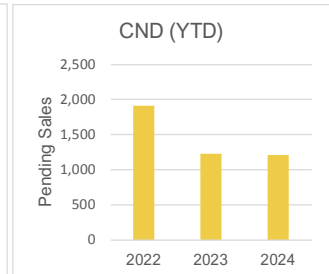
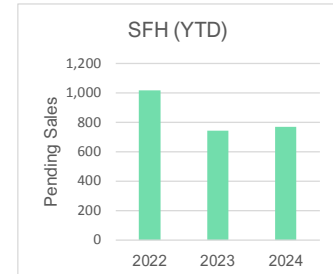
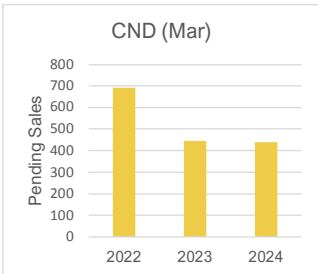
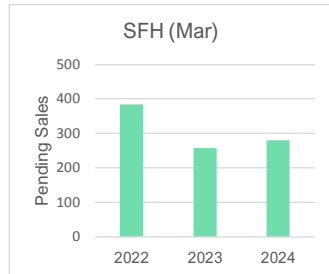


Monthly Pending Sales

Month	SFH	YoY %chg	CND	YoY %chg
2022	384	3.8%	691	5.3%
2023	258	-32.8%	444	-35.7%
2024	280	8.5%	439	-1.1%

Year-to-Date Pending Sales

Month	YTD SFH	YoY %chg	YTD CND	YoY %chg
2022	1,015	-4.6%	1,908	8.3%
2023	742	-26.9%	1,221	-36.0%
2024	769	3.6%	1,205	-1.3%



*Methodology updated as of 2021 to reflect a count of properties that entered contract within the given month and remain in escrow status at the end of the month (also applied to historical data shown above).

Pending Sales, in reports prior to 2021, reflect a count of all listings that held a Pending (P) status throughout the given month.

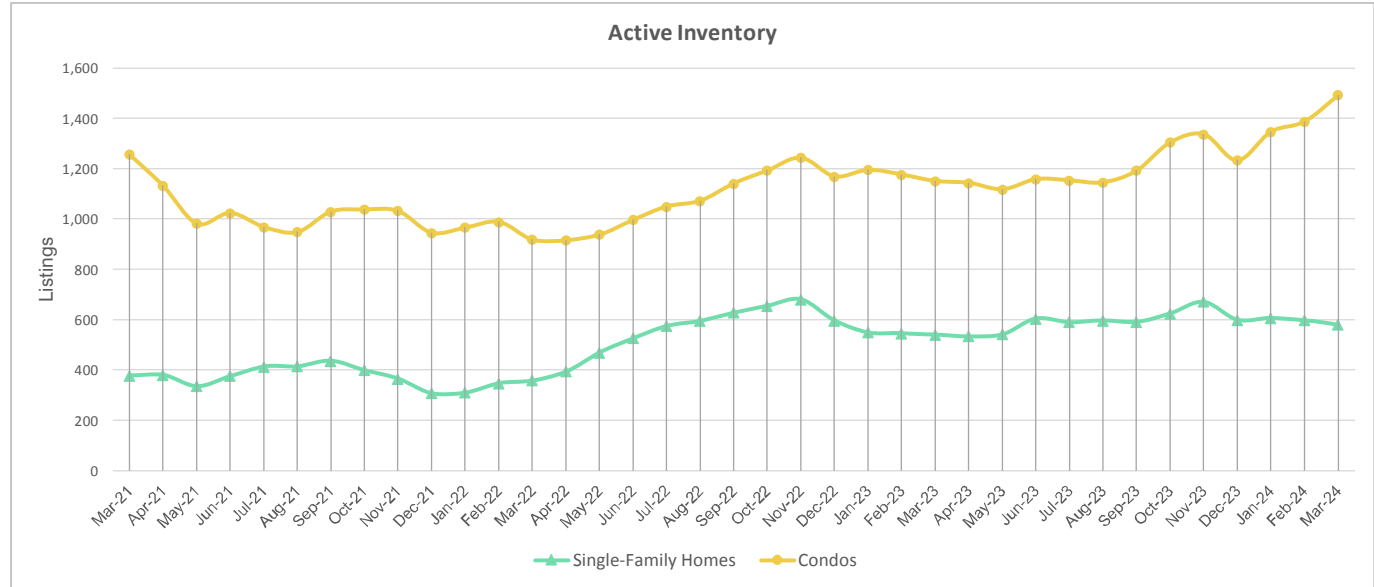
Active Inventory*

March 2024

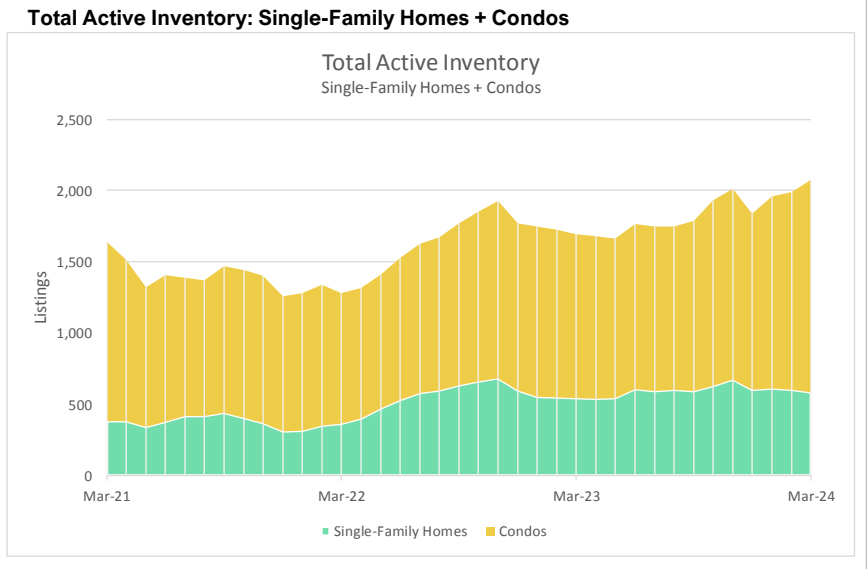
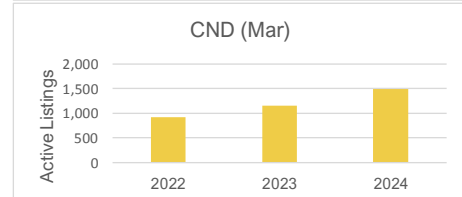
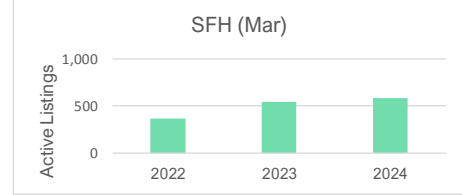
OAHU, HAWAII

(The number of properties in Active (A) status at the end of the given month)

Mo/Yr	Single-Family Homes	Condos	Total
Mar-21	379	1,257	1,636
Apr-21	381	1,133	1,514
May-21	337	983	1,320
Jun-21	377	1,025	1,402
Jul-21	415	969	1,384
Aug-21	416	950	1,366
Sep-21	437	1,030	1,467
Oct-21	401	1,039	1,440
Nov-21	366	1,033	1,399
Dec-21	309	946	1,255
Jan-22	311	967	1,278
Feb-22	348	989	1,337
Mar-22	360	919	1,279
Apr-22	395	917	1,312
May-22	471	939	1,410
Jun-22	527	998	1,525
Jul-22	576	1,050	1,626
Aug-22	596	1,073	1,669
Sep-22	629	1,141	1,770
Oct-22	656	1,194	1,850
Nov-22	682	1,244	1,926
Dec-22	597	1,170	1,767
Jan-23	551	1,196	1,747
Feb-23	547	1,177	1,724
Mar-23	541	1,152	1,693
Apr-23	535	1,144	1,679
May-23	543	1,118	1,661
Jun-23	605	1,159	1,764
Jul-23	591	1,154	1,745
Aug-23	598	1,146	1,744
Sep-23	592	1,194	1,786
Oct-23	626	1,306	1,932
Nov-23	672	1,337	2,009
Dec-23	600	1,234	1,834
Jan-24	607	1,348	1,955
Feb-24	599	1,388	1,987
Mar-24	581	1,493	2,074



Active Inventory				
Month	SFH	YoY %chg	CND	YoY %chg
March 2022	360	-5.0%	919	-26.9%
March 2023	541	50.3%	1,152	25.4%
March 2024	581	7.4%	1,493	29.6%



*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

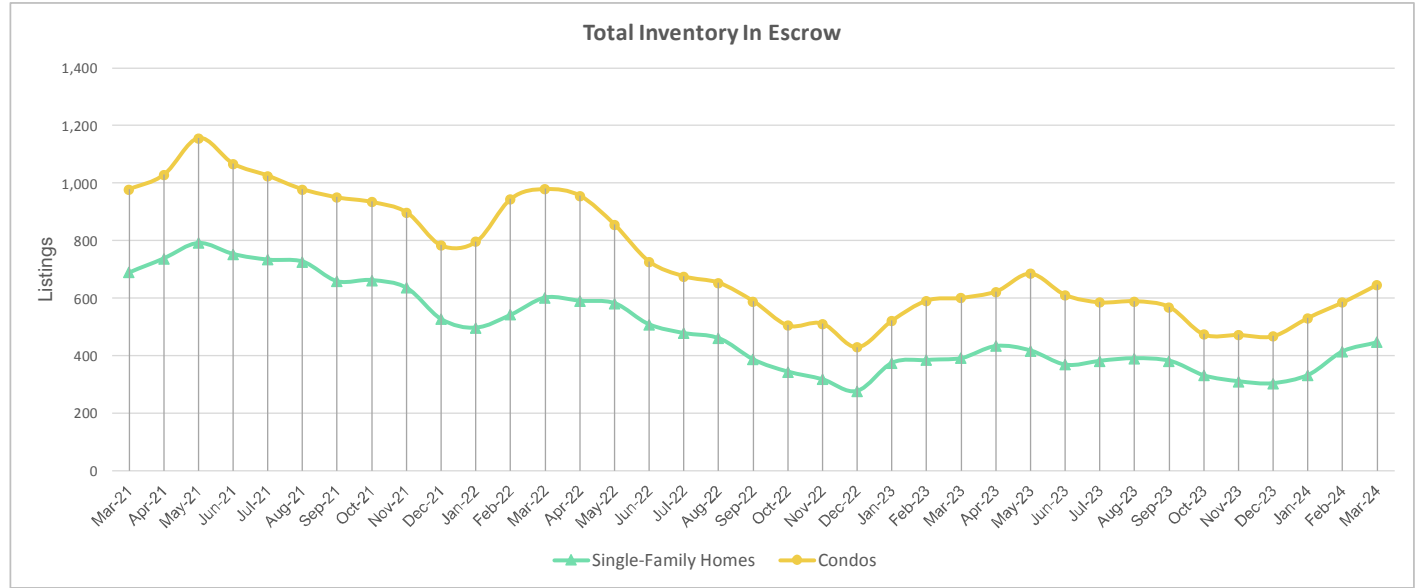
Total Inventory In Escrow*

March 2024

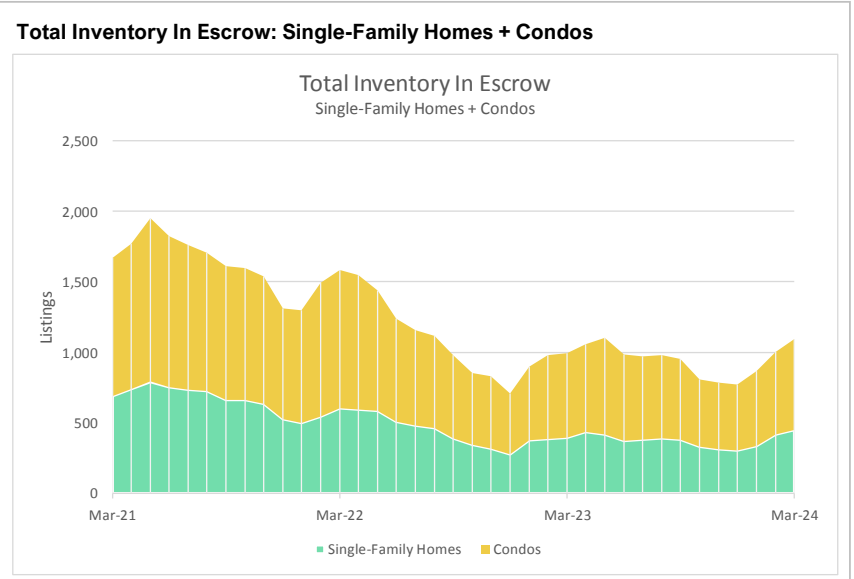
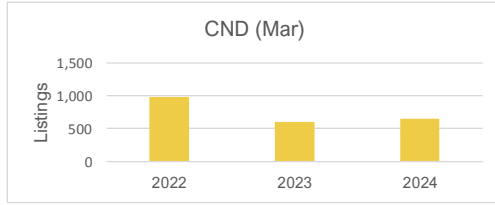
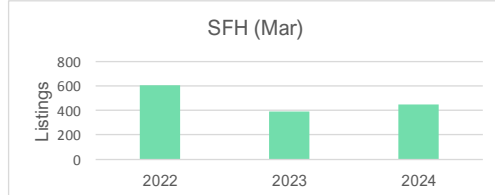
OAHU, HAWAII

(The number of properties under contract at the end of the given month / combined listings in C and P status)

Mo/Yr	Single-Family Homes	Condos	Total
Mar-21	691	979	1,670
Apr-21	739	1,030	1,769
May-21	793	1,157	1,950
Jun-21	754	1,068	1,822
Jul-21	735	1,026	1,761
Aug-21	727	979	1,706
Sep-21	660	951	1,611
Oct-21	663	935	1,598
Nov-21	637	899	1,536
Dec-21	528	784	1,312
Jan-22	498	797	1,295
Feb-22	544	946	1,490
Mar-22	603	980	1,583
Apr-22	592	956	1,548
May-22	583	856	1,439
Jun-22	509	728	1,237
Jul-22	479	676	1,155
Aug-22	462	654	1,116
Sep-22	388	590	978
Oct-22	345	506	851
Nov-22	319	512	831
Dec-22	278	430	708
Jan-23	376	523	899
Feb-23	386	592	978
Mar-23	393	602	995
Apr-23	435	623	1,058
May-23	418	686	1,104
Jun-23	370	612	982
Jul-23	383	586	969
Aug-23	391	590	981
Sep-23	383	569	952
Oct-23	333	475	808
Nov-23	312	473	785
Dec-23	305	468	773
Jan-24	334	532	866
Feb-24	416	586	1,002
Mar-24	448	647	1,095



Month	SFH	YoY %chg	CND	YoY %chg
2022	603	-12.7%	980	0.1%
2023	393	-34.8%	602	-38.6%
2024	448	14.0%	647	7.5%



*New indicator added to reports as of 2021, including applicable historical data.

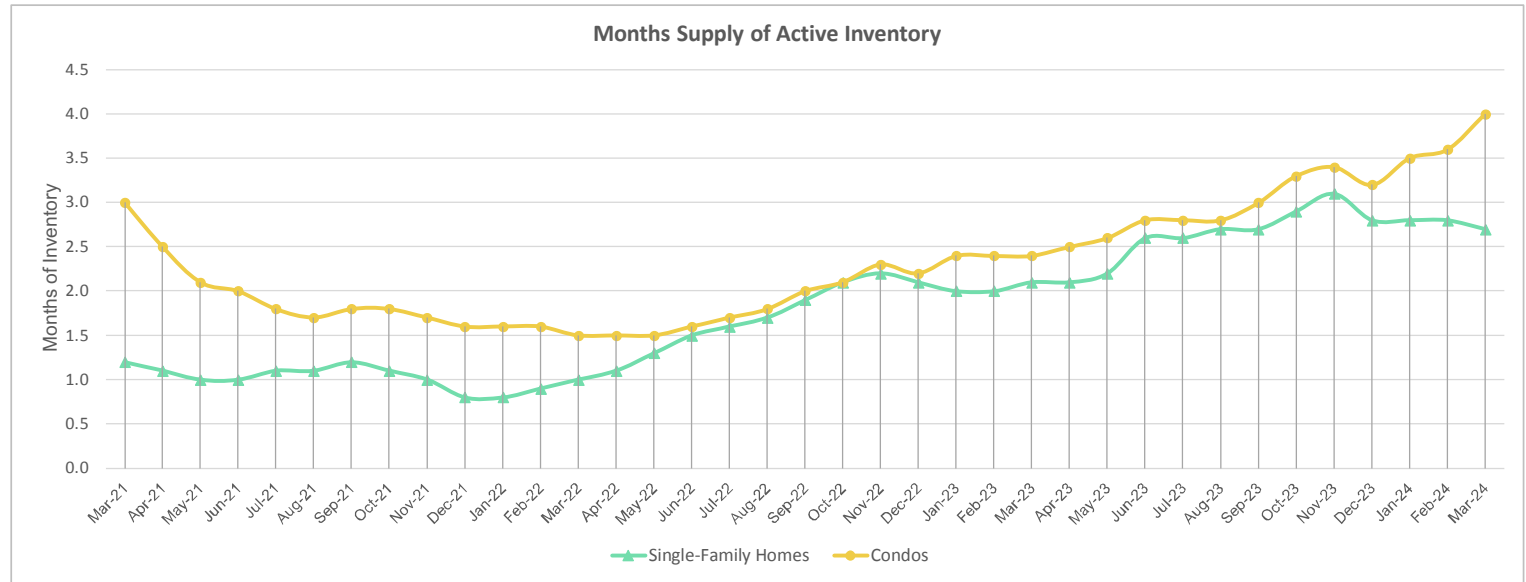
Months Supply of Active Inventory*

March 2024

OAHU, HAWAII

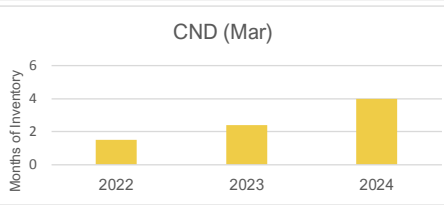
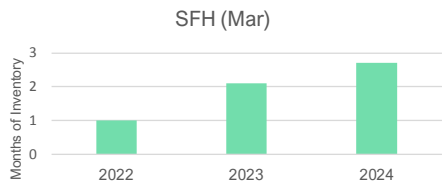
(Compares active inventory to a rolling 12-month average closed sales)

Mo/Yr	Single-Family Homes	Condos
Mar-21	1.2	3.0
Apr-21	1.1	2.5
May-21	1.0	2.1
Jun-21	1.0	2.0
Jul-21	1.1	1.8
Aug-21	1.1	1.7
Sep-21	1.2	1.8
Oct-21	1.1	1.8
Nov-21	1.0	1.7
Dec-21	0.8	1.6
Jan-22	0.8	1.6
Feb-22	0.9	1.6
Mar-22	1.0	1.5
Apr-22	1.1	1.5
May-22	1.3	1.5
Jun-22	1.5	1.6
Jul-22	1.6	1.7
Aug-22	1.7	1.8
Sep-22	1.9	2.0
Oct-22	2.1	2.1
Nov-22	2.2	2.3
Dec-22	2.1	2.2
Jan-23	2.0	2.4
Feb-23	2.0	2.4
Mar-23	2.1	2.4
Apr-23	2.1	2.5
May-23	2.2	2.6
Jun-23	2.6	2.8
Jul-23	2.6	2.8
Aug-23	2.7	2.8
Sep-23	2.7	3.0
Oct-23	2.9	3.3
Nov-23	3.1	3.4
Dec-23	2.8	3.2
Jan-24	2.8	3.5
Feb-24	2.8	3.6
Mar-24	2.7	4.0

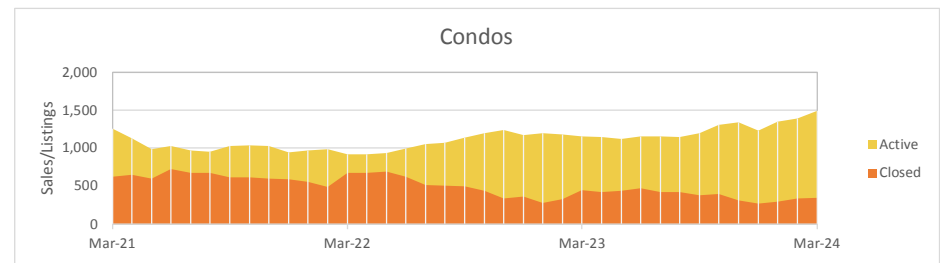
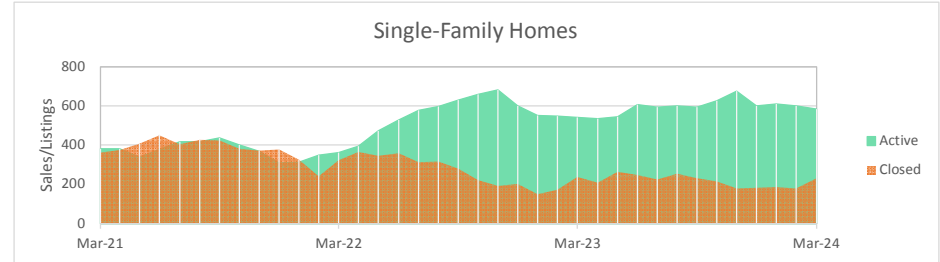


Months Supply of Active Inventory

Month	SFH	YoY %chg	CND	YoY %chg
March 2022	1.0	-16.7%	1.5	-50.0%
March 2023	2.1	110.0%	2.4	60.0%
March 2024	2.7	28.6%	4.0	66.7%



Active Inventory vs. Closed Sales



*Methodology updated as of 2021 (also applied to historical data shown on this chart).

Months of Inventory, in reports prior to 2021, reflect a comparison of active listings to average pending sales.

Housing Supply Overview

March 2024

OAHU, HAWAII

(A year-over-year overview of the availability and sales of properties in a given month, by price range)

Single-Family Homes	Closed Sales			Median Days on Market			Percent of Original List Price Received			New Listings			Pending Sales			Active Inventory			Total Inventory In Escrow			Months Supply of Active Inventory		
	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg
\$449,999 and below	5	1	400.0%	23	45	-48.9%	93.2%	101.3%	-8.0%	4	1	300.0%	5	0	-	6	4	50.0%	7	5	40.0%	2.0	2.0	0.0%
\$450,000 - \$599,999	4	4	0.0%	22	40	-45.0%	96.8%	94.9%	2.0%	11	8	37.5%	11	13	-15.4%	16	14	14.3%	20	18	11.1%	3.2	2.3	39.1%
\$600,000 - \$699,999	12	15	-20.0%	39	42	-7.1%	98.3%	95.2%	3.3%	10	12	-16.7%	7	12	-41.7%	21	24	-12.5%	14	17	-17.6%	2.1	2.4	-12.5%
\$700,000 - \$799,999	15	14	7.1%	104	28	271.4%	94.2%	100.9%	-6.6%	24	25	-4.0%	19	16	18.8%	42	45	-6.7%	35	31	12.9%	2.2	2.1	4.8%
\$800,000 - \$899,999	34	32	6.3%	22	61	-63.9%	99.7%	96.8%	3.0%	40	53	-24.5%	44	39	12.8%	61	76	-19.7%	73	55	32.7%	1.9	2.3	-17.4%
\$900,000 - \$999,999	23	32	-28.1%	13	24	-45.8%	98.1%	97.7%	0.4%	26	34	-23.5%	37	31	19.4%	52	51	2.0%	60	52	15.4%	1.9	1.4	35.7%
\$1,000,000 - \$1,499,999	76	83	-8.4%	40	37	8.1%	97.9%	96.2%	1.8%	89	89	0.0%	95	92	3.3%	133	118	12.7%	146	131	11.5%	1.9	1.2	58.3%
\$1,500,000 - 1,999,999	36	29	24.1%	17	12	41.7%	98.8%	100.0%	-1.2%	42	39	7.7%	35	29	20.7%	92	73	26.0%	50	41	22.0%	3.5	2.4	45.8%
\$2,000,000 - \$2,999,999	16	16	0.0%	7	45	-84.4%	100.0%	96.3%	3.8%	28	13	115.4%	18	17	5.9%	65	45	44.4%	27	28	-3.6%	4.3	2.5	72.0%
\$3,000,000 and above	9	10	-10.0%	50	75	-33.3%	96.3%	91.4%	5.4%	17	19	-10.5%	9	9	0.0%	93	91	2.2%	16	15	6.7%	10.3	8.3	24.1%
All Single-Family Homes	230	236	-2.5%	31	36	-13.9%	98.3%	96.7%	1.7%	291	293	-0.7%	280	258	8.5%	581	541	7.4%	448	393	14.0%	2.7	2.1	28.6%

Condos	Closed Sales			Median Days on Market			Percent of Original List Price Received			New Listings			Pending Sales			Active Inventory			Total Inventory In Escrow			Months Supply of Active Inventory		
	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg	Mar-24	Mar-23	%chg
\$149,999 and below	8	17	-52.9%	64	27	137.0%	86.3%	96.0%	-10.1%	20	16	25.0%	17	12	41.7%	42	45	-6.7%	27	25	8.0%	3.2	3.2	0.0%
\$150,000 - \$299,999	42	42	0.0%	45	18	150.0%	96.5%	98.2%	-1.7%	59	57	3.5%	47	47	0.0%	163	138	18.1%	72	75	-4.0%	3.8	2.5	52.0%
\$300,000 - \$399,999	61	54	13.0%	33	24	37.5%	97.6%	98.6%	-1.0%	104	66	57.6%	66	78	-15.4%	228	106	115.1%	98	106	-7.5%	3.7	1.4	164.3%
\$400,000 - \$499,999	60	80	-25.0%	23	23	0.0%	100.0%	100.0%	0.0%	119	92	29.3%	83	82	1.2%	236	145	62.8%	114	101	12.9%	3.7	1.8	105.6%
\$500,000 - \$599,999	49	66	-25.8%	27	20	35.0%	99.0%	99.3%	-0.3%	92	82	12.2%	67	59	13.6%	158	118	33.9%	98	81	21.0%	2.7	1.7	58.8%
\$600,000 - \$699,999	43	64	-32.8%	20	23	-13.0%	98.6%	98.5%	0.1%	57	66	-13.6%	43	43	0.0%	122	133	-8.3%	69	58	19.0%	2.7	2.5	8.0%
\$700,000 - \$999,999	56	69	-18.8%	23	24	-4.2%	98.8%	98.7%	0.1%	103	85	21.2%	78	70	11.4%	229	204	12.3%	108	97	11.3%	3.8	2.5	52.0%
\$1,000,000 - \$1,499,999	13	31	-58.1%	101	51	98.0%	93.9%	95.3%	-1.5%	48	32	50.0%	24	31	-22.6%	135	104	29.8%	38	33	15.2%	7.5	4.3	74.4%
\$1,500,000 - \$1,999,999	7	15	-53.3%	164	53	209.4%	95.9%	95.7%	0.2%	22	13	69.2%	7	11	-36.4%	75	65	15.4%	11	14	-21.4%	10.7	7.2	48.6%
\$2,000,000 and above	5	6	-16.7%	105	85	23.5%	93.3%	98.4%	-5.2%	23	21	9.5%	7	11	-36.4%	105	94	11.7%	12	12	0.0%	15.0	10.4	44.2%
All Condos	344	444	-22.5%	29	24	20.8%	98.3%	98.5%	-0.2%	647	530	22.1%	439	444	-1.1%	1,493	1,152	29.6%	647	602	7.5%	4.0	2.4	66.7%

SOURCE: Honolulu Board of REALTORS®, residential resales compiled from MLS data.

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Closed Sales by Price Range: Single-Family Homes

March 2024

OAHU, HAWAII

(A count of properties that have closed in a given month)

Single-Family Homes	Mar-24	Mar-23	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$449,999 and below	5	1	400.0%	32	27	18.5%
\$450,000 - \$599,999	4	4	0.0%	63	66	-4.5%
\$600,000 - \$699,999	12	15	-20.0%	115	114	0.9%
\$700,000 - \$799,999	15	14	7.1%	232	249	-6.8%
\$800,000 - \$899,999	34	32	6.3%	386	400	-3.5%
\$900,000 - \$999,999	23	32	-28.1%	323	426	-24.2%
\$1,000,000 - \$1,499,999	76	83	-8.4%	853	1,142	-25.3%
\$1,500,000 - 1,999,999	36	29	24.1%	312	373	-16.4%
\$2,000,000 - \$2,999,999	16	16	0.0%	173	215	-19.5%
\$3,000,000 and above	9	10	-10.0%	105	133	-21.1%
All Single-Family Homes	230	236	-2.5%	2,594	3,145	-17.5%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Closed Sales by Price Range: Condos

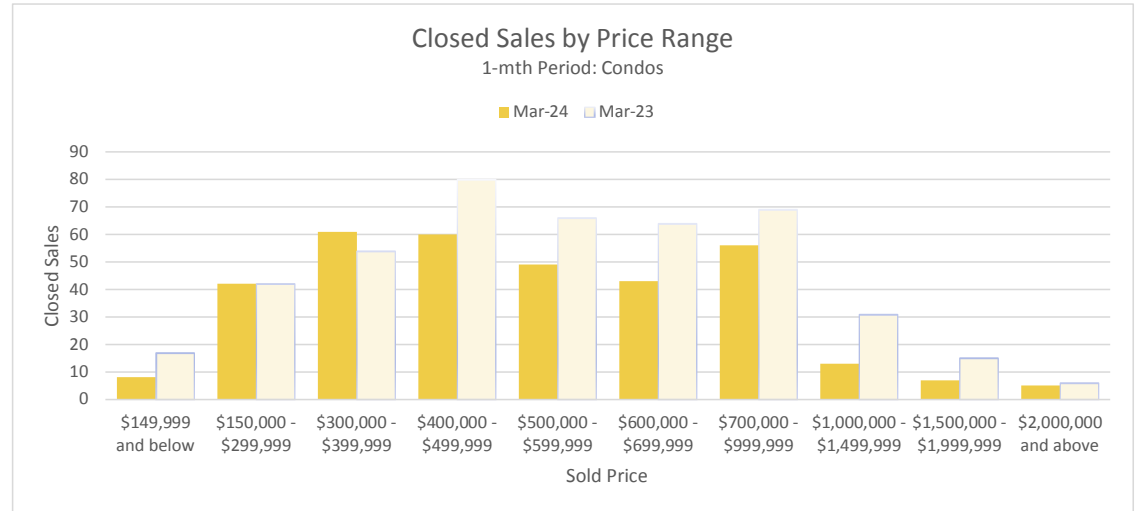
March 2024

OAHU, HAWAII

(A count of properties that have closed in a given month)

Condos	Mar-24	Mar-23	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$149,999 and below	8	17	-52.9%	150	169	-11.2%
\$150,000 - \$299,999	42	42	0.0%	518	685	-24.4%
\$300,000 - \$399,999	61	54	13.0%	732	906	-19.2%
\$400,000 - \$499,999	60	80	-25.0%	751	988	-24.0%
\$500,000 - \$599,999	49	66	-25.8%	706	835	-15.4%
\$600,000 - \$699,999	43	64	-32.8%	540	637	-15.2%
\$700,000 - \$999,999	56	69	-18.8%	720	974	-26.1%
\$1,000,000 - \$1,499,999	13	31	-58.1%	221	285	-22.5%
\$1,500,000 - \$1,999,999	7	15	-53.3%	81	105	-22.9%
\$2,000,000 and above	5	6	-16.7%	80	103	-22.3%
All Condos	344	444	-22.5%	4,499	5,687	-20.9%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



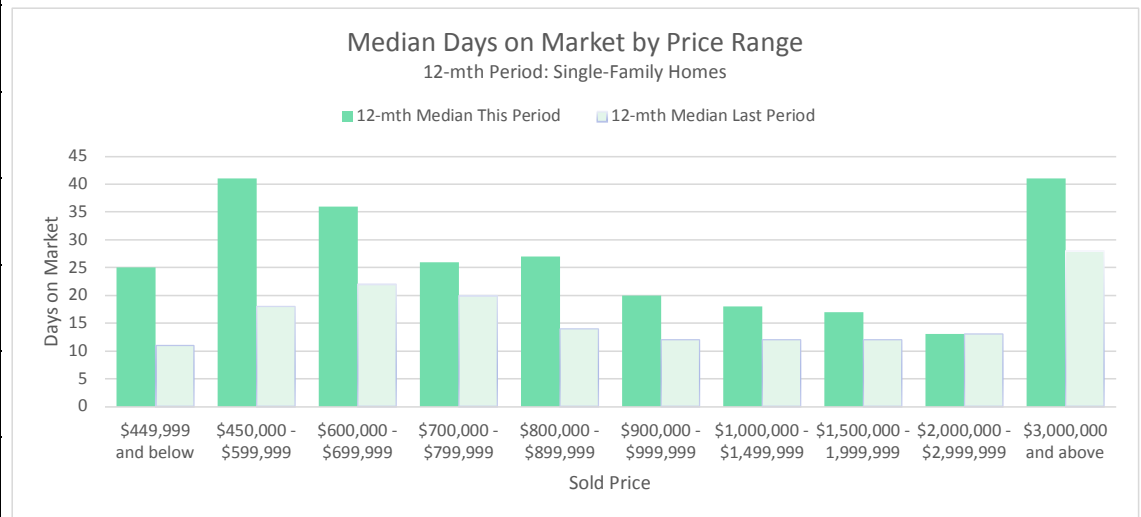
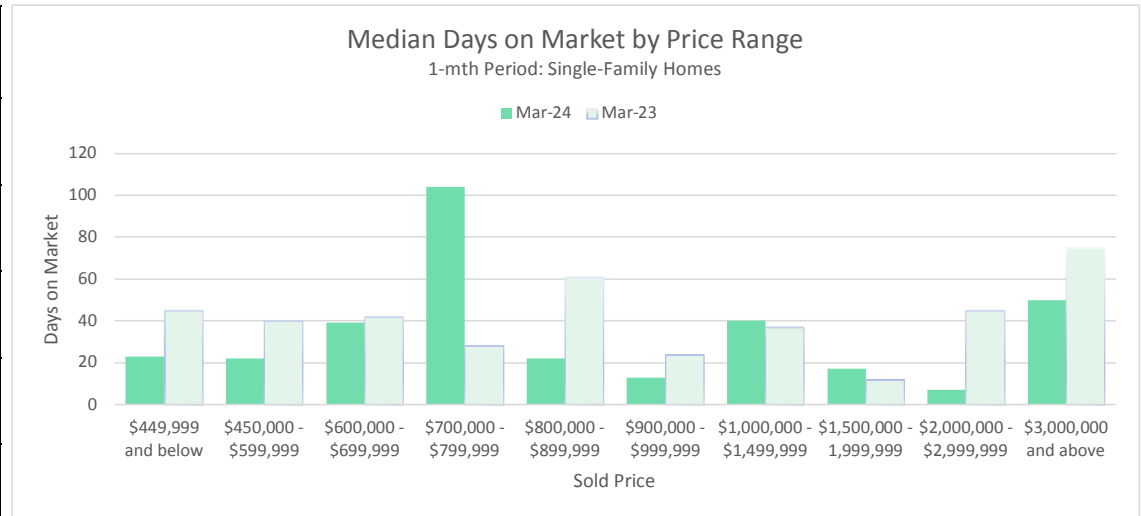
Median Days on Market by Price Range: Single-Family Homes

March 2024

OAHU, HAWAII

(The median number of days from when a property is first listed to when an offer is accepted)

Single-Family Homes	Mar-24	Mar-23	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$449,999 and below	23	45	-48.9%	25	11	127.3%
\$450,000 - \$599,999	22	40	-45.0%	41	18	127.8%
\$600,000 - \$699,999	39	42	-7.1%	36	22	63.6%
\$700,000 - \$799,999	104	28	271.4%	26	20	30.0%
\$800,000 - \$899,999	22	61	-63.9%	27	14	92.9%
\$900,000 - \$999,999	13	24	-45.8%	20	12	66.7%
\$1,000,000 - \$1,499,999	40	37	8.1%	18	12	50.0%
\$1,500,000 - 1,999,999	17	12	41.7%	17	12	41.7%
\$2,000,000 - \$2,999,999	7	45	-84.4%	13	13	0.0%
\$3,000,000 and above	50	75	-33.3%	41	28	46.4%
All Single-Family Homes	31	36	-13.9%	21	13	61.5%



This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

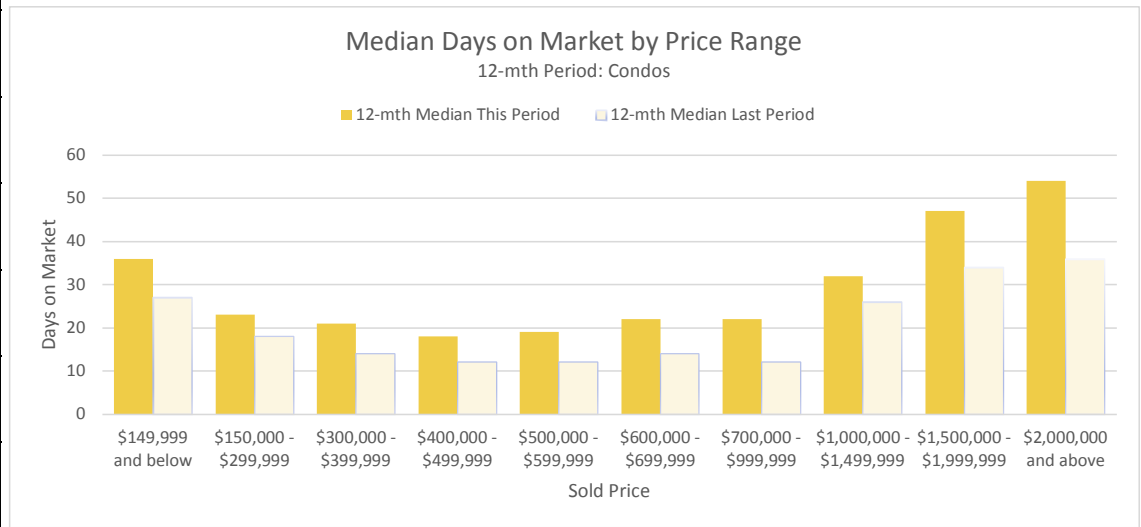
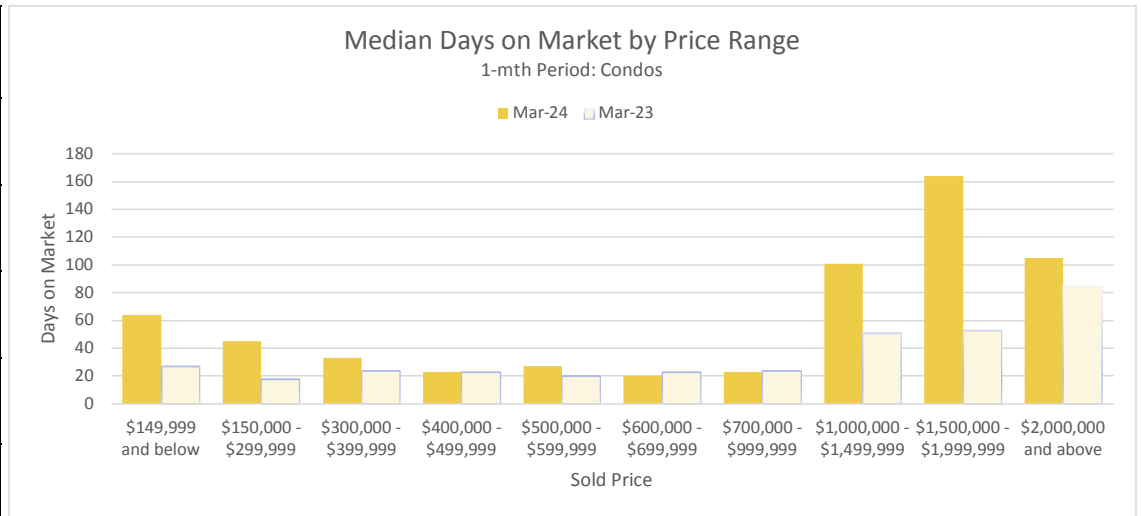
Median Days on Market by Price Range: Condos

March 2024

OAHU, HAWAII

(The median number of days from when a property is first listed to when an offer is accepted)

Condos	Mar-24	Mar-23	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$149,999 and below	64	27	137.0%	36	27	33.3%
\$150,000 - \$299,999	45	18	150.0%	23	18	27.8%
\$300,000 - \$399,999	33	24	37.5%	21	14	50.0%
\$400,000 - \$499,999	23	23	0.0%	18	12	50.0%
\$500,000 - \$599,999	27	20	35.0%	19	12	58.3%
\$600,000 - \$699,999	20	23	-13.0%	22	14	57.1%
\$700,000 - \$999,999	23	24	-4.2%	22	12	83.3%
\$1,000,000 - \$1,499,999	101	51	98.0%	32	26	23.1%
\$1,500,000 - \$1,999,999	164	53	209.4%	47	34	38.2%
\$2,000,000 and above	105	85	23.5%	54	36	50.0%
All Condos	29	24	20.8%	22	14	57.1%



This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

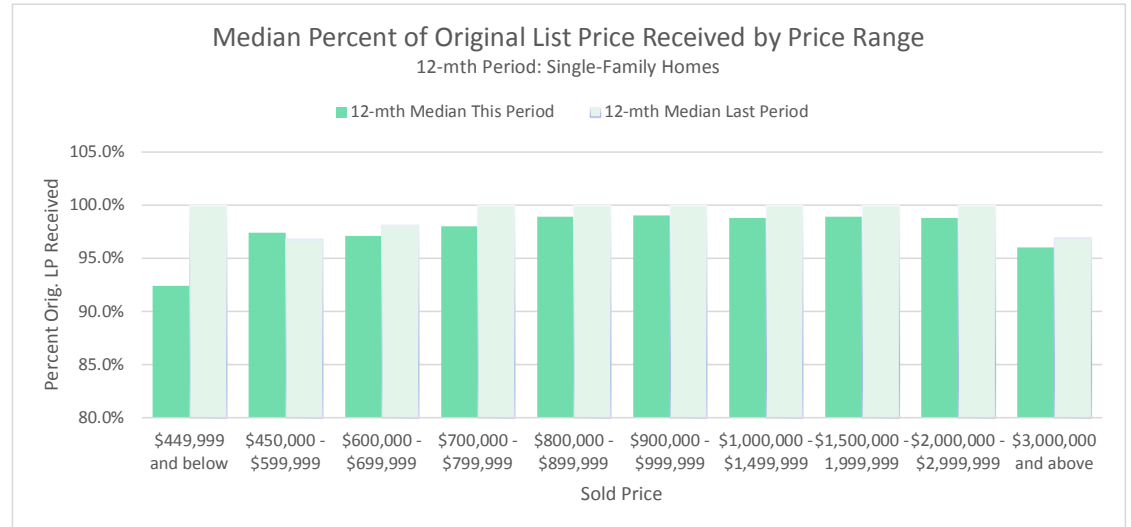
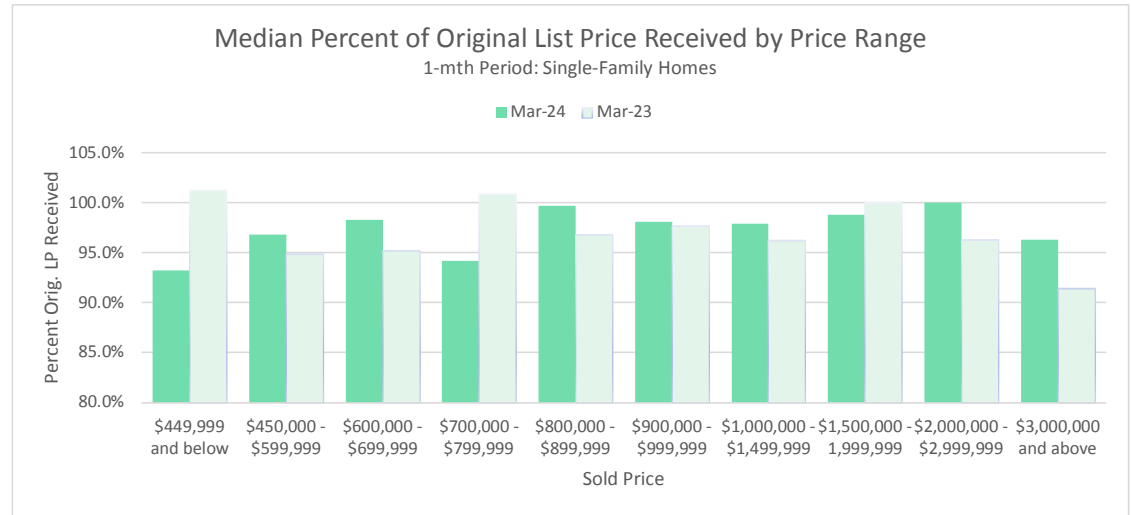
Median Percent of Original List Price Received by Price Range: Single-Family Homes

March 2024

OAHU, HAWAII

(The percentage found when dividing a property's sales price by the original list price; reported percentage is the median of all sales for the period and price range indicated)

Single-Family Homes	Mar-24	Mar-23	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$449,999 and below	93.2%	101.3%	-8.0%	92.4%	100.0%	-7.6%
\$450,000 - \$599,999	96.8%	94.9%	2.0%	97.4%	96.8%	0.6%
\$600,000 - \$699,999	98.3%	95.2%	3.3%	97.1%	98.1%	-1.0%
\$700,000 - \$799,999	94.2%	100.9%	-6.6%	98.0%	100.0%	-2.0%
\$800,000 - \$899,999	99.7%	96.8%	3.0%	98.9%	100.0%	-1.1%
\$900,000 - \$999,999	98.1%	97.7%	0.4%	99.0%	100.0%	-1.0%
\$1,000,000 - \$1,499,999	97.9%	96.2%	1.8%	98.8%	100.0%	-1.2%
\$1,500,000 - 1,999,999	98.8%	100.0%	-1.2%	98.9%	100.0%	-1.1%
\$2,000,000 - \$2,999,999	100.0%	96.3%	3.8%	98.8%	100.0%	-1.2%
\$3,000,000 and above	96.3%	91.4%	5.4%	96.0%	96.9%	-0.9%
All Single-Family Homes	98.3%	96.7%	1.7%	98.5%	100.0%	-1.5%



This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

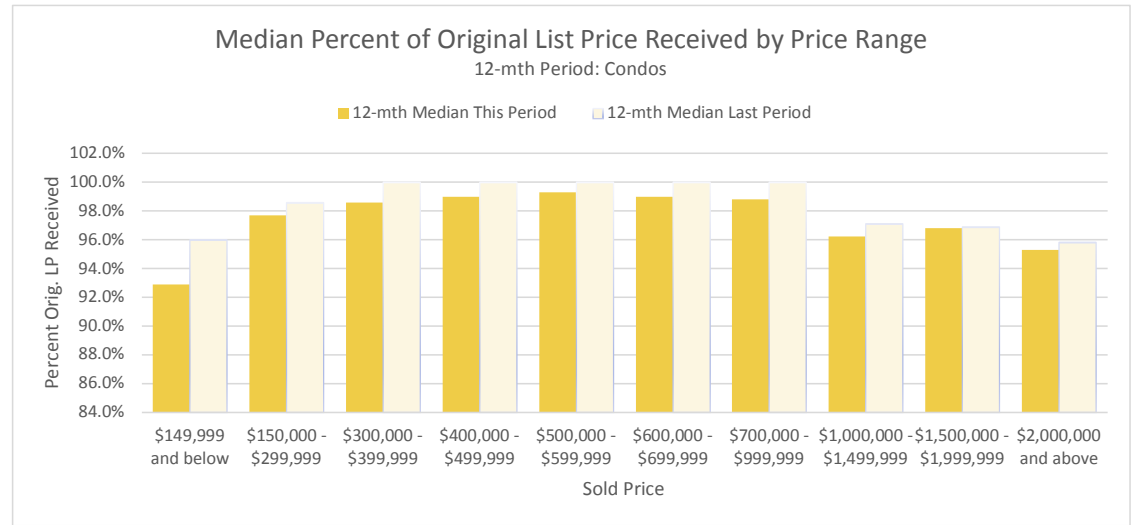
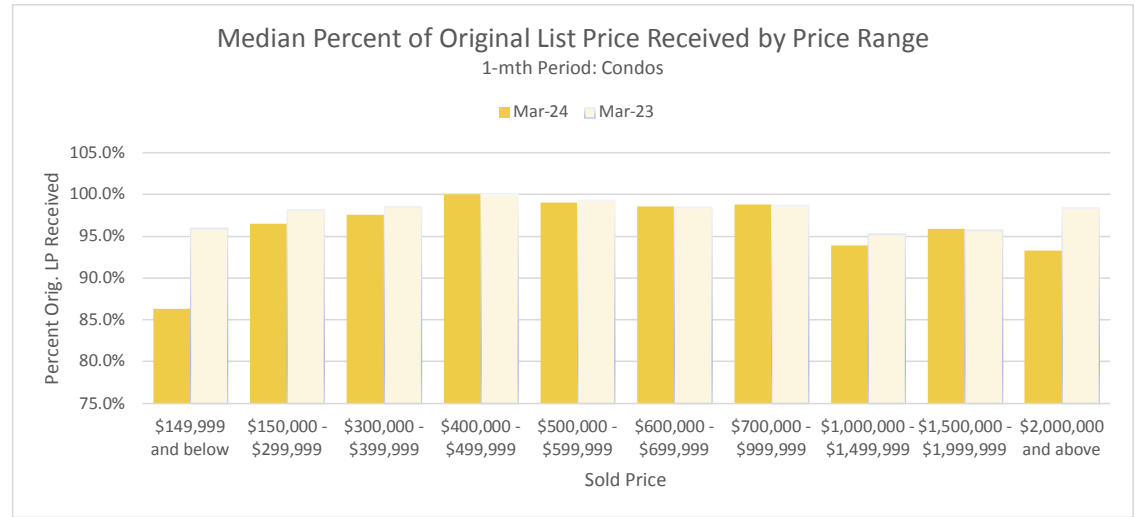
Median Percent of Original List Price Received by Price Range: Condos

March 2024

OAHU, HAWAII

(The percentage found when dividing a property's sales price by the original list price; reported percentage is the median of all sales for the period and price range indicated)

Condos	Mar-24	Mar-23	%chg	12-mth Median This Period	12-mth Median Last Period	%chg
\$149,999 and below	86.3%	96.0%	-10.1%	92.9%	96.0%	-3.2%
\$150,000 - \$299,999	96.5%	98.2%	-1.7%	97.7%	98.6%	-0.9%
\$300,000 - \$399,999	97.6%	98.6%	-1.0%	98.6%	100.0%	-1.4%
\$400,000 - \$499,999	100.0%	100.0%	0.0%	99.0%	100.0%	-1.0%
\$500,000 - \$599,999	99.0%	99.3%	-0.3%	99.3%	100.0%	-0.7%
\$600,000 - \$699,999	98.6%	98.5%	0.1%	99.0%	100.0%	-1.0%
\$700,000 - \$999,999	98.8%	98.7%	0.1%	98.8%	100.0%	-1.2%
\$1,000,000 - \$1,499,999	93.9%	95.3%	-1.5%	96.2%	97.1%	-0.9%
\$1,500,000 - \$1,999,999	95.9%	95.7%	0.2%	96.8%	96.9%	-0.1%
\$2,000,000 and above	93.3%	98.4%	-5.2%	95.3%	95.8%	-0.5%
All Condos	98.3%	98.5%	-0.2%	98.5%	100.0%	-1.5%



This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

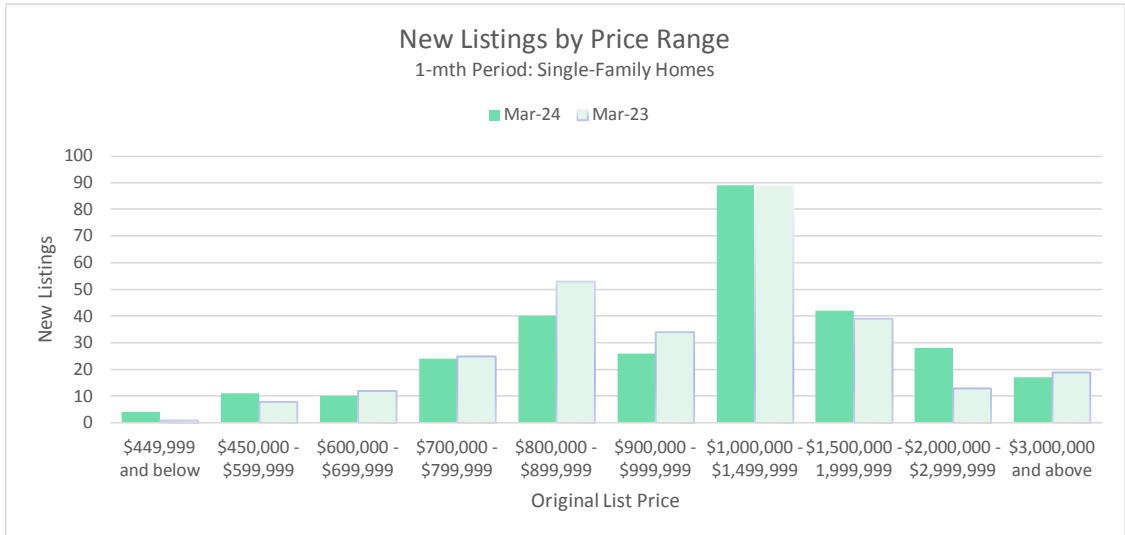
New Listings by Price Range: Single-Family Homes

March 2024

OAHU, HAWAII

(A count of properties that have been newly listed on the market in a given month)

Single-Family Homes	Mar-24	Mar-23	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$449,999 and below	4	1	300.0%	30	24	25.0%
\$450,000 - \$599,999	11	8	37.5%	80	78	2.6%
\$600,000 - \$699,999	10	12	-16.7%	133	156	-14.7%
\$700,000 - \$799,999	24	25	-4.0%	279	291	-4.1%
\$800,000 - \$899,999	40	53	-24.5%	448	504	-11.1%
\$900,000 - \$999,999	26	34	-23.5%	429	539	-20.4%
\$1,000,000 - \$1,499,999	89	89	0.0%	1,030	1,221	-15.6%
\$1,500,000 - 1,999,999	42	39	7.7%	477	494	-3.4%
\$2,000,000 - \$2,999,999	28	13	115.4%	267	291	-8.2%
\$3,000,000 and above	17	19	-10.5%	228	265	-14.0%
All Single-Family Homes	291	293	-0.7%	3,401	3,863	-12.0%



This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

New Listings by Price Range: Condos

March 2024

OAHU, HAWAII

(A count of properties that have been newly listed on the market in a given month)

Condos	Mar-24	Mar-23	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$149,999 and below	20	16	25.0%	175	186	-5.9%
\$150,000 - \$299,999	59	57	3.5%	682	815	-16.3%
\$300,000 - \$399,999	104	66	57.6%	1,000	1,019	-1.9%
\$400,000 - \$499,999	119	92	29.3%	1,068	1,124	-5.0%
\$500,000 - \$599,999	92	82	12.2%	942	940	0.2%
\$600,000 - \$699,999	57	66	-13.6%	705	766	-8.0%
\$700,000 - \$999,999	103	85	21.2%	1,006	1,223	-17.7%
\$1,000,000 - \$1,499,999	48	32	50.0%	412	408	1.0%
\$1,500,000 - \$1,999,999	22	13	69.2%	178	188	-5.3%
\$2,000,000 and above	23	21	9.5%	200	196	2.0%
All Condos	647	530	22.1%	6,368	6,865	-7.2%



This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.

Pending Sales by Price Range: Single-Family Homes

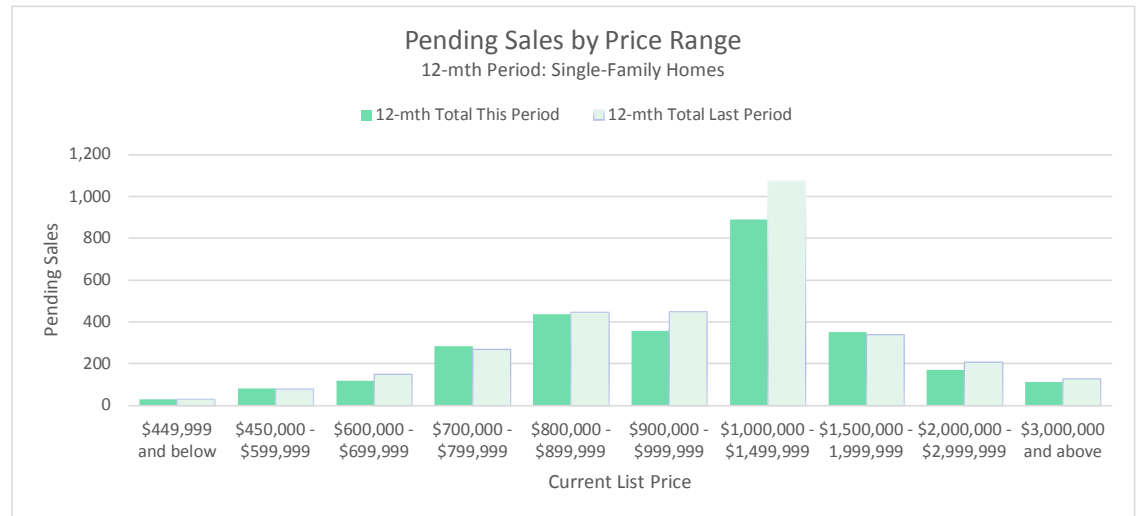
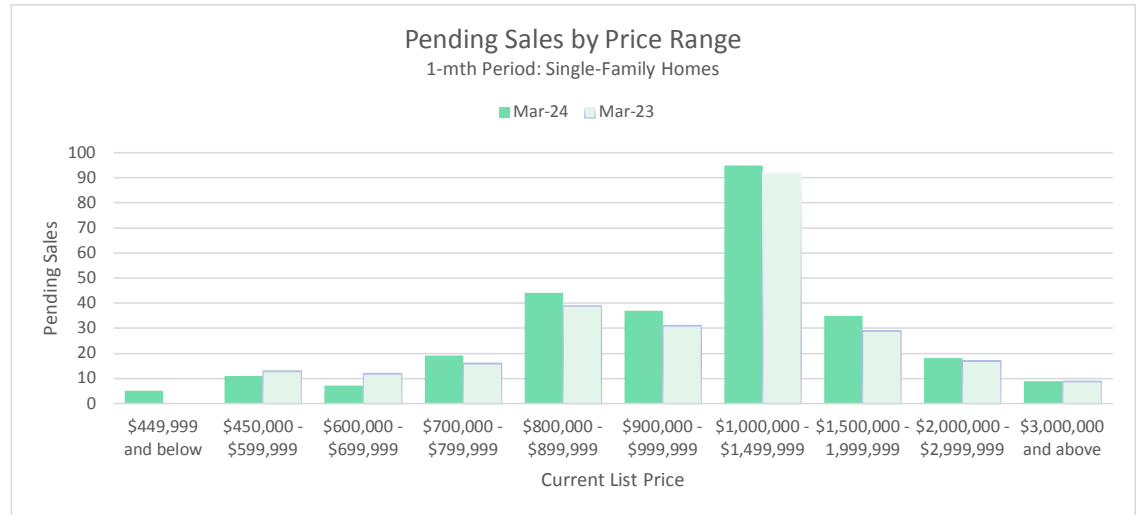
March 2024

OAHU, HAWAII

(A measure of contract activity / a count of properties that have had offers accepted on them in a given month)

Single-Family Homes	Mar-24	Mar-23	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$449,999 and below	5	0	-	28	29	-3.4%
\$450,000 - \$599,999	11	13	-15.4%	82	77	6.5%
\$600,000 - \$699,999	7	12	-41.7%	117	149	-21.5%
\$700,000 - \$799,999	19	16	18.8%	282	269	4.8%
\$800,000 - \$899,999	44	39	12.8%	436	447	-2.5%
\$900,000 - \$999,999	37	31	19.4%	358	448	-20.1%
\$1,000,000 - \$1,499,999	95	92	3.3%	889	1,076	-17.4%
\$1,500,000 - 1,999,999	35	29	20.7%	350	337	3.9%
\$2,000,000 - \$2,999,999	18	17	5.9%	170	207	-17.9%
\$3,000,000 and above	9	9	0.0%	111	127	-12.6%
All Single-Family Homes	280	258	8.5%	2,823	3,166	-10.8%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



Pending Sales by Price Range: Condos

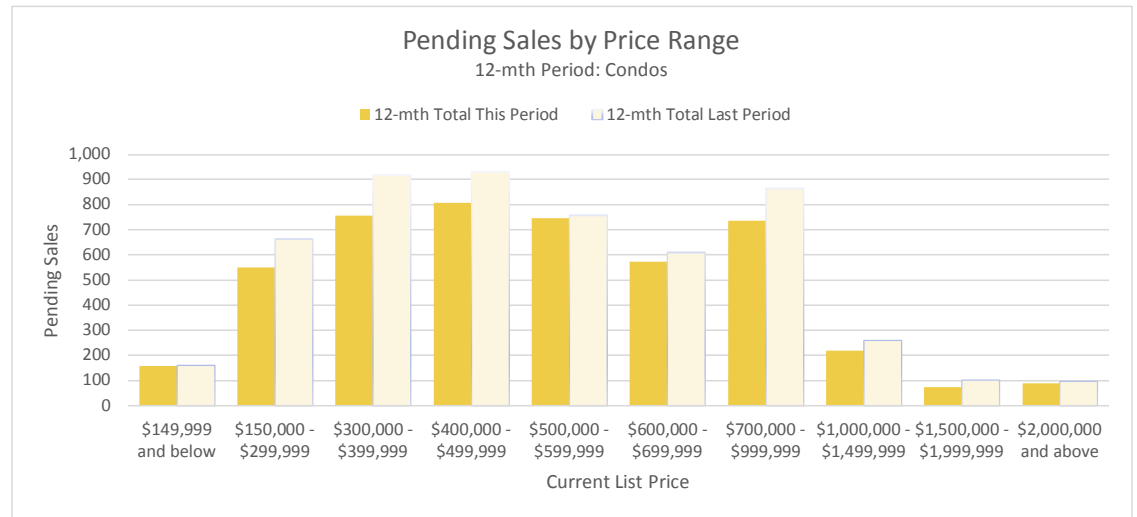
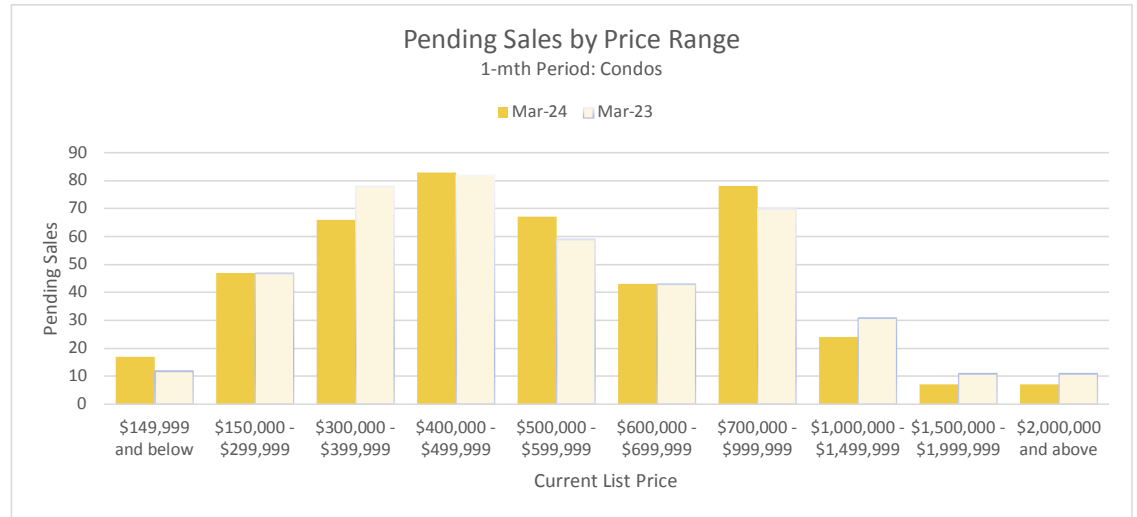
March 2024

OAHU, HAWAII

(A measure of contract activity / a count of properties that have had offers accepted on them in a given month)

Condos	Mar-24	Mar-23	%chg	12-mth Total This Period	12-mth Total Last Period	%chg
\$149,999 and below	17	12	41.7%	159	161	-1.2%
\$150,000 - \$299,999	47	47	0.0%	549	664	-17.3%
\$300,000 - \$399,999	66	78	-15.4%	755	920	-17.9%
\$400,000 - \$499,999	83	82	1.2%	806	931	-13.4%
\$500,000 - \$599,999	67	59	13.6%	746	759	-1.7%
\$600,000 - \$699,999	43	43	0.0%	573	612	-6.4%
\$700,000 - \$999,999	78	70	11.4%	736	866	-15.0%
\$1,000,000 - \$1,499,999	24	31	-22.6%	218	260	-16.2%
\$1,500,000 - \$1,999,999	7	11	-36.4%	74	101	-26.7%
\$2,000,000 and above	7	11	-36.4%	89	97	-8.2%
All Condos	439	444	-1.1%	4,705	5,371	-12.4%

This 12-month period reflects the consecutive 12-month period up through the current month, while last period reflects the same 12-month period one year prior.



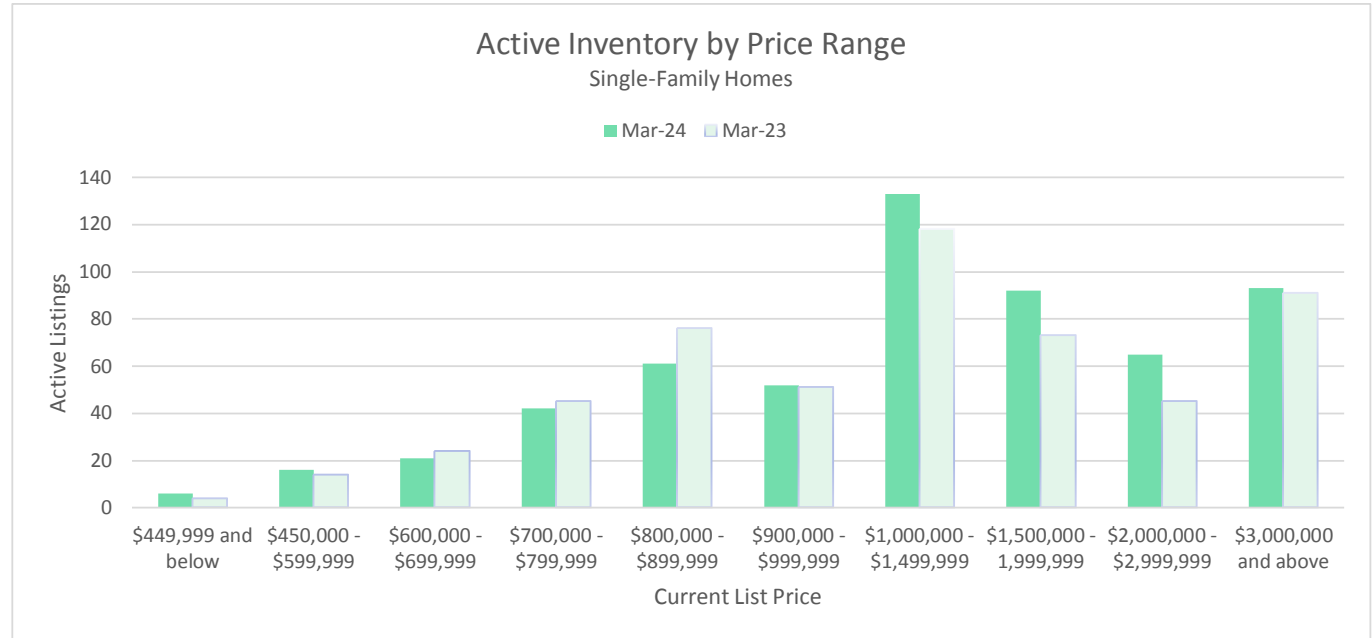
Active Inventory* by Price Range: Single-Family Homes

March 2024

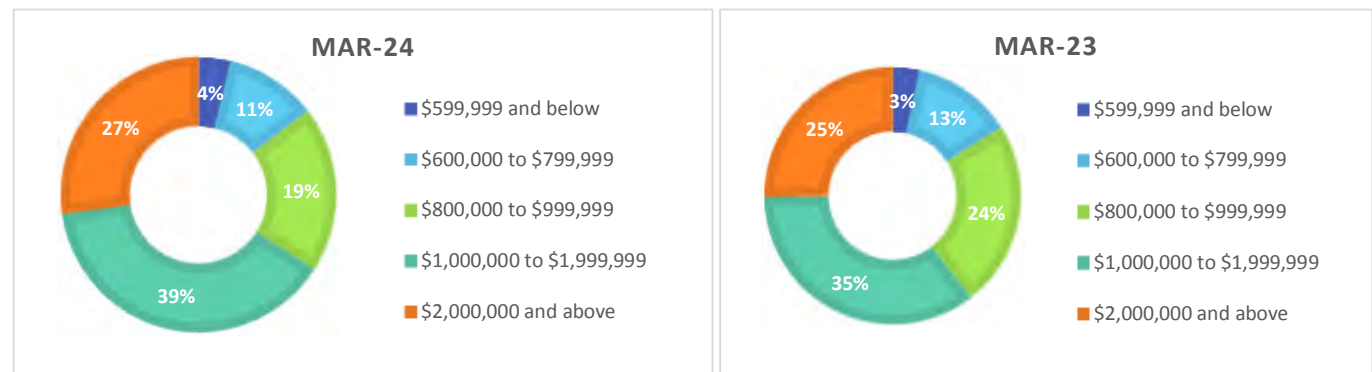
OAHU, HAWAII

(The number of properties active on market at the end of a given month)

Single-Family Homes	Mar-24	Mar-23	YOY chg
\$449,999 and below	6	4	50.0%
\$450,000 - \$599,999	16	14	14.3%
\$600,000 - \$699,999	21	24	-12.5%
\$700,000 - \$799,999	42	45	-6.7%
\$800,000 - \$899,999	61	76	-19.7%
\$900,000 - \$999,999	52	51	2.0%
\$1,000,000 - \$1,499,999	133	118	12.7%
\$1,500,000 - 1,999,999	92	73	26.0%
\$2,000,000 - \$2,999,999	65	45	44.4%
\$3,000,000 and above	93	91	2.2%
All Single-Family Homes	581	541	7.4%



Active Inventory - Percent Share by Price Range (portion of total active status listings represented by a given price range)



*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

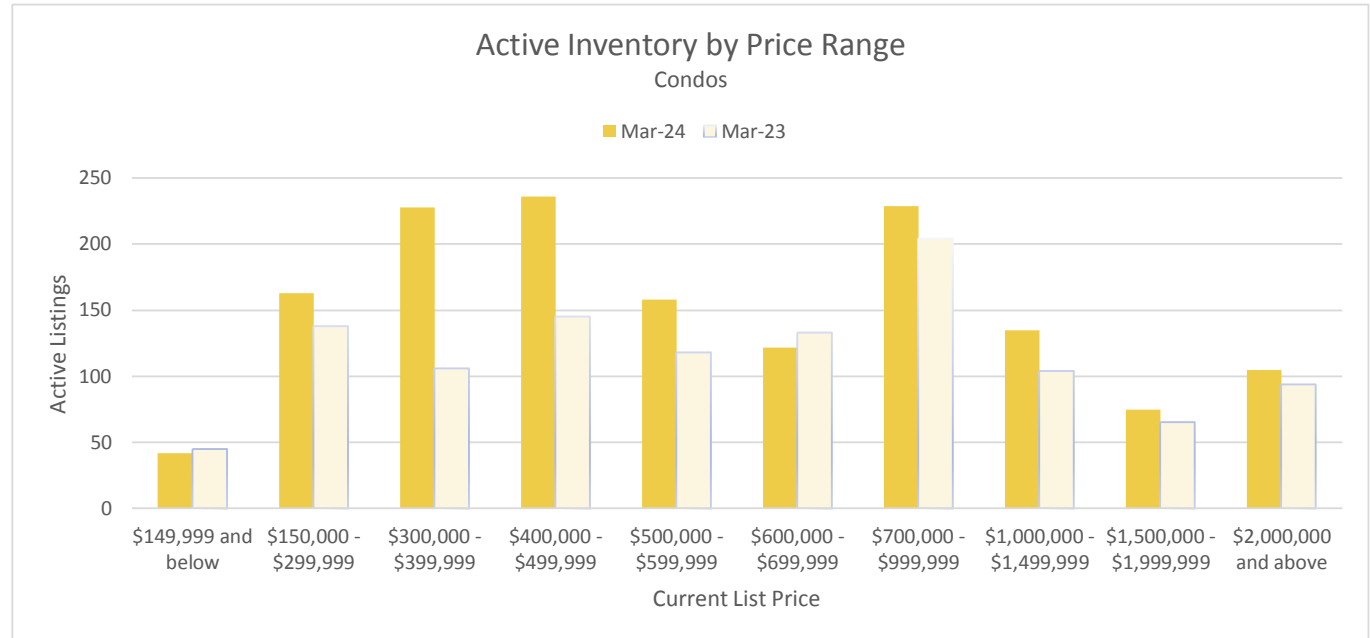
Active Inventory* by Price Range: Condos

March 2024

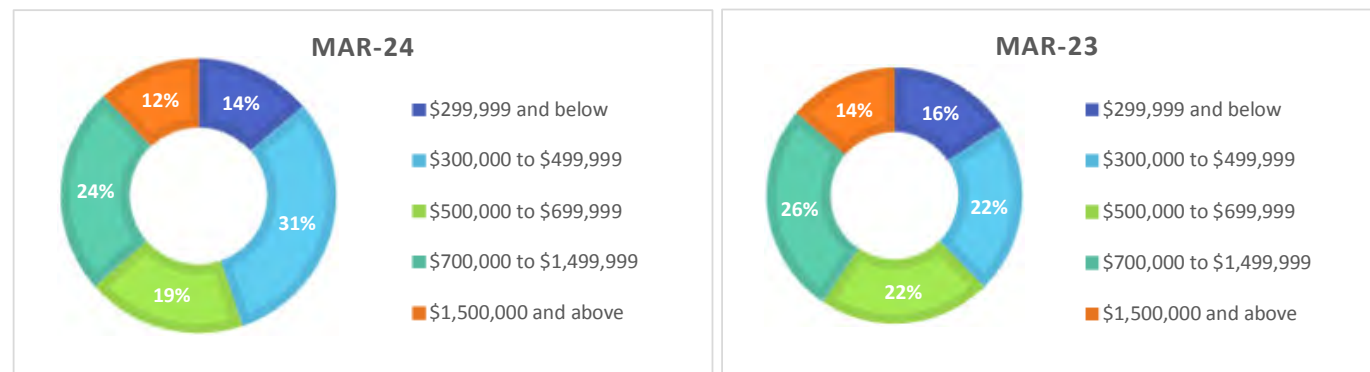
OAHU, HAWAII

(The number of properties active on market at the end of a given month)

Condos	Mar-24	Mar-23	YOY chg
\$149,999 and below	42	45	-6.7%
\$150,000 - \$299,999	163	138	18.1%
\$300,000 - \$399,999	228	106	115.1%
\$400,000 - \$499,999	236	145	62.8%
\$500,000 - \$599,999	158	118	33.9%
\$600,000 - \$699,999	122	133	-8.3%
\$700,000 - \$999,999	229	204	12.3%
\$1,000,000 - \$1,499,999	135	104	29.8%
\$1,500,000 - \$1,999,999	75	65	15.4%
\$2,000,000 and above	105	94	11.7%
All Condos	1,493	1,152	29.6%



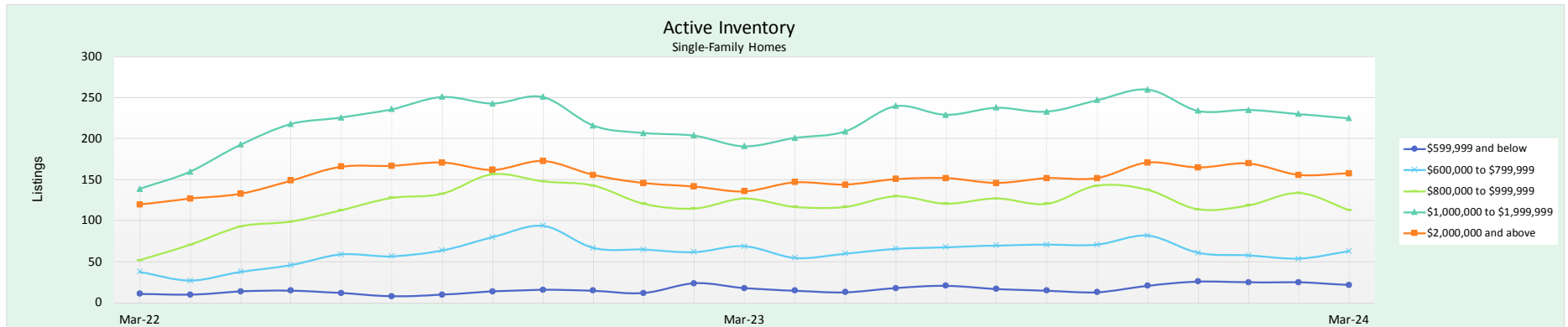
Active Inventory - Percent Share by Price Range (portion of total active status listings represented by a given price range)



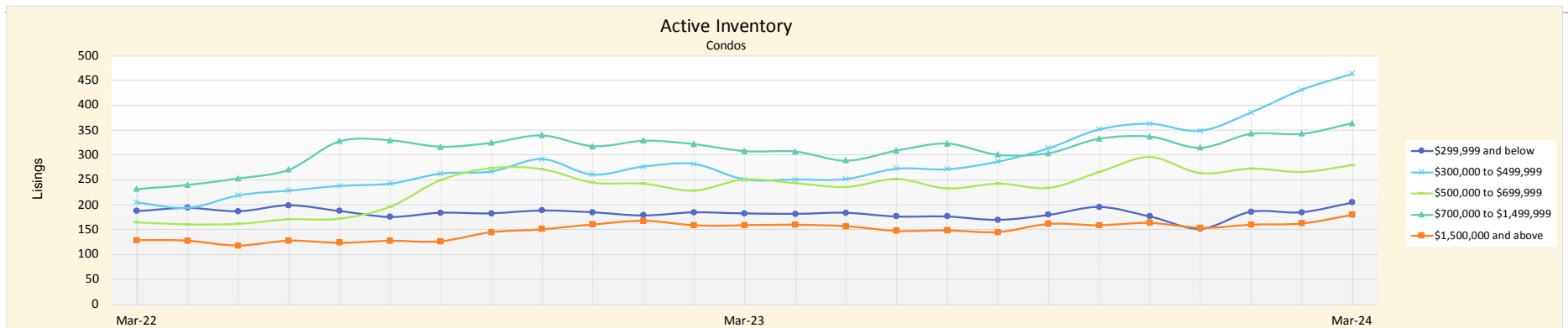
*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

Active Inventory*: Single-Family Homes and Condos

March 2024
OAHU, HAWAII



Single-Family Homes	M-22	A-22	M-22	J-22	J-22	A-22	S-22	O-22	N-22	D-22	J-23	F-23	M-23	A-23	M-23	J-23	J-23	A-23	S-23	O-23	N-23	D-23	J-24	F-24	M-24
\$599,999 and below	11	10	14	15	12	8	10	14	16	15	12	24	18	15	13	18	21	17	15	13	21	26	25	25	22
\$600,000 to \$799,999	38	27	38	46	59	57	64	80	94	67	65	62	69	55	60	66	68	70	71	71	82	61	58	54	63
\$800,000 to \$999,999	52	71	93	99	113	128	133	157	148	143	121	115	127	117	117	130	121	127	121	143	138	114	119	134	113
\$1,000,000 to \$1,999,999	139	160	193	218	226	236	251	243	251	216	207	204	191	201	209	240	229	238	233	247	260	234	235	230	225
\$2,000,000 and above	120	127	133	149	166	167	171	162	173	156	146	142	136	147	144	151	152	146	152	152	171	165	170	156	158
Total	380	395	471	527	576	596	629	656	682	597	551	547	541	535	543	605	591	598	592	626	672	600	607	599	581



Condos	M-22	A-22	M-22	J-22	J-22	A-22	S-22	O-22	N-22	D-22	J-23	F-23	M-23	A-23	M-23	J-23	J-23	A-23	S-23	O-23	N-23	D-23	J-24	F-24	M-24
\$299,999 and below	188	194	187	199	188	176	184	183	189	185	179	185	183	182	184	177	177	170	180	196	177	152	186	185	205
\$300,000 to \$499,999	205	194	219	229	238	243	263	267	292	261	277	282	251	251	252	273	272	287	314	352	363	349	386	431	464
\$500,000 to \$699,999	165	161	162	171	172	196	250	274	272	245	243	229	251	244	236	252	233	243	234	266	296	264	273	266	280
\$700,000 to \$1,499,999	232	240	253	271	328	330	317	325	340	318	329	322	308	307	289	309	323	301	304	333	337	315	343	343	364
\$1,500,000 and above	129	128	118	128	124	128	127	145	151	161	168	159	159	160	157	148	149	145	162	159	164	154	160	163	180
Total	919	917	939	998	1,050	1,073	1,141	1,194	1,244	1,170	1,196	1,177	1,152	1,144	1,118	1,159	1,154	1,146	1,194	1,306	1,337	1,234	1,348	1,388	1,493

*Indicator modified as of 2021 to reflect Active status listings only and applied to historical monthly data shown above. Previous report indicator, referred to as Active Listings, reflected all actively marketed listings in A and C status.

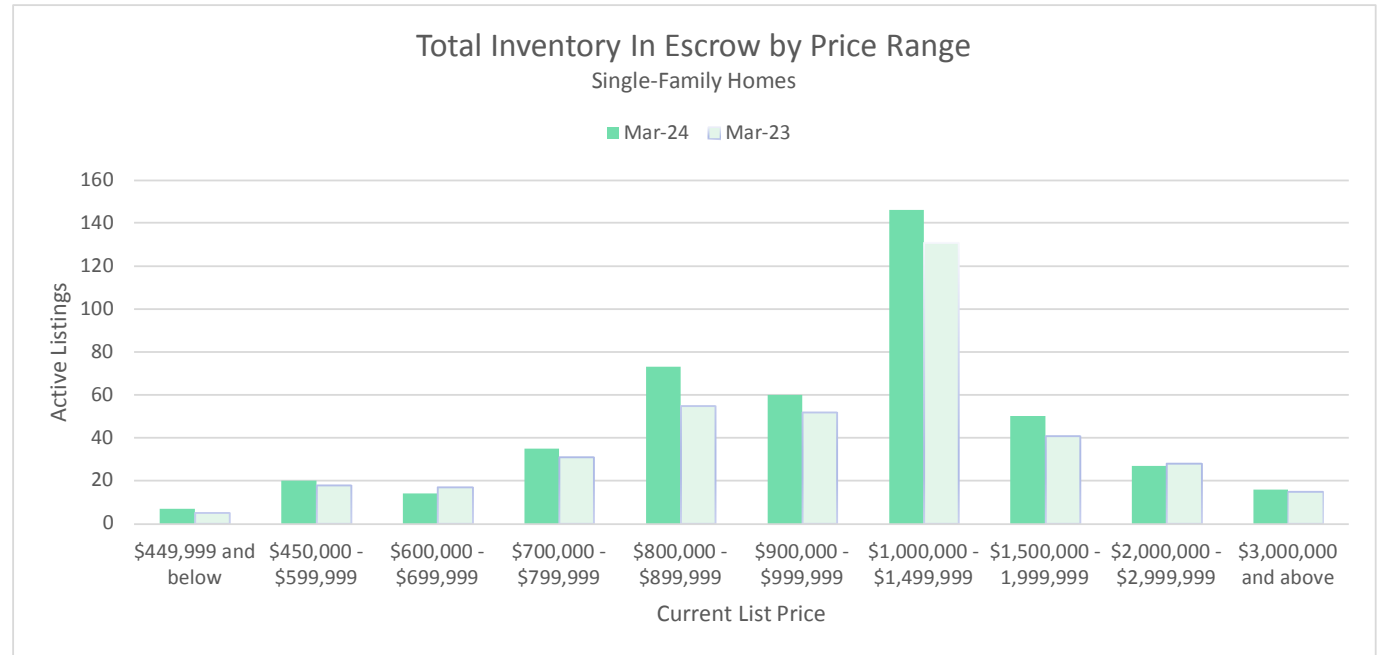
Total Inventory In Escrow* by Price Range: Single-Family Homes

March 2024

OAHU, HAWAII

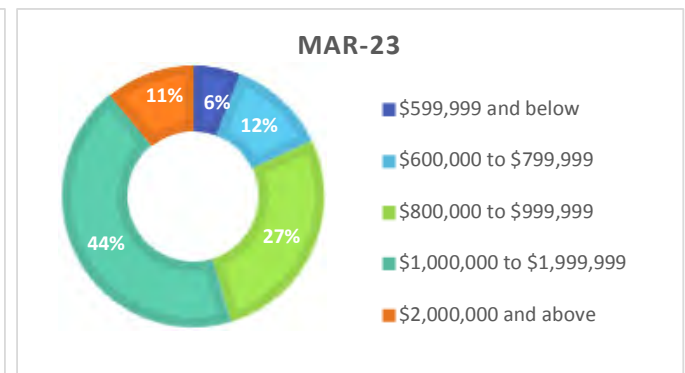
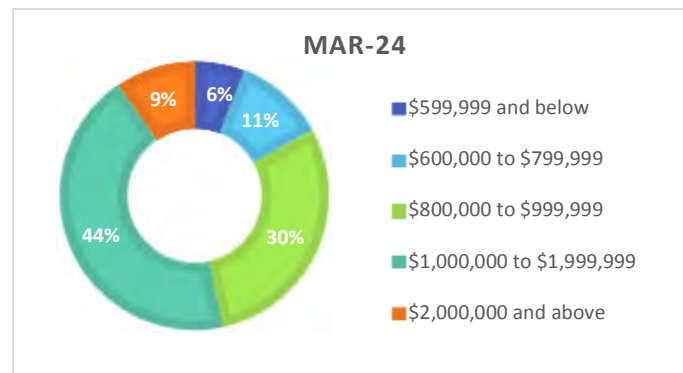
(The number of properties in an escrow status at the end of a given month)

Single-Family Homes	Mar-24	Mar-23	YOY chg
\$449,999 and below	7	5	40.0%
\$450,000 - \$599,999	20	18	11.1%
\$600,000 - \$699,999	14	17	-17.6%
\$700,000 - \$799,999	35	31	12.9%
\$800,000 - \$899,999	73	55	32.7%
\$900,000 - \$999,999	60	52	15.4%
\$1,000,000 - \$1,499,999	146	131	11.5%
\$1,500,000 - 1,999,999	50	41	22.0%
\$2,000,000 - \$2,999,999	27	28	-3.6%
\$3,000,000 and above	16	15	6.7%
All Single-Family Homes	448	393	14.0%



Total Inventory In Escrow - Percent Share by Price Range

(portion of total inventory in escrow represented by a given price range)



*New indicator added to reports as of 2021, including applicable historical data.

Total Inventory In Escrow* by Price Range: Condos

March 2024

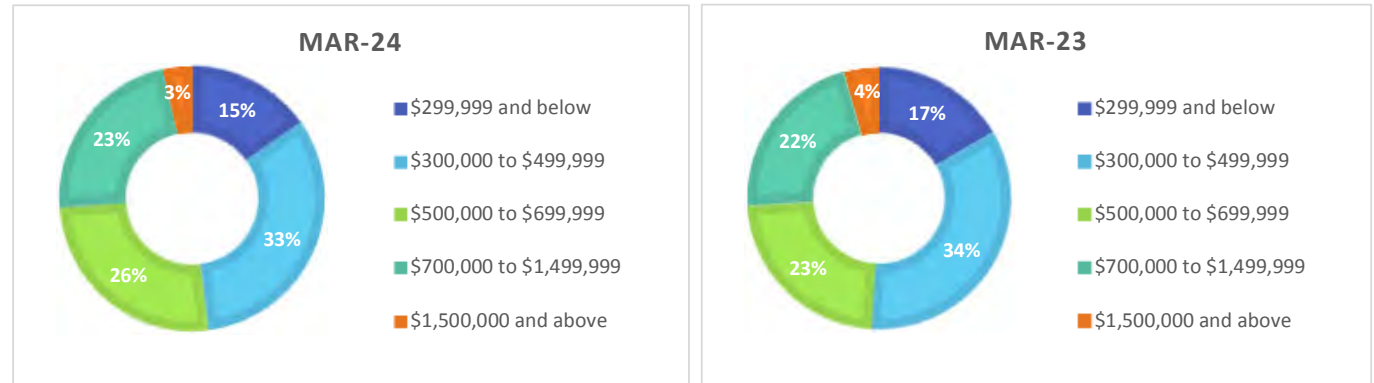
OAHU, HAWAII

(The number of properties in an escrow status at the end of a given month)

Condos	Mar-24	Mar-23	YOY chg
\$149,999 and below	27	25	8.0%
\$150,000 - \$299,999	72	75	-4.0%
\$300,000 - \$399,999	98	106	-7.5%
\$400,000 - \$499,999	114	101	12.9%
\$500,000 - \$599,999	98	81	21.0%
\$600,000 - \$699,999	69	58	19.0%
\$700,000 - \$999,999	108	97	11.3%
\$1,000,000 - \$1,499,999	38	33	15.2%
\$1,500,000 - \$1,999,999	11	14	-21.4%
\$2,000,000 and above	12	12	0.0%
All Condos	647	602	7.5%



Total Inventory In Escrow - Percent Share by Price Range (portion of total inventory in escrow represented by a given price range)



*New indicator added to reports as of 2021, including applicable historical data.

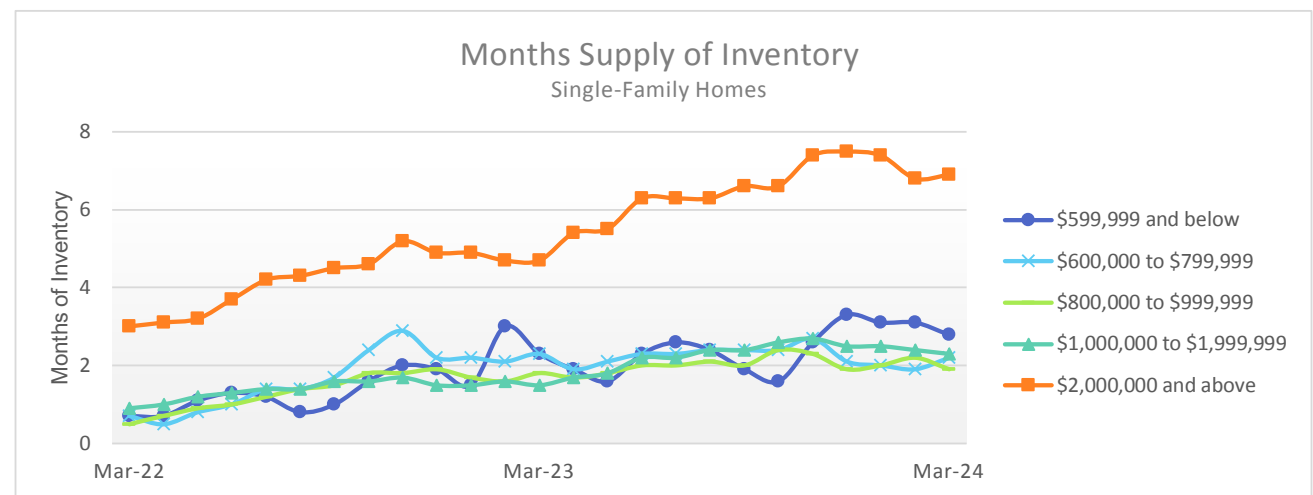
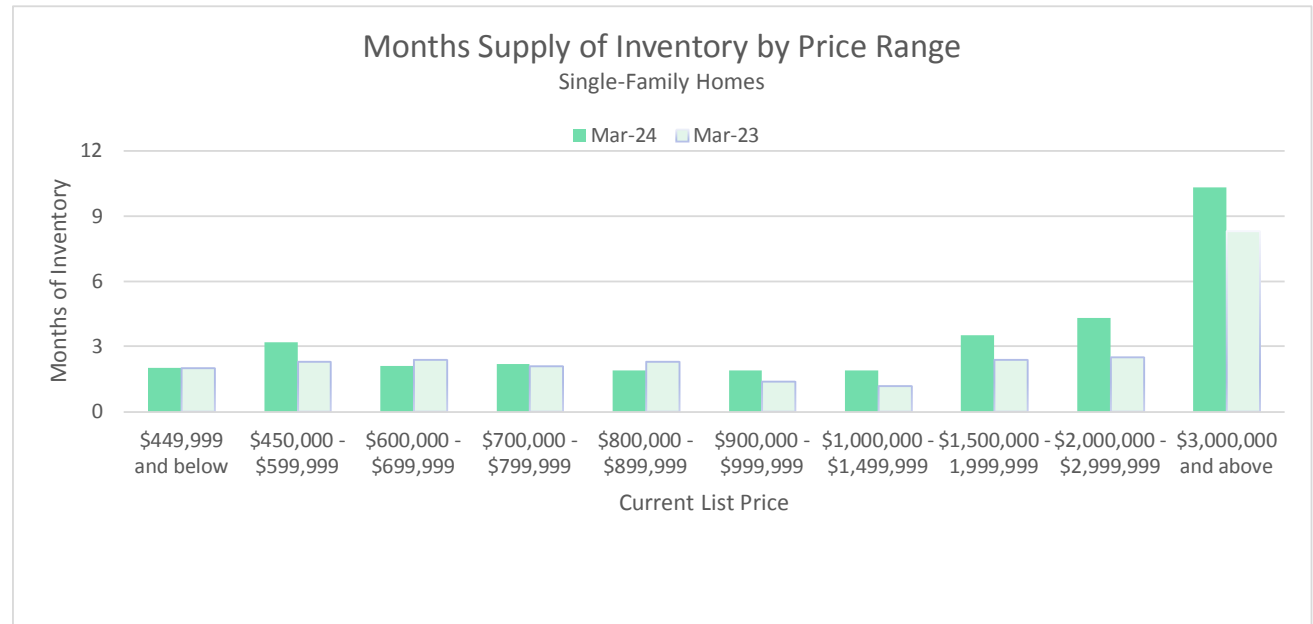
Months Supply of Active Inventory by Price Range: Single-Family Homes

March 2024

OAHU, HAWAII

(Compares active inventory to a rolling 12-month average closed sales)

Single-Family Homes	Mar-24	Mar-23	YOY chg
\$449,999 and below	2.0	2.0	0.0%
\$450,000 - \$599,999	3.2	2.3	39.1%
\$600,000 - \$699,999	2.1	2.4	-12.5%
\$700,000 - \$799,999	2.2	2.1	4.8%
\$800,000 - \$899,999	1.9	2.3	-17.4%
\$900,000 - \$999,999	1.9	1.4	35.7%
\$1,000,000 - \$1,499,999	1.9	1.2	58.3%
\$1,500,000 - 1,999,999	3.5	2.4	45.8%
\$2,000,000 - \$2,999,999	4.3	2.5	72.0%
\$3,000,000 and above	10.3	8.3	24.1%
All Single-Family Homes	2.7	2.1	28.6%



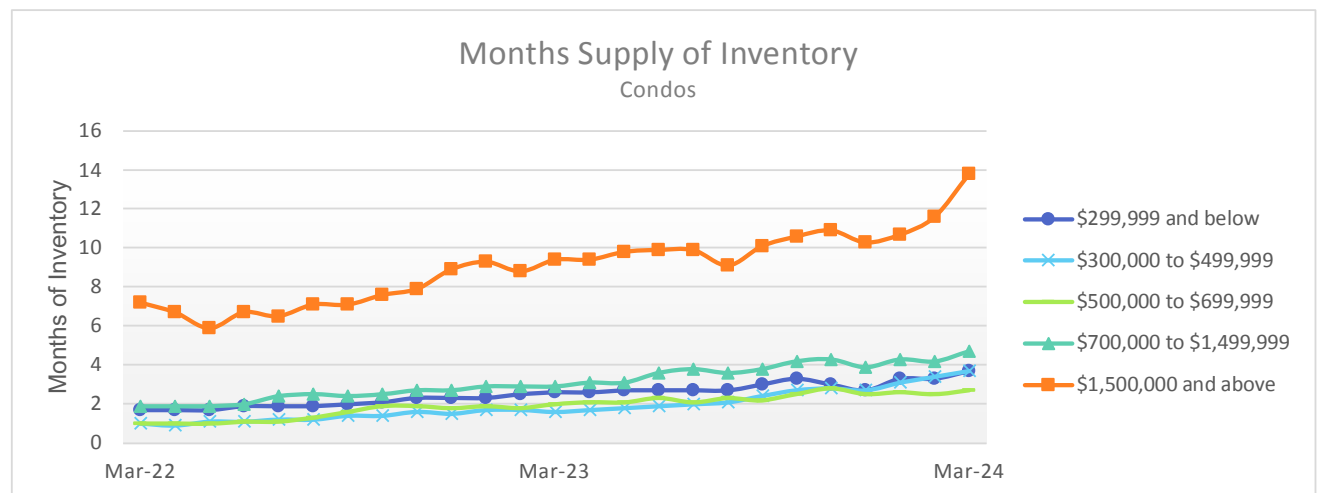
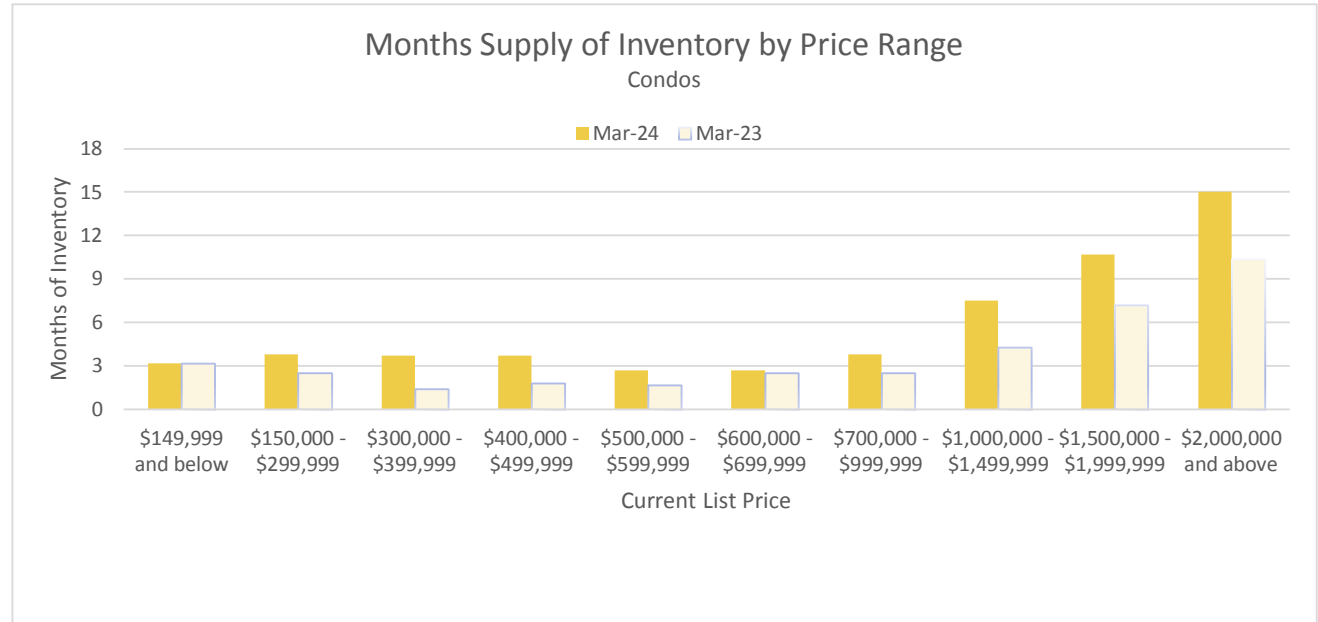
Months Supply of Active Inventory by Price Range: Condos

March 2024

OAHU, HAWAII

(Compares active inventory to a rolling 12-month average closed sales)

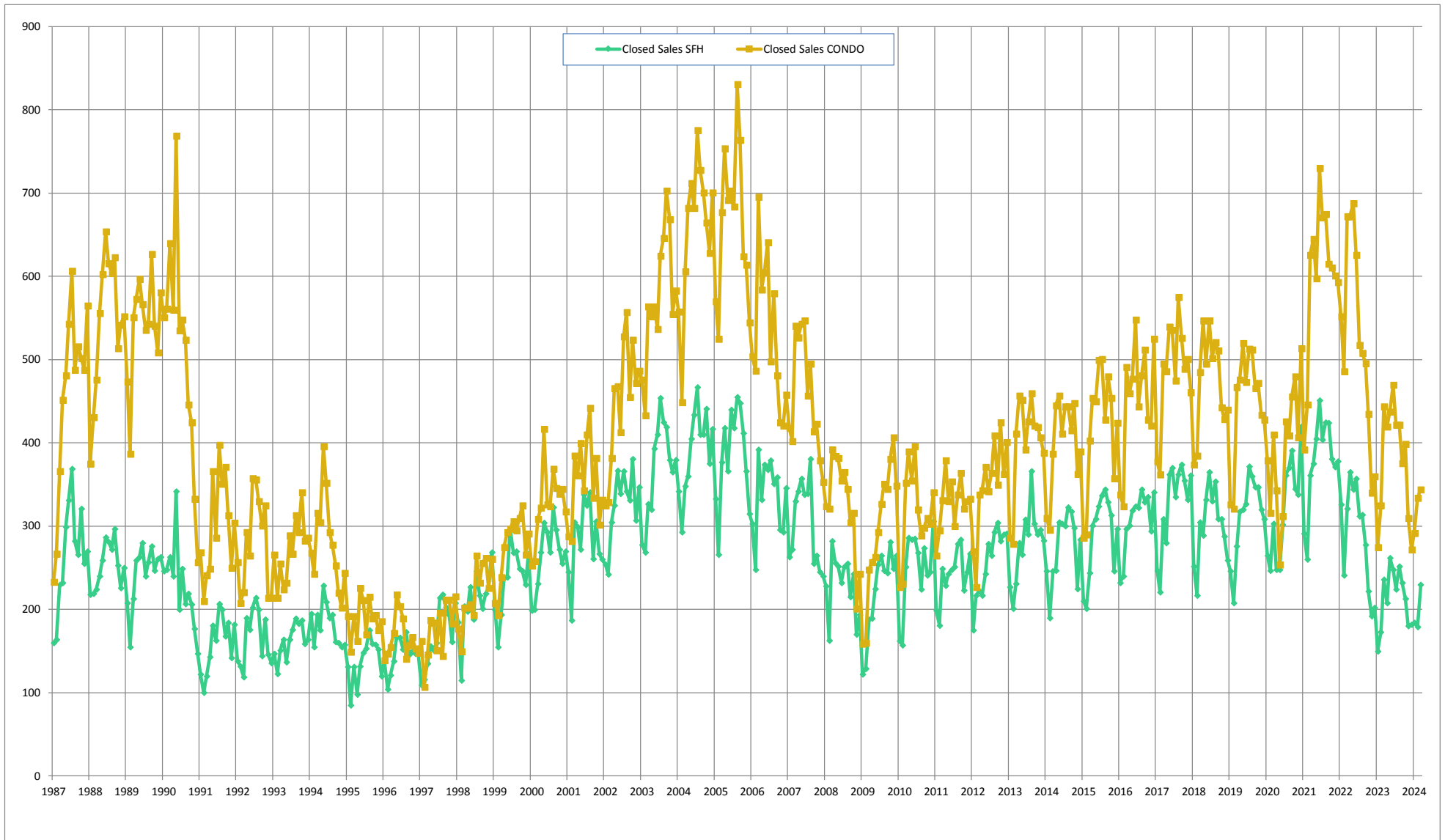
Condos	Mar-24	Mar-23	YOY chg
\$149,999 and below	3.2	3.2	0.0%
\$150,000 - \$299,999	3.8	2.5	52.0%
\$300,000 - \$399,999	3.7	1.4	164.3%
\$400,000 - \$499,999	3.7	1.8	105.6%
\$500,000 - \$599,999	2.7	1.7	58.8%
\$600,000 - \$699,999	2.7	2.5	8.0%
\$700,000 - \$999,999	3.8	2.5	52.0%
\$1,000,000 - \$1,499,999	7.5	4.3	74.4%
\$1,500,000 - \$1,999,999	10.7	7.2	48.6%
\$2,000,000 and above	15.0	10.4	44.2%
All Condos	4.0	2.4	66.7%



Closed Sales

Single-Family Homes and Condos

OAHU, HAWAII: Jan 1987 to the Present



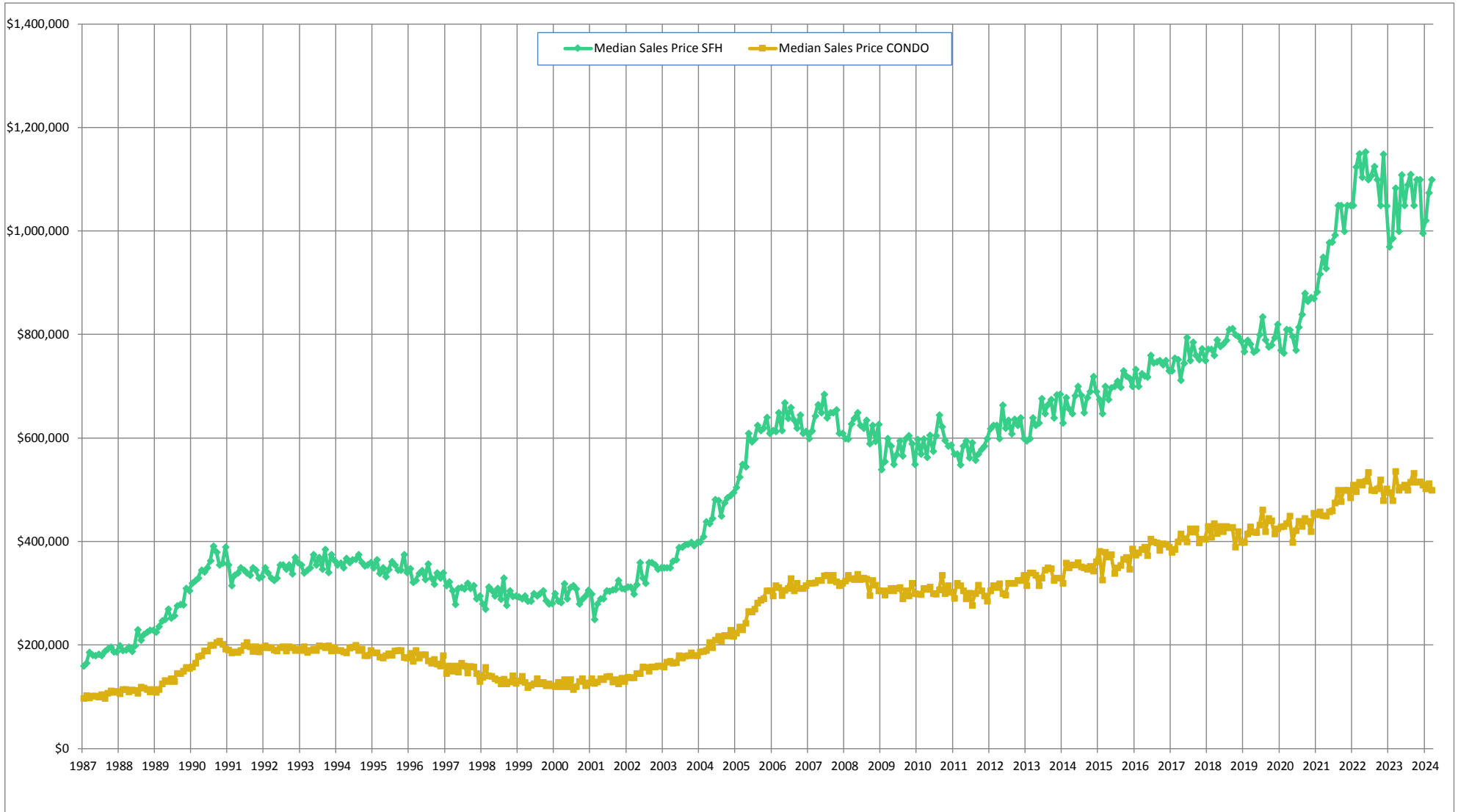
SOURCE: Honolulu Board of REALTORS®, compiled from MLS data.

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Median Sales Price

Single-Family Homes and Condos

OAHU, HAWAII: Jan 1987 to the Present



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