

Inspection Report for John Smith

Property Address: 123 Main St, Anywhere, BC V1Z1Z1



123 Main Street

Gold Star Home Inspections

Victoria Bc

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Date: 6/22/2018	Time: 09:17 AM	Report ID: 123 Main St
Property: 123 Main St Anywhere BC V1Z1Z1	Customer: John Smith	Real Estate Professional:

Description of a Home Inspection:

A Home Inspection is a multi-disciplined visual analysis of the major systems within a home.

The inspector is a "guest" in the current owners home and as such will take every precaution not to disturb or damage any section of the home.

Inspectors are not able to see or predict defects behind drywall, furniture, under carpets etc. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. You should be aware that when the home is vacant at the possession date, unseen defects that were not visible or accessible during the inspection may now be apparent.

This inspection is performed to the Home Inspectors Association of BC (HIABC) Scope of Inspection (2016) and is visual in nature. This inspection does not address Building, Electrical, Plumbing, etc. code compliance issues which are the purview of municipal building inspectors.

These standards are available at: [HIABC Scope of Inspection](#)

Finding significant deficiencies in the major systems is the focus of this visual home inspection. A visual home inspection will reduce the potential risks for unforeseen costs but it cannot eliminate them.

Although a Summary is provided for the client's convenience, it is recommended that the client thoroughly read the entire report before subject removal. Not everything is included in the Summary Section.

Throughout this report recommendations of repair or further review may be made. All repairs or further evaluations should be accomplished by licensed, bonded contractors or professionals that specialize in the appropriate field, (i.e. electricians for electrical issues, plumbers for plumbing issues).

Contractors that perform repairs are responsible for complying with all applicable local regulations and codes. It is always possible that additional hidden damage or defects may be found once repairs begin.

Please be aware that the inspector has your best interest in mind. Any repair/replace items mentioned in this report should be considered before purchase.

General Information:**Scope of Inspection:**

Home Inspectors Association BC
(HIABC)

Type of Building:

2 Story

Approximate Age of Building:

Over 25 Years

Building Faces:

North

Occupancy:

Furnished

Temperature:

6-10 degrees Celcius

Weather:

Clear

Ground/Soil Surface Condition:

Damp

Rain in Last 3 Days:

Yes

In Attendance:

Customer and their agent

1. Site

HIABC Scope of Inspection:

The Inspector shall inspect: Vegetation, grading, surface drainage on the property when any of these are likely to adversely affect the building; Walkways, patios, and driveways leading to dwelling entrances; Landscaping structure attached or adjacent to the building when likely to adversely affect the building.

Styles & Materials

Property Grade:

Slopes from Front to Back

Landcaping:

Flower Bed
Mainly Grass
Shrub

Driveway:

Concrete

Walkway Paths:

Concrete

Fencing:

Wood

Retaining Wall:

Concrete Block

Limitations:

Vegetation obscuring inspection

Items

1.0 Grade

Comments: Inspected

1.1 Landscaping

Comments: Inspected



1.1 Item 1(Picture) Shrubs too close to building

Trim and maintain vegetation away from structure to increase ability of building to dry and thereby reduce moisture related damages.

1.2 Walkway Steps/ Railing on Walkway Steps

Comments: Inspected

1.3 Driveway

Comments: Inspected



1.3 Item 1(Picture)

Some cracking noted in driveway. Should be sealed to limit water entry and further damage.

1.4 Fencing

Comments: Inspected

1.5 Retaining Wall

Comments: Inspected

2. Roofing

HIABC Scope of Inspection Requirements:

The inspector shall Inspect: Readily accessible roof coverings; Readily accessible roof drainage systems; Readily accessible flashings; Readily accessible skylights, chimneys, and roof penetrations.

The inspector shall Describe: The roof covering and report the method(s) used to inspect the roof

The inspector shall Report: The method(s) used to inspect the roof(s)

The inspector is NOT required to Inspect: Antennae and satellite dishes; Interior of flues or chimneys which are not readily accessible; Other installed accessories, items attached to but not related to the roof system(s)

Styles & Materials

Viewed Roof From:

Ground
At Roof Edge with Ladder only
With Binoculars

Roof Covering:

Asphalt/Fiberglass

Pitch:

8:12

Roof-Type:

Gable

Estimated Age:

2 Years

Typical Life Span of Roof/Material:

20-25 Years

Fascia Boards:

Wood

Soffit:

Vented
Alloy

Gutters/Drainage:

Alloy

Down Spout/Discharge:

Alloy

Flashing Materials:

Alloy
Galvanized Metal

Chimney (Exterior):

Block

Chimney Liner:

No Access to Inspect

Chimney Cap:

Concrete
Metal

Sky Light(s):

Three

Roof Ventilation:

Passive/ Roof vents
Soffit Vents

Limitations:

Unsafe to access

Items

2.0 Roof Coverings

Comments: Inspected

2.1 Roof Drainage Systems (Gutters and Downspouts)

Comments: Inspected



2.1 Item 1(Picture) Downspout at side of house

Downspouts should terminate into a collection system or at least six feet away from the house to limit water ingress into the house.

The gutters appear intact but due to the lack of recent rain it is not possible, at time of inspection, to determine if gutters leak at seams or spill water.

The gutters are full of debris in areas and needs to be cleaned. The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist.

2.2 Flashings

Comments: Inspected



2.2 Item 1(Picture) Fascia boards exposed

Recommend extending roofing or flashing over tails of boards to limit water entry and deterioration.

2.3 Roof Ventilation

Comments: Inspected

2.4 Skylights

Comments: Inspected

2.5 Chimney

Comments: Inspected

2.6 Chimney Liner

Comments: Not Inspected

2.7 Chimney Cap

Comments: Inspected

2.8 Fascia Boards

Comments: Inspected

2.9 Soffit

Comments: Inspected

3. Exterior

HIABC Scope of Inspection

The inspector shall Inspect: The exterior wall covering(s), flashing and trim; All exterior doors; Attached or adjacent decks, balconies, steps, porches, and their associated railings; The eaves, soffits, and fascias where accessible from the ground level

The inspector shall Describe The exterior wall covering(s).

The inspector shall Report: The method(s) used to inspect the exterior wall elevations;

The inspector is NOT required to Inspect: Screening, shutters, awnings, and similar seasonal accessories; Fences; Geological, Geotechnical or Hydrological conditions; Recreational facilities; Outbuildings; Seawalls, break-walls, dykes and docks; Erosion control and earth stabilization measures.

Styles & Materials

Method to Inspect Exterior Wall

Elevations:

From Ground

Windows:

Metal
with Head Flashings

Deck/ Balconies/ Patio Decks:

Concrete

Porch Railing:

Wood

Plumbing Fauctes/ Hose Bibbs:

Standard

Siding Style:

Face Sealed

Glazing:

Thermal

Deck Rails:

Wood

Exterior Receptacles:

Not working

Limitations:

Partially or fully obscured by materials or vegetation

Siding Material:

Wood Siding

Exterior Entry Doors:

Steel

Front Porch/ Entry/ Foyer:

At ground level
Concrete

Exterior Receptacles Protected at:

Unknown

Items

3.0 Wall Cladding/ Flashing/ Trim

Comments: Inspected



3.0 Item 1(Picture) Less than 6 inches to wood siding



3.0 Item 2(Picture) Some rot noted at ground/wood junctions.

Siding in contact with ground at exterior in some areas. Because the siding is in contact with ground it is possible for framing to be deteriorated. We did not inspect behind this siding. Recommend a ground clearance of six to eight inches where possible.

Some rot noted in a few areas. Recommend repair of deteriorated wood.

3.1 Doors (Exterior)

Comments: Inspected

3.2 Windows

Comments: Inspected

3.3 Deck(s)

Comments: Inspected

3.4 Railings/ Stairs

Comments: Inspected

3.5 Porches/ Entry Foyer

Comments: Inspected

3.6 Porch Railings/Stairs

Comments: Inspected

3.7 Plumbing Water Faucets (Hose Bibbs)

Comments: Inspected



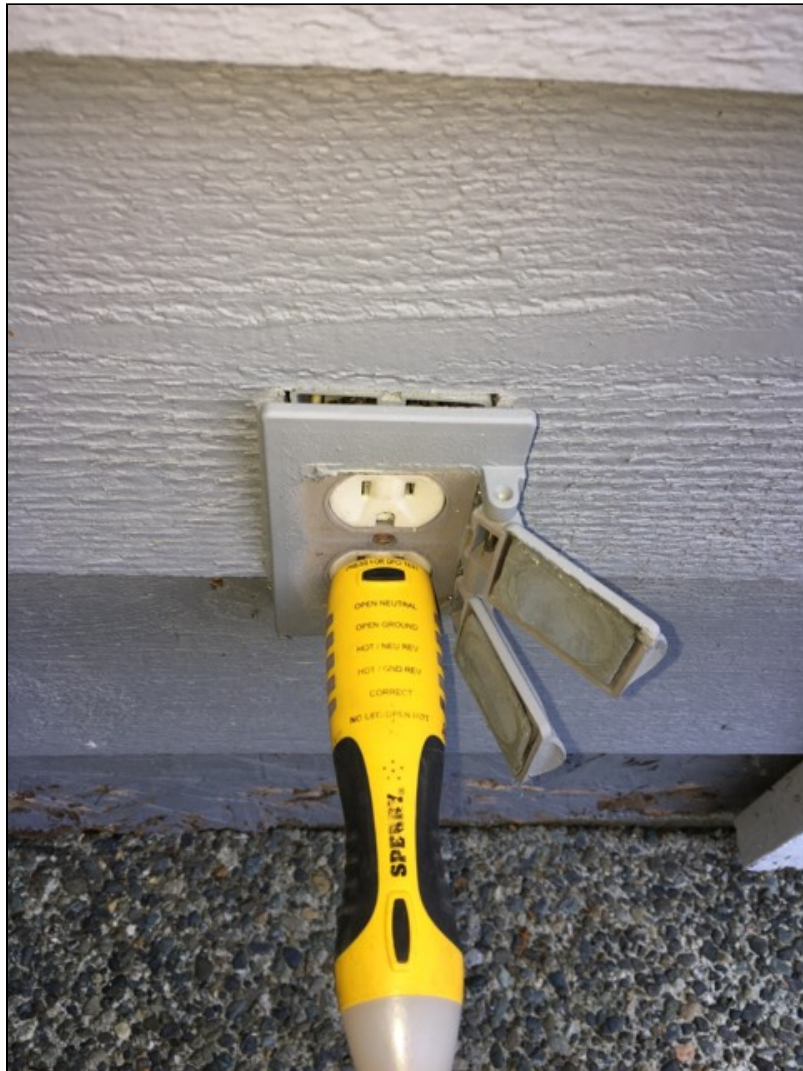
3.7 Item 1(Picture) Standard Hose Bib

Recommend installation of frost free and anti siphon hose bibs to prevent frozen pipe water related damage and to prevent accidental siphon and contamination of the drinking water supply.

Recommend disconnect hoses at frost free hose bib to prevent possible freeze related damages during cold weather.

3.8 Electrical (Receptacles/ Lighting)

Comments: Inspected



3.8 Item 1(Picture) Not working

Electrical receptacles not working. Gap to siding should be sealed to limit water entry. Recommend repair.

4. Garage

Styles & Materials

Garage Type:

Attached
2 Car

Garage Door Type:

One Automatic

Garage Door Material:

Wood

Foundation:

Concrete

Walls:

Wood Siding
Drywall
Finished

Moisture Meter used during inspection:

GE SurveyMaster

Ceiling:

Drywall

Electrical:

Concealed in Walls

Structural Components:

Concrete

Viewed roof covering from:
Ground
At Roof Edge with Ladder only

Limitations:
Partially or fully obscured by storage items

Items

4.0 Foundation

Comments: Inspected

4.1 Electrical System

Comments: Inspected

4.4 Garage Ceilings

Comments: Inspected

4.5 Garage Internal Walls (Including Firewall Separation)

Comments: Inspected



4.5 Item 1(Picture) Storage limited access and inspection



4.5 Item 2(Picture) Gap in drywall.

Garage being used for storage, limited access and inspection.

Some penetrations through drywall, should be sealed to limit potential entry of noxious gases from the garage to the house. Seal all joints/gaps to promote gas/fire barrier.

4.6 Garage Floor

Comments: Inspected

4.7 Garage Vehicle Door

Comments: Inspected

4.8 Entry Door(s) (From Garage to Main House)

Comments: Inspected



4.8 Item 1(Picture) Door does not automatically close and seal.

Automatic closing door does not work or close door fully. This malfunction can allow noxious gases to enter the living area of the house. These gases can cause illness or injury to occupants. Have unit serviced and/or replace to ensure correct closing and sealing.

4.9 Exterior Entry Door(s)

Comments: Inspected

5. Structural Components

HIABC Scope of Inspection Requirements:

The inspector shall inspect: Structural components including visible foundation and framing; By probing a sample of structural components where deterioration is suspected or where clear indications of possible deterioration exist; Probing is NOT required when probing would damage any finished surface or where no deterioration is visible.

The inspector shall Describe: Foundation(s) ; Floor structure(s); Wall structure(s); Ceiling structure(s); Roof structure(s).

The inspector shall Report: On conditions limiting access to structural components; Methods used to inspect the under-floor crawl space; Methods used to inspect the attic(s).

The inspector is Not required to: . Provide any engineering service or architectural service; Offer an opinion as to the adequacy of any structural system or component.

Styles & Materials

Foundation:

Poured concrete
Not Visible. Concealed with finishing products

Roof Structure:

Engineered wood trusses
@24 inch centers

Sheathing:

Ply wood
Wood slats

Attic Access Location:

Closet

Attic info:

Attic hatch
Limited access

Method used to observe attic:

Entered with limited access

Ceiling Structure:

Not visible (concealed with Insulation)

Wall Structure:

Concealed at finished areas

Floor Structure:

Concealed wood framing at upper floor
Concrete, Slab on grade

Beams or Support Posts:

Concealed at finished areas

Limitations:

Finished interior
Low head room in attic areas

Items

5.0 Foundation

Comments: Inspected

5.1 Roof

Comments: Inspected

5.2 Roof Collar Ties/ Ridge Beam/ Ceiling Framing

Comments: Inspected

5.3 Attic Sheathing

Comments: Inspected

5.4 Walls (Structural)

Comments: Inspected

5.5 Floors (Structural)

Comments: Not Inspected

5.6 Beams and Support Posts

Comments: Not Inspected

6. Insulation: Kitchen, Laundry, Bathroom Venting

HIABC Scope of Inspection Requirements:

The Inspector shall Inspect: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Mechanical ventilation systems; Ventilation systems in areas such as, Kitchens, Bathrooms and Laundry areas where moisture is generated

The Inspector shall Describe: Type of insulation and vapour retarders in unfinished spaces; Ventilation of attics and foundation areas; Mechanical ventilation systems; Ventilation systems in areas such as kitchens, bathrooms and laundry areas where moisture is generated.

The Inspector shall Report:: The absence of insulation in unfinished spaces at conditioned surfaces; Absence of ventilation in areas where moisture is generated such as kitchens, bathrooms and laundry rooms.

The Inspector is NOT required to: Disturb insulation or vapor retarders; Determine Indoor Air quality; Determine system adequacy or distribution balance.

Styles & Materials

Attic Vapor Barrier:

Plastic

Attic Insulation Material:

Blown
Cellulose

Attic Insulation Depth/ R Value:

6-8 Inches R 20-28

Attic Ventilation:

Soffit and passive roof vents

Bathroom Venting:

Concealed with Insulation
Not insulated

Wall Insulation Material:

Concealed at finished areas

Wall Vapor Barrier:

Concealed.Unable to inspect

Limitation:

Low attic height in some areas

Items

6.1 Attic Insulation

Comments: Inspected

6.2 Attic Ventilation

Comments: Inspected

6.3 Main Structure/ Unfinished Basement

Comments: Inspected

6.6 Vapor Barriers

Comments: Inspected

6.7 Kitchen/ Bathroom/ Laundry Venting in Attic

Comments: Inspected



6.7 Item 1(Picture) Main bath vent duct

Main Bath vent duct is not insulated as it passes through attic. This can lead to condensation forming on the inside of the duct which may damage interior structures. Recommend insulating this duct.

7. Plumbing System

HIABC Scope of Inspection Requirements:

The inspector shall inspect: Interior water supply and distribution systems including all fixtures and faucets; Drain, waste and vent systems including all fixtures; Water heating equipment and associated venting system; Vent systems, flues & chimneys; Fuel storage and fuel distribution systems; Drainage sumps, sump pumps, and related piping.

The inspector shall Describe: Water supply, distribution, drain, waste, and vent piping materials; Water heating equipment including the energy source; Location of main water and main fuel shut-off valves.

The Inspector is NOT required to inspect: Clothes washing machine connections; The interiors of flues or chimneys which are not readily accessible; Wells, well pumps, or water storage related equipment; Water conditioning systems; Solar water heating systems; Fire and lawn sprinkler systems; Private waste disposal systems.

The Inspector is NOT required to Determine: . Whether water supply and waste disposal systems are public or private; The quantity or quality of the water supply.

The Inspector is NOT Required to Operate: Safety valves or shut-off valves.

Styles & Materials

Plumbing Water Supply (into home):

3/4 inch Polybutylene (Poly b)

Plumbing Water Distribution (inside home):

Polybutylene piping (Poly B) with copper fittings

Polybutylene pipe (Poly B) with acetal insert fittings

Floor Drain:

Beside Water Tank

Water Heater/ Boiler Location:

Closet downstairs

Hot Water heater/ Boiler Age:

2006

Drain tile risers:

None visible

Main Water shut off Valve

Location:

Closet in hall

Waste Drainage System:

City Sewer

Main clean out:

Unable to locate

Hot Water Tank/ Boiler Power

Source:

Electric

Life Span of Hot water Tank/

Boiler:

9-15 Years (10 Average)

Limitations:

Parially or fully obscured by storage or other items

Partially or fully obscured by finish materials

Perimeter drain system buried under ground. Unable to view.

Water Pressure within the Home:

Typical for age of Home

Plumbing Waste Drainage/Venting

Material:

ABS

Hose Bibb:

Standard Hose Bibb

Water Heater/Boiler

Manufacturer:

HOTPOINT

Water Heater/ Storage tank

Capacity:

270 liters

Items

7.0 Main Water Shut-Off Device Location

Comments: Inspected



7.0 Item 1(Picture) Main shut off

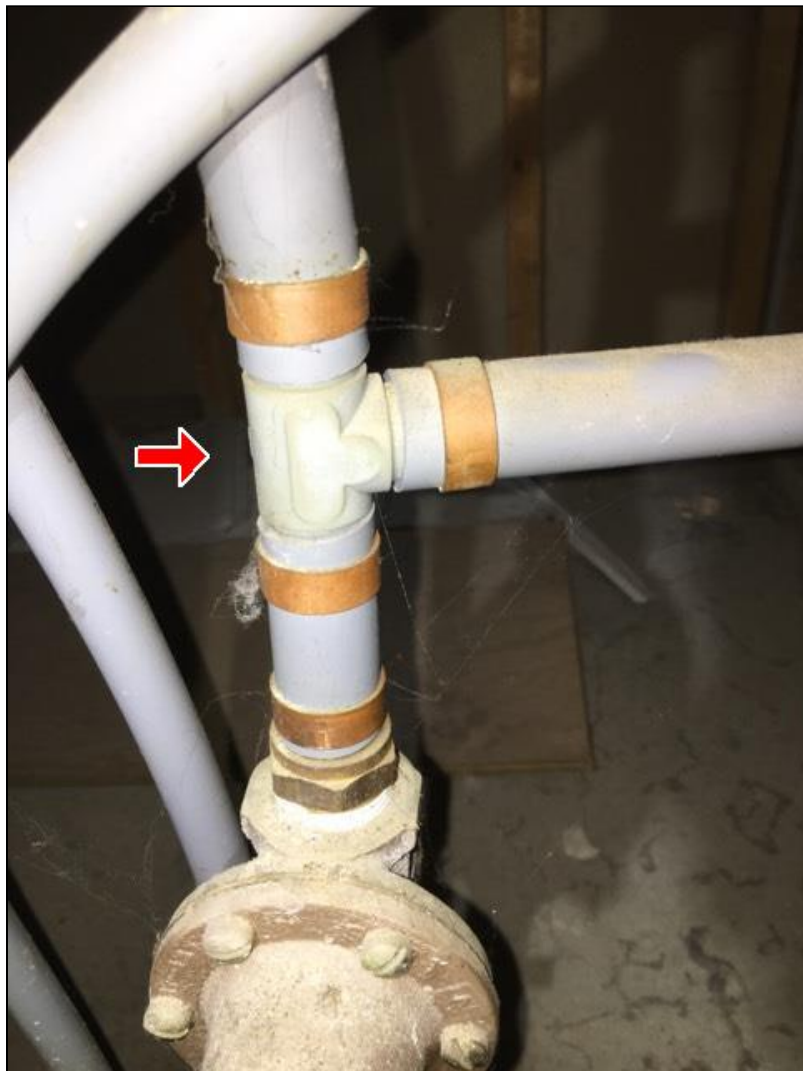
Main shut off for house is located in the main floor closet behind hot water tank.

7.1 Plumbing Water Supply

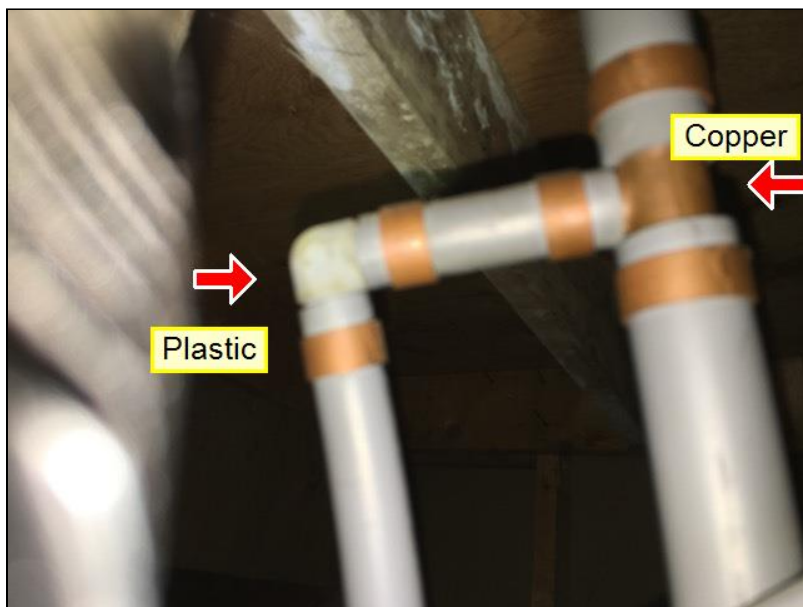
Comments: Inspected

7.2 Distribution Piping

Comments: Inspected



7.2 Item 1(Picture) Plastic fittings



7.2 Item 2(Picture) Mix of copper and plastic fittings.

 Polybutylene plastic plumbing supply lines (Poly B) are installed in the subject house. This house contains a mix of plastic and copper fittings.

Polybutylene has been used in this area for many years, but has had a higher than normal failure rate, and is no longer being widely used. Copper and Brass fittings used in later years have apparently reduced the failure rate. **You should be aware that some insurance companies may charge a higher premium with this type of piping installed. A qualified tradesperson should review/repair/replace these pipes and fittings as required.**

7.3 Plumbing Waste Drainage/ Vent Systems

Comments: Inspected

7.4 Hot Water Tank(s)

Comments: Inspected



7.4 Item 1(Picture) Drain tube required for T and P valve



7.4 Item 2(Picture) No earthquake strapping

 Hot water tank under stairs in closet.

Recommend strap tank for additional safety during an earthquake event.

The T&P (Test and Pressure) valve on water heater needs a 3/4 threaded pipe to extend within 6 inches of floor for safety. Water spraying from this valve from a point short of the floor can cause scalding of occupants and damage to interior finishing. It is recommended that this be repaired.

7.5 Hot Water Tank Age

Comments: Inspected

7.7 Sub Surface Drainage (Drain Tile)

Comments: Not Inspected

8. Electrical System

HIABC Scope of Inspection Requirements:

The Inspector shall Inspect: Service drop; Service entrance conductors, cables, and raceways; Service equipment and main disconnects; Service grounding; Interior components of service panels and sub panels; Distribution conductors; Overcurrent protection devices; A representative number of installed lighting fixtures, switches and receptacles; The ground fault circuit interrupters (GFCI) (if appropriate); Arc fault circuit interrupters (AFCI) (if appropriate).

The Inspector shall Describe: Amperage and voltage rating of the service; Location of main disconnect(s) and sub-panel(s); Wiring methods.

The Inspector shall Report The presence of solid conductor aluminium branch circuit wiring; Absence of carbon monoxide detectors (if applicable); Absence of smoke detectors; Presence of ground fault circuit interrupters (GFCI); Presence of arc fault circuit interrupters (AFCI).

The Inspector is NOT Required to Inspect: Remote control devices unless the device is the only control device; Alarm systems and components; Low voltage wiring, systems and components; Ancillary wiring, systems and components not a part of the primary electrical power distribution system; Telecommunication equipment.

The Inspector is NOT Required to Measure: Amperage, voltage or impedance.

Styles & Materials

Electrical Service Entry Wires: Overhead service	Electrical Meter location: Garage wall	Main Panel Location: Garage
Main Panel Rating: (2) 200 AMP service panel	Main Panel Disconnect Rating: 200 AMP	Main Disconnect: Breaker In main Electrical Panel
Circuit Wiring: Copper	Over Current Protectors: Circuit breakers	Grounding: Not visible
Bonding: Concealed	Electric Panel Manufacturer: Nova	Smoke Carbon Monoxide alarms: None installed
Limitation: Obstructed access to electrical panel(s)		

Items

8.0 Service Entrance Wires

Comments: Inspected



8.0 Item 1(Picture) Service Wire in trees

Service entrance wires pass through tree. Recommend qualified tradesperson trim branches and provide clearance on cables to prevent possible damages. BC Hydro may provide this service for free. Recommend contact them first.

8.1 Bonding and Grounding

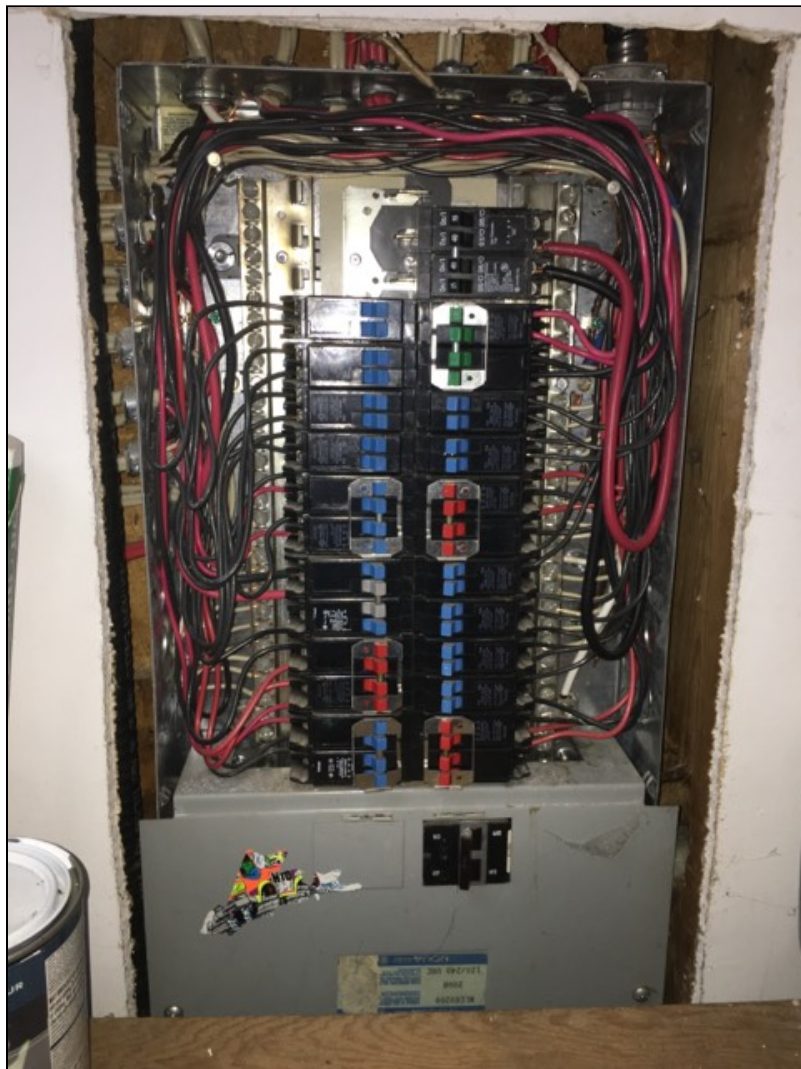
Comments: Not Inspected

8.2 Main Distribution Panel

Comments: Inspected



8.2 Item 1(Picture) Obstructed access.



8.2 Item 3(Picture) Inside panel

Electrical panels should have three feet of clearance in front of them and one foot either side to provide access during normal and emergency access situations.

8.3 Main Panel/ Distribution Circuit Wiring

Comments: Inspected

8.4 Main Panel Over Current Devices (Breakers)

Comments: Inspected

8.8 Conected Devices/ Fixtures (Lights/ Fans/ Receptacles/ Etc.)


Comments: Inspected

8.9 Smoke/ Carbon Monoxide Detectors

Comments: Inspected, Repair or Replacement Required



8.9 Item 1(Picture) Missing detector

 Upstairs main hallway smoke detector removed. No other smoke or carbon monoxide detectors noted. This is a safety hazard that requires immediate placement of smoke detectors and carbon monoxide detectors at all sleeping areas and at least one detector on each floor.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Heating/ Cooling/ Ventilation

HIABC Scope of Inspection Requirements:

The Inspector shall Inspect: Readily accessible components of installed heating, central and through wall cooling equipment; Vent systems, flues, and chimneys; Fuel storage and fuel distribution systems

The Inspector shall Describe: Energy source(s); Heating and/or cooling method(s) by distinguishing characteristics; Chimney(s) and/or venting material(s); The combustion air sources; The exhaust venting methods (naturally aspirated, induced draft, direct vent, direct vent sealed combustion).

The Inspector is NOT Required to Inspect: Interiors of flues or chimneys which are not readily accessible; Heat exchanger; Humidifier or dehumidifier auxiliary equipment; Electronic air filters; Solar heating systems.

The Inspector is NOT Required to Determine The system adequacy or distribution balance.

FIREPLACES AND SOLID FUEL BURNING APPLIANCES (Unless prohibited by the authority having jurisdiction).

The Inspector shall Inspect: System components; Vent systems and chimneys

The Inspector shall Describe: . Fireplaces and solid fuel burning appliances; Chimneys

The Inspector is NOT Required to Inspect: Interior of flues or chimneys; Screens, doors and dampers; Seals and gaskets; Automatic fuel feed devices; Heat distribution assists whether fan assisted or gravity; Ignite or extinguish fires; Determine draught characteristics; Move fireplace inserts; Stoves, or firebox contents

Styles & Materials

Energy Source: Electric Baseboard heaters	Heat Type: Electric In floor Radiant Heating pads Electric baseboard heaters Wood stove	Thermostat: Standard for each room of heat source
Types of Fireplaces: Wood Insert Wood burning wood stove	Firebox: Metal fire box with damper Fire brick	Operable Fireplaces: One
Fireplace Front: Ceramic Tile	Fireplace Hearth: Ceramic tile	Limitations: Equipment partially or fully obscured by materials or other items

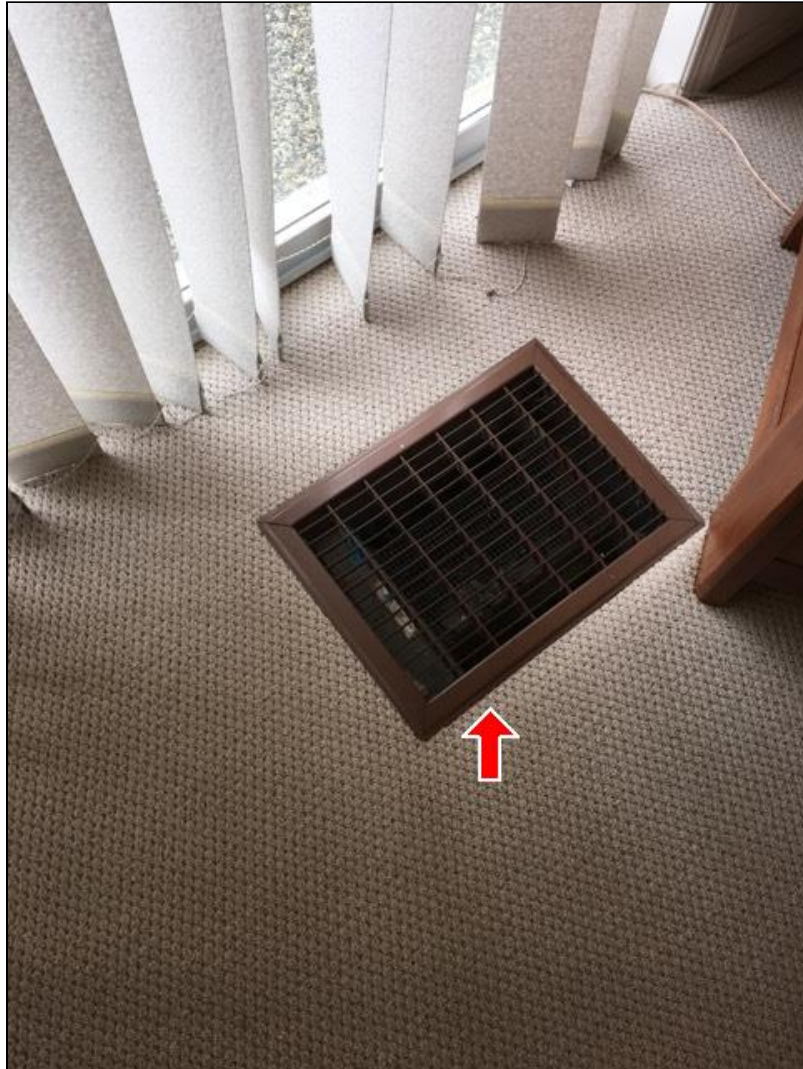
Items

9.2 Thermostat

Comments: Inspected

9.4 Electric Baseboard Heating

Comments: Inspected



9.4 Item 1(Picture) Heater not working.

This in floor electric heater in the family room was not operational upon inspection. Recommend repair.

9.5 Electric Radiant Heating

Comments: Inspected

9.14 Chimney(s)/ Flue(s)

Comments: Inspected, Repair or Replacement Required



9.14 Item 1(Picture) Rusted out.



9.14 Item 2(Picture)

📌 Flue on wood stove in family room is rusted out on back surface. This is an safety hazard and should be repaired by a qualified tradesperson prior to any further use.

9.15 Fireplace(s)

Comments: Inspected

📌 (2) It is recommended that a Wood Energy Technical Training (WETT) certified technician service all solid fuel burning appliances prior to use to ensure they are safe and working efficiently. A Home Inspector is not able to inspect these appliances other than visually.

The heating and cooling system of this home was inspected and reported on with the above information.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive.

Dismantling the furnace to thoroughly inspect the heat exchanger is beyond the scope of this inspection. All heating and cooling equipment should have regular maintenance performed on it to ensure it is working efficiently and safely. You are advised to obtain the services of a qualified technician to perform a complete service of your equipment prior to use.

This inspection does not include inspection, verification, or location of possible buried or concealed oil tanks. We highly recommend having the property scanned by an oil tank location company prior to removal of subjects to confirm if an oil tank does or does not exist on this property.

10. Bathrooms

Styles & Materials

Moisture Meter used during inspection:

Ge "Surveymaster"

Flooring:

Vinyl

Windows:

Glass Blocks

Receptacle:

GFCI, protected in

Tub Enclosure:

Ceramic Tiles

Counter:

Laminate

Limitations:

Areas partially or fully obscured by storage of materials and/or other items

Toilet Limitations:

None

Walls:

Drywall

Doors:

Wood Hinged

Shower Enclosure Walls:

Fiberglass one piece unit

Bath Tub:

Fiberglass

Sink:

Single

Water Flow:

Typical

Ceiling:

Drywall

Exhaust Fan:

Fan only

Shower Pan:

Fiberglass

Cabinets:

Laminate

Heat Source:

Electric Baseboard

Items

10.0 Floor

Comments: Inspected

10.1 Walls and Ceiling

Comments: Inspected

10.2 Counters/ Cabinet(s)

Comments: Inspected

10.3 Door(s)

Comments: Inspected

10.4 Window(s)/ Skylight(s)

Comments: Inspected

10.5 Heating

Comments: Inspected

10.6 Electrical Outlets/ Lighting

Comments: Inspected

10.7 Exhaust Fan

Comments: Inspected



10.7 Item 1(Picture) Main bath fan

Cover is missing and fan is dirty. Recommend replacing cover and cleaning ductwork to ensure the fan is working efficiently.

10.8 Plumbing Water Supply

Comments: Inspected

10.9 Plumbing Drainage/ Sink(s)

Comments: Inspected

10.10 Faucets Vanity/ Shower/ Tub

Comments: Inspected

10.11 Toilet(s)/ Bidet

Comments: Inspected

10.12 Shower Enclosure**Comments:** Inspected

10.12 Item 1(Picture)

Some discoloration noted above shower in ensuite bathroom. No moisture present at time of inspection. Ask owner history of condition. May be hidden damage.

Recommend cleaning with a mild soap and water and improving ventilation in the bathroom (start with use of fan while shower is being used).

10.13 Tub Enclosure**Comments:** Inspected



10.13 Item 1(Picture) Broken tiles



10.13 Item 2(Picture) Flat deck

Damaged tiles on tub deck should be repaired to limit water entry and damage to wood structure underneath. No moisture noted at time of inspection.

This kind of tub deck can be susceptible to water entry on flat surface. Recommend removing any standing water on this deck after use.

11. Bedrooms

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Carpet

Window Types:

Thermal/Insulated,
Alloy,

Interior Doors:

Wood

Receptacles:

Standard

Heating:

Electric Baseboard

Closet:

Closet with BI-Fold Doors

Moisture Meter Used During
Inspection:

GE "Surveymaster"

Limitations:

Occupied room, furnishings, pictures
on walls etc

Occupants belongings limited
access in some areas.

Items

11.0 Ceilings

Comments: Inspected

11.1 Walls

Comments: Inspected

11.2 Floors

Comments: Inspected

11.3 Windows

Comments: Inspected

11.4 Doors

Comments: Inspected

11.5 Outlets/ Switches/ Fixtures

Comments: Inspected

11.6 Heating

Comments: Inspected

12. Kitchen

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Back Splash Material:

Ceramic Tiles

Flooring:

Ceramic Tiles

Doors:

Pocket
Wood
Patio Metal/ Vinyl

Windows:

Thermal
Alloy

Receptacles:

Standard

Countertop:

Granite

Cabinetry:

Melamine

Food Disposal:

KENMORE

Refrigerator:

WHIRLPOOL

Dishwasher:

MAYTAG

Range/Oven:

JENN AIR

Exhaust/Range hood:

Vented to Exterior

Heating Source:

In floor Radiant

Limitation:

Occupants Belongings on Counters

Occupants Belongings in Cabinets

Items

12.0 Ceilings

Comments: Inspected

12.1 Walls

Comments: Inspected

12.2 Floors

Comments: Inspected

12.3 Windows/ Skylights

Comments: Inspected

12.4 Doors (Patio/ Internal)

Comments: Inspected

12.5 Cabinetry

Comments: Inspected

12.6 Counters

Comments: Inspected

12.7 Plumbing Drains/ Venting/ Sinks

Comments: Inspected

12.8 Plumbing Water Supply/ Faucets/ Fixtures

Comments: Inspected



12.8 Item 1(Picture) Some damage from previous moisture



12.8 Item 2(Picture) S trap

Evidence of prior leak apparent under sink. No moisture present at time of inspection. Ask owner history of leak and repairs. Recommend repair to ensure integrity of cupboard.

S trap noted under sink. Recommend replacement to ensure working efficiently and safely. Improperly operating drains can allow sewer gases to back up into the house and cause illness or injury to occupants.

12.9 Electrical Receptacles/ Lighting

Comments: Inspected

12.10 Range Hood/ Venting

Comments: Inspected

12.11 Appliances

Comments: Inspected

Testing of appliances is not a requirement for the standards of practice. The operational test of the appliances is a courtesy only. The operational test of the installed appliances does not constitute a guarantee that they will work in the future. Operational

temperatures of water/cooking elements/cleaning, capabilities are not tested. The objective is to test the main operational functions of each unit. In other words, the appliance is either working or not at time of inspection but is not tested for how well it may be working.

As with all appliances the probability of failure is unpredictable. Appliances over 5 years old should be budgeted for either full replacement or extensive repairs.

13. Laundry

The HIABC Scope of Inspection does not require an inspector to test or report on installed appliances:

Testing is done as a courtesy only.

Styles & Materials

Ceiling:

Drywall

Walls:

Drywall

Flooring:

Ceramic

Doors:

Acordian

Hinged

Washine Machine:

Frigedaire

Dryer:

Frigedaire

Venting:

Flex Foil

Limitations:

Area/equipment partially or fully obscured by storage or finishing

Items

13.0 Ceiling

Comments: Inspected

13.1 Walls

Comments: Inspected

13.2 Flooring

Comments: Inspected

13.3 Doors

Comments: Inspected

13.5 Plumbing/Drainage

Comments: Inspected



13.5 Item 1(Picture) Rubber hoses

Rubber supply hoses. Recommend installing steel braided hoses to prevent possible bursting/flooding and water related damages. Steel braided hoses are the only hoses rated for continuous use.

13.6 Ventilation/Ducting

Comments: Inspected



13.6 Item 1(Picture) Lint build up



13.6 Item 2(Picture) Flex hose

Dryer vent cap does not have a vermin screen on the outside. Recommend installing a new vent cap specifically manufactured for dryer venting. Use of a different vent cap can lead to build up of lint and a fire hazard.

Recommend clean dryer ducts regularly to help reduce condensation and lint build up which can be a fire hazard.

Dryer vent is flexible foil coiled tubing. This type of tubing can collect lint and present a fire hazard. Recommend replacing with smooth walled metal pipe to allow for full air/lint extraction.

13.7 Electrical Components

Comments: Inspected

13.9 Appliances

Comments: Inspected

14. Interior: Living, Dining, Den, Hallways

HIABC Scope of Inspection Requirements:

The Inspector shall inspect: Walls, ceiling, and floors; Steps, stairways, and railings; Countertops and a representative number of installed cabinets; A representative number of doors and windows; Walls, doors and ceiling separating the habitable spaces and the garage

The Inspector is NOT Required to inspect: Paint, wallpaper, and other finish treatments; Carpeting; or Window treatments; Central vacuum systems; Household Appliances; Recreational facilities

Styles & Materials

<p>Moisture Meter Used During Inspection: GE "Surveymaster"</p> <p>Floor Covering(s): Area Rug Ceramic Tiles Laminate</p> <p>Interior Doors: French in Den Wood</p> <p>Heat Source: Electric Baseboard In Floor Radiant</p> <p>Limitations: Occupied Room; Furnishings, Pictures on Walls, Curtains at Windows, etc. Limited Access to Inspect in Some Areas</p>	<p>Ceiling Materials: Drywall</p> <p>Internal Stairs: Carpet</p> <p>Window Types: Thermal/ Insulated Alloy</p> <p>Entry Door: Metal</p>	<p>Wall Material: Drywall</p> <p>Railing: Wood</p> <p>Closet: Closet with BI-Fold Doors Closet with Hinged Doors Storage Closet with Hot Water Tank and Main Water Shut off Valve</p> <p>Patio Doors: Sliding</p>
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Items

14.1 Ceilings

Comments: Inspected

14.2 Walls

Comments: Inspected

14.3 Floors

Comments: Inspected

14.4 Windows

Comments: Inspected

14.5 Electrical Receptacles/ Lights/ Fans/ Switches

Comments: Inspected

14.6 Doors (Internal)

Comments: Inspected

14.7 Closets

Comments: Inspected

14.8 Heating Ducts/ Grills/ Baseboard/ Infloor/ Ceiling System

Comments: Inspected

14.9 Entry Door

Comments: Inspected

14.10 Patio Door

Comments: Inspected

14.11 Steps/ Stairways/ Balconies/ Railings

Comments: Inspected

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed.

The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase.

It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary

Gold Star Home Inspections

Victoria Bc

Customer

John Smith

Address

123 Main St

Anywhere BC V1Z1Z1

The following items or discoveries indicate that these systems or components do not function as intended or adversely affects the habitability of the dwelling; or warrants further investigation by a specialist, or requires subsequent observation. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in correct functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

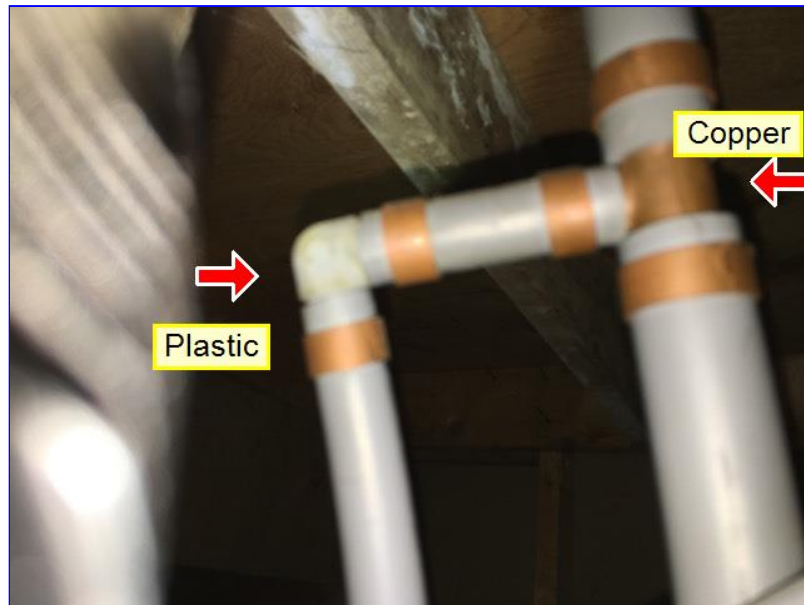
7. Plumbing System

7.2 Distribution Piping

Inspected



7.2 Item 1(Picture) Plastic fittings



7.2 Item 2(Picture) Mix of copper and plastic fittings.

Polybutylene plastic plumbing supply lines (Poly B) are installed in the subject house. This house contains a mix of plastic and copper fittings.

Polybutylene has been used in this area for many years, but has had a higher than normal failure rate, and is no longer being widely used. Copper and Brass fittings used in later years have apparently reduced the failure rate. **You should be aware that some insurance companies may charge a higher premium with this type of piping installed. A qualified tradesperson should review/repair/replace these pipes and fittings as required.**

7.4 Hot Water Tank(s)

Inspected



7.4 Item 1(Picture) Drain tube required for T and P valve



7.4 Item 2(Picture) No earthquake strapping

Hot water tank under stairs in closet.

Recommend strap tank for additional safety during an earthquake event.

The T&P (Test and Pressure) valve on water heater needs a 3/4 threaded pipe to extend within 6 inches of floor for safety. Water spraying from this valve from a point short of the floor can cause scalding of occupants and damage to interior finishing. It is recommended that this be repaired.

8. Electrical System

- 8.9 Smoke/ Carbon Monoxide Detectors**
Inspected, Repair or Replacement Required



8.9 Item 1(Picture) Missing detector

Upstairs main hallway smoke detector removed. No other smoke or carbon monoxide detectors noted. This is a safety hazard that requires immediate placement of smoke detectors and carbon monoxide detectors at all sleeping areas and at least one detector on each floor.

9. Heating/ Cooling/ Ventilation

9.14 Chimney(s)/ Flue(s)

Inspected, Repair or Replacement Required



9.14 Item 1(Picture) Rusted out.



9.14 Item 2(Picture)

Flue on wood stove in family room is rusted out on back surface. This is an safety hazard and should be repaired by a qualified tradesperson prior to any further use.

9.15 Fireplace(s)

Inspected



(2) It is recommended that a Wood Energy Technical Training (WETT) certified technician service all solid fuel burning appliances prior to use to ensure they are safe and working efficiently. A Home Inspector is not able to inspect these appliances other than visually.

Home inspectors are not required to report on the following:

Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; **Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.**

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