

# PANORAMA

Portarlington

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Be part of our coastal community.

# 1. Your new coastal *community* awaits.

Welcome to Panorama Portarlington. We're excited that you've chosen to be part of our coastal community.

Life has a spectacular outlook at Panorama. Nestled in the hillside above Portarlington and rising above the coast in a natural amphitheatre, this new coastal community will offer an array of homesites with views across to Port Phillip Bay, the You Yangs and the Melbourne skyline.

Surrounded by the best of the Bellarine Region, at the heart of Panorama is a quality that elevates it above the everyday. This meticulously designed, masterplanned enclave will offer a new standard in coastal living

To ensure that our community looks beautiful and feels welcoming well into the future, there are some Design Guidelines to follow when designing your new home. These Design Guidelines have been produced to ensure that this tranquil environment is maintained and that the newly built homes will fit into the natural coastal surroundings. They will also help protect the integrity of your investment and provide you with the peace of mind that every house in your neighbourhood is built to the same high standards, while allowing everyone flexibility to express their individuality.

## 2. Before you *purchase*.

Before purchasing your homesite at Panorama, it's important to consider the following items:

- If you already have a home design selected, be sure to bring the plan along with you to the sales appointment to ensure that your chosen design will fit within the homesite and suit the homesite you're looking to purchase.
- If you're creating a bespoke home, supply your architect or designer with a plan of the homesite you're interested in. It will be their task to design a home that meets Panorama's Design Guidelines and your homesite's specific requirements. This is especially important as homesites in Panorama are not flat and several homesites have specific conditions or restrictions on title, which may differ from other homesites within Panorama.

### Pro-Tip

*If your looking at a Panorama Masterplan or Stage Release Plan and a homesite has a Blue, Purple or Red #, this means the homesite has a further restriction on title. Refer to Attachment 2: Homesites with Restriction on Title.*

## 3. *Approval* process.

### 3.1 Panorama Portarlington Design Panel

The Panorama Portarlington Design Panel (PPDP) has been established to formally check and review your homesite's design against the Panorama Design Guidelines.

Approval of your home design, fencing, landscaping and other structures must be obtained from the PPDP prior to commencing construction on any homesite. The PPDP reserves the right to request further information from applicants, for clarification to help complete its assessment, and may exercise discretion to waive or vary a requirement were deemed appropriate for the development. The Guidelines may also be subject to change by the City of Greater Geelong.

It is important to note that the PPDP does not check applications against ResCode requirements and applicants will be required to have their building surveyor provide this review. Once your house plans are approved by the PPDP, you must obtain all other necessary planning, building and regulatory or authorities' approvals as required for construction.

### 3.2 Step by Step Approval Process

1. Due diligence – check your homesite suits your design requirements.
2. Purchase your land.
3. Design your home and landscaping.
4. Submit your house and landscape plans to the PPDP.
5. Receive an Acknowledgement of Application within 48 hours from PPDP.
6. Receive approval from PPDP.
7. Obtain a building permit and all other regulatory or authorities' approvals as required for construction.
8. Commence construction within 36 months of settlement date.
9. Complete construction within 54 months of settlement date, including the garage, driveway and retaining walls.

10. Complete fencing within 30 days of Certificate of Occupancy being issued.
11. Complete landscaping within 6 months of the Certificate of Occupancy being issued.

### 3.3 Submission requirements and timeframes

When you have finalised your house and landscape plans and elevations, send these and all the items requested on the Design Guideline Approval Checklist (Refer to Attachment 1) to the PPDP for review.

All submissions for PPDP must include the following information:

- Site plan at 1:200, with dimensions and showing the building outline, setbacks and % value of site permeability.
- All floor plans, roof plans and elevations at 1:100, showing dimensions, the internal layout, and any pergolas, decks, terraces, balconies, verandas, windows, doors and other openings.
- Provide printed samples or images (swatches, colour photos etc) of all proposed external materials and colour selections.
- Landscape plan at 1:100, with dimensions and showing the indicative extent of all hardscapes and softscapes, and a planting schedule that lists all proposed species referenced on landscape plan.
- For homesites with greater than 1.5m land fall, please include at least one sectional drawing, at 1:100, that explains the extent of proposed cut and fill location and heights and materials of proposed retaining walls.

### Please submit your application to:

Panorama Portarlington Design Panel (PPDP)  
Email: submissions@panoramaportarlington.com.au

### Pro-Tip

*Incomplete submissions are the single most common cause for delays in obtaining approval. Be sure to refer to Attachment 1: Design Guidelines Approval Checklist, as complete submissions take the least time to process, review and approve.*

If you've submitted a complete application that complies with the Design Guidelines, you will receive a stamped copy of your documents within approximately 15 business days and you can proceed to complete the drawings necessary for a Building Permit. Your Building Permit documents must correspond with the information endorsed by the PPDP at Design Approval.

### 3.4 Re-submissions

If your submission does not comply with the requirements of the Design Guidelines, the PPDP will detail what is required for you to achieve compliance. You will be required to re-submit amended documents for endorsement.

An allowance has been made to cover the administration cost of one re-submission and all additional re-submissions will incur a fee.

New submissions for a homesite that already has an approved application also incur an additional fee for each submission. No claims shall be made to the developer or their representatives with respect to decisions made by the PPDP.

#### Pro-Tip

*All alterations or changes are required to be highlighted on the plans or in any accompanying communication. This will help to speed up the processing of your re-submission.*

## 4. Building design.

### 4.1 Site views

A number of homesites have significant views to Port Philip Bay and beyond and careful consideration must be given to the location of the home placed upon the site, and its adjoining allotments to minimise impact on coastal views. Certain homesites have particular restrictions on title.

*Refer to section 4.15 Height Restrictions and Attachment 2: Homesites with Title Restrictions, Attachment 10 and 11: Visual Impact Area Purple # and Red #*

### 4.2 Character and style

A contemporary coastal design theme has been selected as the underlying design essence for the housing at Panorama. This design theme consists of and reflects the design elements, materials and colour palettes of those homes that grace our Victorian coastline and extends to include Australian-inspired Hamptons beachside style.

#### Pro-Tip

*The main criteria for designing a home at Panorama is 'simplicity'. Keeping the design simple results in better quality outcomes. Clean simple lines which respect the access of coastal views for all within the neighbourhood are encouraged.*

### 4.3 Building materials and colour palette

The building materials and colour palettes at Panorama must complement the contemporary coastal design theme. The following list of materials and colour palettes form the basis of the preferred mix you can choose from. There are a wide range of materials and colours available, and alternatives may be considered by the PPDP on merit of the design.

The preferred building materials to be considered include:

- Lightweight materials including, but not limited to:
  - timber cladding and weatherboards
  - FC pre-finished cladding boards
  - Ecoply cladding
  - Colorbond™ cladding and other non-reflective painted and/or treated metal cladding.
- Rendered finishes which enhance the overall theme of the house design.
- Face brick, natural and manufactured stone cladding and zinc cladding.
- Recycled material and/or timbers and unfinished timbers allowed to grey.
- Expressed steel work must be paint-finished and not a galvanised steel finish.

The preferred colour palette to be considered includes:

- Muted, natural colours in shades of greys, blues and neutrals reflecting their coastal surrounds.
- Tones from the natural environment that provide the least interruption to the landscape.
- Blackened charcoal and crisp white give a modern update to a traditional coastal home. However, the palette needs to avoid a stark black and white contrasting format.
- Vibrant colours are permitted but limited to small accent areas of the external façade (for example, front doors and small landscape features) and will be reviewed by the PPDP on merit.

Fluorescent colours, unpainted or unfinished FC sheet is not permitted.

*Refer to Attachment 4: Materials and Colour Palette, for more information.*

### 4.4 Simple roof design

Roof designs should attempt to minimise the impact on coastal views and consider the visual impact on neighbouring dwellings. To ensure diversity, a variety of roofing forms and styles is encouraged. The PPDP will monitor the proportion, pitch, and scale of proposed roofs to ensure a cohesive streetscape.

Keeping one simple roof form over most of the house design is encouraged, however a combination of roof forms will be assessed on their merit by the PPDP. When combining different roof forms, it is important to look at how the roof flows from one end of the house to the other.

Acceptable roofs include hip, gable, monopitch and flat; roof can be hidden or expressed as an architectural feature.

### 4.5 Simple design

The below describe the preferred design outcomes:

- Open plan arrangements that promote cross ventilation and good transfer of natural light.
- Split pavilions that create excellent private sheltered courtyards.
- Living areas that are located to the north of the dwelling to provide good solar access in winter.
- Private open space that is located on the north side of the homesite.
- Elevations that provide adequate but simple articulation and avoid long side walls without a change in material or shape.
- Double storey dwellings that limit the use of any one material on a facade to a maximum of 80% and change the shape of the second storey wall to provide good articulation.
- Ensure that there is plane articulation and not just a change in materials to provide interest to the elevation.
- Where possible, provide adequate shading such as retractable shading devices, trees and/or tinted glass.

### 4.6 Well integrated storage

We understand that ample storage will be an essential inclusion for many homes within Panorama so you can keep your boat, caravan and other toys close by and secure. Except for dual front homesites fronting Geelong-Portarlington Road, garages and carports may be located on either the primary frontage or the secondary street frontage.

Garages and carports can have a significant impact on the streetscape so when designing your storage, the following consideration must be given:

- Attached garages accessed from the primary frontage must be well integrated into the house design and ideally set back from the front facade by at least 0.5m. The PPDP can consider garages forward of the residence if the garage is well integrated with the house design and doesn't overpower the streetscape.
- Garages on corner lots must not be located on the corner where the primary and secondary frontages meet.
- Garages must occupy less than 50% of the overall front elevation and must not dominate the design.

- Triple garages are strongly discouraged and the PPDP encourages adding additional length to the garage in lieu of a wider front. Triple garages will only be considered by the PPDP where the lot is:
  - a. A non-corner lot with primary frontage 18m and above, or a corner lot with primary frontage 20m and above; and
  - b. Garages must comprise either one double and one single garage element or three single garage elements; and
  - c. The wall that contains the third door must be stepped back at least 500mm from the other front wall of the garage.
- Basement or undercroft garages are acceptable.
- Detached garages that are well integrated into the house design will be considered on their merit.
- Garage doors must match or complement the house design. Roller doors are not acceptable for front garage facades but may be used on the rear facade of the garage.
- Carports which are integrated with the main house design and provide 'drive-through' access to the rear yard for additional vehicle storage out of public view will be considered by the PPDP. The carport shall be a maximum width of 6.5m.
- All boats, caravans and trailers, trucks, mobile homes, jet skis, motorbikes etc must be screened or stored out of public view.

Where facing the secondary street frontage, the garage must meet setback and easements running along the rear of the homesite cannot be built over. Garages must be located adjacent to the homesite boundary but are not permitted adjacent to boundaries abutting a public realm. The PPDP will strictly monitor the proportion and scale of all garages and reserves the right to refuse approval.

#### 4.7 Driveways and paths

To ensure that driveways and paths contribute to the streetscape and have a coastal feel, a list of suitable materials have been recommended below.

- Driveways shall be constructed from Queenscliff and Ocean Grove Imagecrete exposed aggregate available from Hansen Concrete.
- Panorama does not permit brick, slate, natural stone, asphalt, pebble mix, granitic sand, lilydale toppings, plain or painted concrete.

Additionally, the following principles apply:

- Driveways must be no wider than the width of the garage door and they must taper to the width of the crossover at the front boundary.
- Only one crossover per homesite and no drive-through driveways are allowed.
- You need to provide a minimum 500mm landscaping strip to the side boundary so that no driveways are flush against the fence line.
- Driveways must be constructed prior to occupancy.
- It's the responsibility of the landowner to ensure that any required asset protection permits are obtained prior to the commencement of building works.
- In dual frontage homesites where one side fronts Geelong-Portarlington Road, that homesite must not locate their letterbox or gain vehicular access from the Geelong-Portarlington Road frontage.

*For more information refer to Attachment 5: Landscaping Materials and Finishes.*

#### 4.8 Identical facade assessment

The PPDP carries out an identical facade assessment when it receives applications to ensure that the streetscape does not appear repetitious and therefore lacking in variety. To achieve this, not more than one home of the same facade is permitted to be built within four homes of each other, on either side of each other, or on homesites opposite. If any two facades are deemed not to comply with this requirement, the earlier application will take precedence.

#### 4.9 Street interface

Each home at Panorama must incorporate a front entry point that is readily visible from the primary street frontage, is complementary to the overall design and identified by its form and complementary landscaping and paving to the satisfaction of the PPDP.

#### 4.10 Dual frontage, corner homesites and homesites adjoining the public realm

Houses with a dual frontage are required to address both street frontages. The elevations of both the frontages are to be of equal quality and must flow in material and finish to present a quality streetscape.

Houses on corner homesites or that adjoin a public realm are required to:

- Address both street frontages and/or the public realm.
- The elevations of both the front, the side or adjoining public realm are to be of equal quality and must flow in material and finish to present a quality streetscape.
- The side elevation must not be a blank wall for its entire street or public realm frontage.
- Windows which present to a streetscape or a public realm must match or be complementary and bear the same treatment so that they do not appear 'back of house'.

There are additional requirements for dual frontage, corner and public realm adjoining homesites.

*Refer to Attachment 7: Fencing Types and Diagrams and Attachment 8: Specific Dual Frontage Homesite specifications.*

#### 4.11 Site coverage

To provide outdoor space for residents, and to protect the amenity and character of neighbourhoods, the maximum site coverage is 60%. Alfresco spaces must be included in this calculation if they are under the main roof of the ground floor.

#### 4.12 Slope consideration

Houses and garages should be sited and designed to take advantage of the natural slope conditions at Panorama. Split level designs, for example, can be designed to follow the fall of the land and avoid unsightly and expensive earthworks that scar the natural landscape.

#### 4.13 Retaining walls visible to public realm

In keeping with the identified contemporary coastal aesthetic, retaining walls visible from the public realm must be in keeping with Panorama's front lot retaining style, rock filled gabion baskets or where a less formal wall is sought and deemed appropriate, rock bouldering arranged in a natural configuration and combined with planting will be considered if constructed to the satisfaction of the PPDP. The maximum height of any retaining wall is generally 1.0m. If higher, more than one wall should be used in conjunction with graded slopes and other landscape treatments to soften the appearance of the change in levels. Retaining wall outside of public view will not be assessed by the PPDP.

The provision of a landscaping strip of approximately 200mm in front of the retaining wall to soften the height is also encouraged.

The design and location of walls should be carefully considered to ensure all other requirements, such as the planting of trees, are satisfied.

*Refer to Attachment 5: Landscape Materials and Finishes.*

#### 4.14 Setbacks

The following setbacks are required for all lots that are not nominated with a Red # and subject to 3D Building Envelopes:

- Homesites subject to a 3D Building Envelopes, will have setbacks defined within the MCP.
- The front building line of a dwelling must be setback a minimum of 4m from the front boundary, except for lots with a dual frontage to Geelong-Portarlington Road, this frontage can be a minimum 2m setback, if easements running along this frontage are not built over.
- Side setbacks must be a minimum of 1m from at least one side boundary and 2m from a secondary street boundary.
- Rear setbacks must be a minimum of 2m, except for garages which must be located as detailed above.

- Side loaded garages must be setback a minimum of 2m from the secondary street boundary and located adjacent to the rear boundary, unless the rear boundary abuts public open space or there is an easement along the rear boundary. Where there is an easement along the rear boundary, the garage must be set back to accommodate the easement.
- Entry features such as verandas, porches, porticoes and balconies may encroach up to 1.5m into the front setback. The only proviso is that the encroachment is less than 3.6m above natural ground level.
- Eaves, gutters, fascias may encroach up to 0.6m into a setback.
- The house must also take into consideration clearance spaces for batters and retaining walls.

#### 4.15 Height restrictions

The maximum height is to be measured from the natural ground line to the highest point of the building. It must be measured to the ground directly below that highest point. The maximum height of any outbuilding building is 3.6m.

Some homesites in Panorama, marked on the masterplan with a **Purple #** or **Red #** lie in the Batman and Allens Road Visual Impact Area and need to comply with a height restriction on title, to ensure clear views are protected and maintained to the Ridgeline from Point Richards Reserve.

Furthermore, homesites marked with a **Red #** have a restriction on title which refers to an Memorandum of Common Provision (MCP) which will be provided in the Contract of Sale and include maximum heights for front, side and rear elevation.

Lots subject to 3D building envelopes must ensure all elevations comply with the 3D building envelope requirements of the MCP. To ensure compliance, the MCP profile must be shown dashed on all elevations when submitting your application.

Outbuildings must also comply with 3D building envelopes.

*Refer to Attachment 1: Design Guideline Checklists, Attachment 2: Homesites with Title Restrictions, Attachment 10: Visual Impact Area **Purple #** and Attachment 11: Visual Impact Area Lot Site Plan **Red #***

#### Pro-Tip

*Currently the City of Greater Geelong requires a planning permit for dwellings more than 7.5m above Natural Ground Level. If you apply for a planning permit for a dwelling more than 7.5m above Natural Ground Level, written approval of your plans by the PPDP must be obtained first.*

#### 4.16 Ancillary structures and items

Ancillary elements and unsightly services should be located out of public view where possible and should be of an appropriate size, colour and finish. This includes but is not limited to the following items:

- External plumbing (excluding gutters and downpipes)
- Evaporative cooling, split system heating/cooling units
- Antennae, aerials and satellite dishes
- Clotheslines
- Meter boxes
- Hot water units
- Roof fixtures are not permitted on the front elevation (including solar panels)
- Sheets, blankets or similar materials on windows are not permitted. Internal window furnishings must be fitted within 3 months of occupancy
- Security shutters, sunblinds, shade sails or canvas awnings are not permitted where visible from public areas
- Sheds and outbuildings must be designed and have a powder-coated or painted appearance. They are to be located in a way which minimises visibility and potential impact on neighbouring properties and the streetscape. The PPDP will assess these structures on their merits, however structures which are deemed to be of an excessive size or not will not be approved.

#### 4.17 Letter boxes

The design of your letter box must match or complement your house or landscape design or Panorama retaining wall style. Novelty and/or simple metal proprietary “off the shelf” letter boxes are not permitted.

Dual frontage homesites on Geelong-Portarlington Road are not to locate their letterboxes on this frontage.

*Refer to Attachment 5: Landscape Materials and Finishes.*

#### 4.18 Fencing

As Panorama is a development based on open streetscapes reflecting the wide spaces of its surroundings, front boundary fencing is not generally permitted.

Front fencing (except for homesites facing Geelong-Portarlington Road, Batman Road and Allens Road) is to be set back 1m behind the building façade and should conform to the requirements of fence Type 4 – Steel Angled Pickets.

*Refer to Attachment 4: Landscape Materials & Refer to Attachment 7: Fencing Types and diagrams, for additional information and typologies and the following exceptions for particular homesites:*

##### Dual Frontage Homesite facing Geelong Portarlington Rd

Homesites fronting onto Geelong-Portarlington Road must have active frontages and pedestrian connections to both road frontages. Front fencing is to 0.9m high and be a permeable type to allow an active interface and shall be a combination of fence Types 1 and 2 (Steel Finn and Timber and Steel Finn). The relative split shall be approximately 50/50. In addition, these homesites are required to have a direct pedestrian access in the form of a gate. Gates must be of the same material and style of the fencing so to seamlessly integrate.

*Refer to Attachment 7: Fencing Types and diagrams, for additional information and typologies.*

##### Homesite fronting Batman Road and Allens Road.

Must have active frontages and pedestrian connections to the road.

For Lots which front onto Batman and Allens Roads respectively, a rural style Post and Rail Fence (Type 6) is required to be installed, set back 0.5m from the boundary.

##### Side and Rear Fencing

Fencing between homesites (side and rear), where not visible from the public realm, must be provided and should be Type 5 – Colorbond™: in Basalt. or Mystique Solid Think Fencing in Grey Ridge.

Fencing between homesites (side and rear, visible from the public realm/street, must be provided and should be Type 4 – Steel Angle Pickets:

- Restricted to start a minimum of 1m behind the front façade of the dwelling.
- Terminated by returning to meet the closest wall of the dwelling and a minimum of 1m behind the closest front wall of the dwelling, unless it is on the rear boundary of an adjoining homesite.
- A maximum height of 1.8m above natural ground level.

Corner homesites and homesites adjoining the public realm

Unless otherwise noted, all steel fencing shall be powder-coated matt black.

Corner homesites and homesites adjoining the public realm

Must have high side/rear corner fencing, constructed using a combination of fence Types 3 and 4 (Steel Finn and Timber and Steel Angle Pickets). The relative split shall be approximately 50/50.

All corner homesites front fencing must be:

- Terminated a minimum of 4m behind the closest front wall of the dwelling.
- Terminated by returning to meet the closest wall of the dwelling (return fence).
- High quality fencing treatments should be employed in secondary frontages.

*Refer to Attachment 7: Fencing Types and diagrams, for additional information and typologies.*

#### 4.19 Gates

Any gate in a fence must match or complement the fence in terms of materials and finishes.

Homesites with boundaries to the Geelong-Portarlington Road are required to have a direct pedestrian access in the form of a gate 0.9m high. Gates must be of the same material and style of the fencing so to seamlessly integrate.

Refer to Attachment 7: Fencing Types and diagrams, for additional information and typologies.

#### 4.20 Landscaping

Landscape works are part of the design approval process, and a landscape plan must be approved by the PPDP prior to the commencement of construction. The landscape plan must show the front garden layout, clearly delineating retaining walls, garden beds, lawn and paved areas, paving materials and edging, planting location and species, sheds and/or outbuildings.

Refer to Attachment 1: Design Guideline Approval Checklist

Landscaping at Panorama must complement the local environment and pick up on the local species found on the Bellarine. Concept plans must take into consideration the location of services, view corridors, privacy, local climate, orientation and prevailing winds. Sustainable design, including material selection and source, must be considered as part of the landscape design no more than 40% of the front garden is to comprise hard paved surfaces.

- 30% of the front garden area is to be soft planted garden beds.
- Plant species are to be hardy, appropriate to the site and have reasonable drought tolerance.

- The front garden should contain free draining surfaces such as:
  - Grass
  - Mulched garden beds containing trees, shrubs, tufting plants and groundcovers
  - River pebbles, gravel toppings or similar
  - All plants selected for landscaping must be selected from the Panorama Plant Species List.

Refer to Attachment 6: Panorama Planting Schedule

- Turf used must be a warm season variety. Artificial lawns are not allowed in front setback.
- Consideration should be given to the cultivation of existing soil in the garden beds to a 200mm depth and the addition of imported topsoil and fertiliser to the garden bed.
- Garden beds must have 80mm layer of mulch.
- All garden bed areas within the front yard should be edged using timber, or mild steel or corten edges.
- At least one tree with a minimum installation height of 2.0 m should be planted between the front building line and street boundary.
- Trees installed must have a minimum mature height of 4.0m. Careful consideration should be given to the tree type and location, so that the tree will not affect the foundations of the home, driveway, or relevant authority assets.
- Planting within secluded private open spaces can include non-indigenous and exotic species, however large non-indigenous canopy contributing trees are not permitted.

Minimum further plantings that are encouraged in the front yard are:

- A minimum of 5 medium to large shrubs (from 200mm pot size at installation); and
- A minimum of 8 smaller shrubs or ground cover plants (from 150mm pot size at installation).

Particular homesites have additional requirements:

- Dual frontage homesites must address both frontages and provide a landscape design for both front gardens.
- Corner homesites and/or a public realm must address both the primary and secondary frontage or the frontage to the public realm.
- Homesites fronting Batman or Allens Roads are required to provide additional plantings:

- A minimum of 5 medium to large shrubs (from 200mm pot size at installation); and
- A minimum of 16 smaller shrubs or ground cover plants (from 150mm pot size at installation).

Plants shall be designed and installed at densities sufficient that upon approaching 2/3 of their mature size, garden beds appear to have been closed out and bare ground is minimised.

To assist the purchaser and to improve consistency, several landscape materials have been pre-selected for use. The following is a list of these landscape items, available through Newcomb Sand and Soils Supplies:

- Pebbles and Gravel
  - 14mm Dromana Brown Pebbles
  - 20mm Tuscan Pebbles.
- Mulch
  - Graded Pine Bark
  - Leaf Mulch.

Note: the use of artificially coloured mulches will not be accepted, and no plants classified as environmental weeds are to be planted in Panorama.

The resident may alternatively source and nominate their own materials for consideration, however colours and appearance should generally conform with the aforementioned listed items.

Refer to Attachment 5: Landscape Materials and Finishes and Attachment 6: Planting Schedule for additional information.

#### 4.21 Homesite maintenance

The homeowner is responsible for:

- the protection and maintenance of adjacent nature strips and street trees during building works. To achieve successful completion of the landscaping, the nature strips must achieve neat and even grass coverage and any damage caused during construction of the dwelling must be rectified and cost borne by the owner
- ensuring that any required asset protection permits are obtained prior to the commencement of building works.

The purchaser shall not:

- allow any rubbish, including site excavations and building materials, to accumulate on a homesite (unless the rubbish is neatly stored in a suitably sized industrial bin or skip)
- allow excessive growth of grass or weeds upon a homesite
- place any rubbish, including site excavations and building materials, on adjoining land, reserve or in any waterway.

#### 4.22 Fibre to the home

All homes will be provided with high optical fibre connection installed in accordance with the relevant preparation and installation guides. Contractors and designers are required to check with the NBNC technical guidelines for the latest requirements [www.nbnco.com.au](http://www.nbnco.com.au)

Any failure to comply with the NBN Co In-Home Wiring Guide may prevent connection to the network infrastructure or may require the purchaser to incur additional costs to connect to the network infrastructure.

#### 4.23 Signage

Signs to advertise the sale of a vacant homesite are not permitted unless approved by the Developer. One sign only may be erected to advertise the sale of a completed dwelling.

## 5. Attachments.

Attachment 1: Design Guideline Approval Checklist

Attachment 2: Homesites with Title Restrictions

Attachment 3: Contemporary Coastal Design Theme Inspiration

Attachment 4: Materials and Colour Palette

Attachment 5: Landscaping Materials and Finishes Attachment

6: Planting Schedule

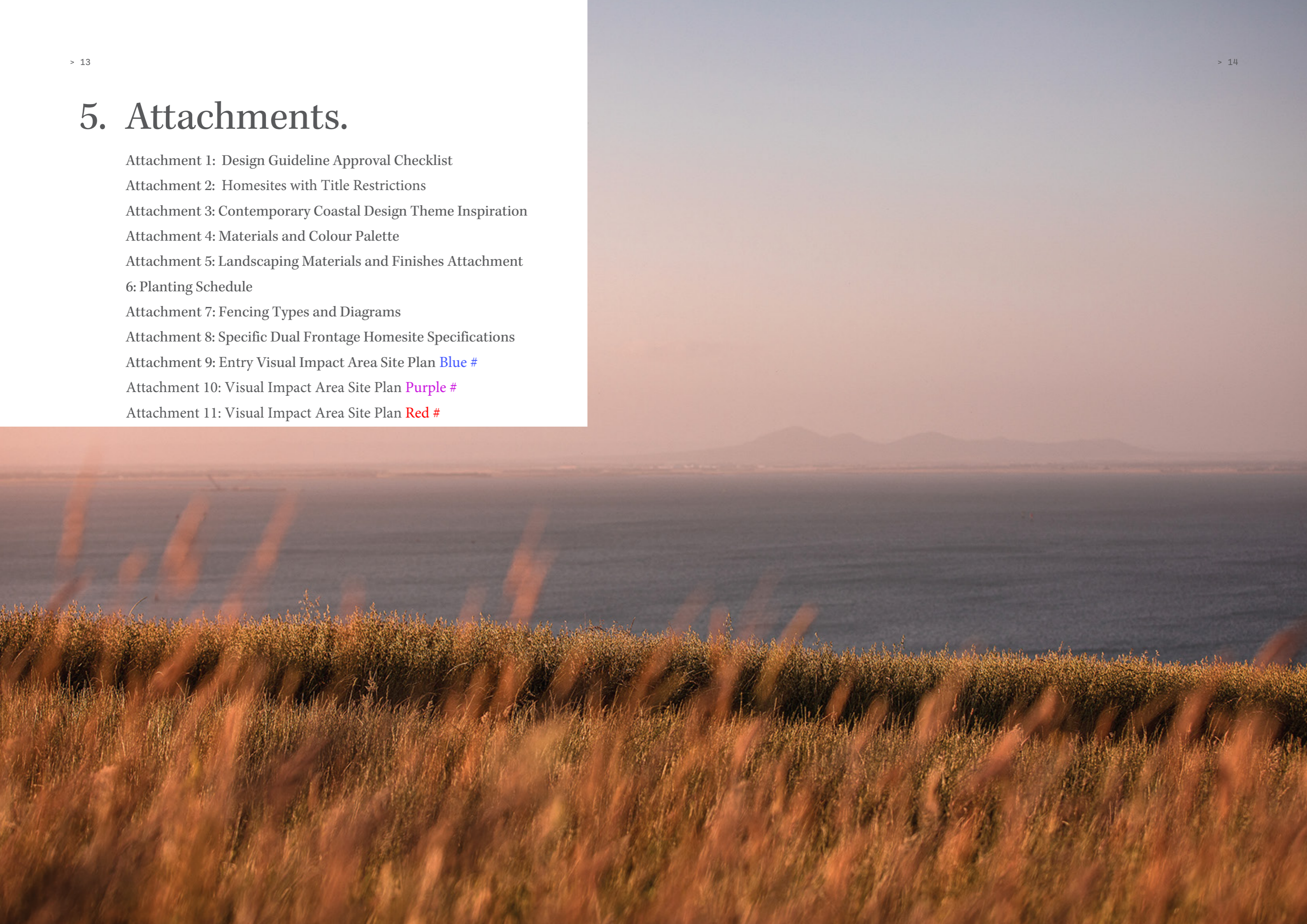
Attachment 7: Fencing Types and Diagrams

Attachment 8: Specific Dual Frontage Homesite Specifications

Attachment 9: Entry Visual Impact Area Site Plan [Blue #](#)

Attachment 10: Visual Impact Area Site Plan [Purple #](#)

Attachment 11: Visual Impact Area Site Plan [Red #](#)





## ATTACHMENT 1

### Design Guideline Approval Checklist

PANORAMA PORTARLINGTON  
DESIGN GUIDELINE APPROVAL CHECKLIST  
SEPTEMBER 2021.

EMAIL COMPLETED SUBMISSIONS TO:  
Panorama Portarlington Design Panel (PPDP)  
Email: [submissions@panoramaportarlington.com.au](mailto:submissions@panoramaportarlington.com.au)

All submissions for PPDP must include the following:

- Site plan at 1:200, with dimensions and showing the building outline, setbacks and % value of site permeability.
- All floor plans, roof plans and elevations at 1:100, showing with dimensions, the internal layout and any pergolas, decks, terraces, balconies, verandas, windows, doors and other openings.
- Provide printed samples or images (swatches, colour photos, etc) of all proposed external materials and colour selections.
- Landscape plan at 1:100, with dimensions and showing the indicative extent of all hardscapes and softscapes, and a planting schedule that lists all proposed species referenced on the plan. Include north arrow, contour or spot levels, and a legend.
- For homesites with greater than 1.5m land fall, please include at least one sectional drawing, at 1:100, that explains the extent of proposed cut and fill location and heights and materials of proposed retaining walls.

ITEM	YES	NO
<b>HOMESITE LAYOUT</b>		
Is your home compliant with the required setbacks?		
If your home site is located on Geelong-Portarlington Road, are you aware of the requirements for dual frontage? Are those requirements met?		
Is your home subject to specific height requirements due to positioning in a Visual Impact Zone? Are those requirements met?		
<b>MASSING AND ARTICULATION</b>		
Does your home have a visible entry point in the form of a portico, porch, veranda or other feature?		
Is the home articulated to reduce overall building mass?		
<b>ROOF DESIGN</b>		
Is your roof constructed in one of the listed allowable styles?		
Does your roof design follow the intention of "simplicity"?		
<b>GARAGES and CARPORTS</b>		
Does your home incorporate an enclosed garage that is set back from the front of the dwelling?		
Does the garage meet the required setbacks from the primary and secondary frontage?		
<b>DRIVEWAYS and PATHS</b>		
Does your home have only one crossover?		
Has a landscape zone been allowed along the side boundary?		
Is the driveway finish selected from the allowable range?		

ITEM	YES	NO
<b>CORNER HOMESITES</b>		
Does your home front onto a secondary street with walls detailed to the same quality as the primary frontage?		
Does your fencing meet the guideline requirements?		
<b>FENCING</b>		
Is your fencing consistent with the guideline requirements?		
Is your fencing affected by special requirements assigned to certain homesites?		
<b>MATERIALS and FINISHES</b>		
Does your home comply with the material and colour requirements?		
Does your home incorporate a variety of finishes?		
Have you included an external finishes materials and colours schedule as part of your submission?		
Does your submission include elevations detailing materials and finishes?		
<b>OTHER EXTERNAL ELEMENTS</b>		
Does the gate comply with the guideline requirements?		
Does the landscaping comply with the guideline requirements?		
Does your homesite have specific height requirements?		
Does the letterbox comply with the guideline requirements?		
<b>LANDSCAPING</b>		
Have you completed a landscape plan showing retaining walls, garden bed, lawn, paved areas, paving materials, edging, planting locations, species (from allowable planting schedule) and any other sheds/outbuildings?		
Does your plan show: north arrow, contour or spot levels and a legend?		
Does your homesite have specific landscape requirements?		
<b>ANCILLARY ITEMS</b>		
Do all features listed as ancillary items comply with the listed requirements?		

### ATTACHMENT 2

#### Homesites with Title Restrictions

A number of homesites within Panorama have particular title restriction to either ensure clear site entry view lines or maintain clear views of the Ridgeline from Point Richards Reserve.

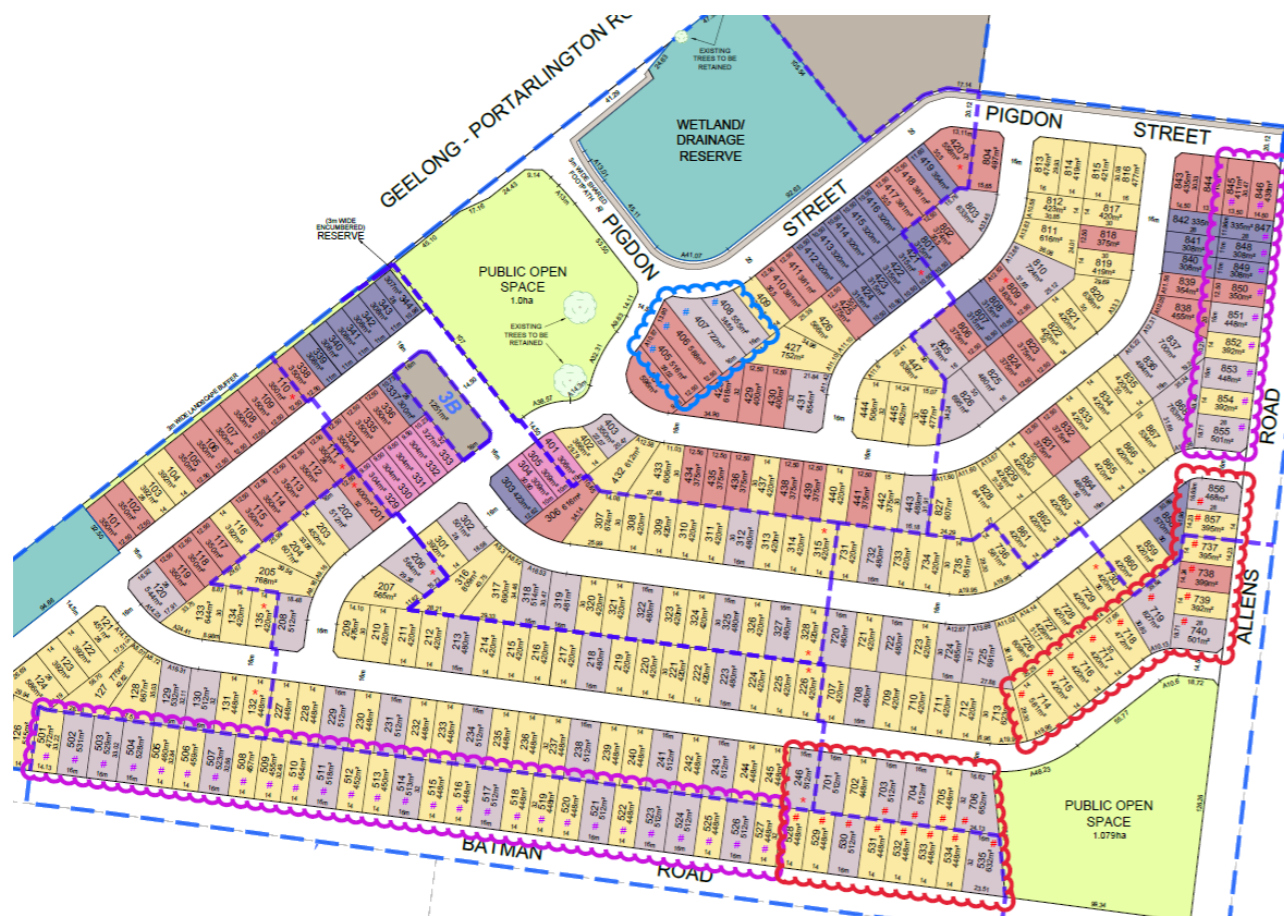
Title restrictions only relate to select homesites in Panorama and these homesites will be nominated on the Masterplan and Stage Sale Release Plans with either a **Blue #**, **Purple #** or **Red #**.

Lots nominated with a **Blue #** - have a restriction on title prohibiting the construction of a front fence. Refer to Attachment 9: Entry Visual Impact Area

Lots nominated with a **Purple #** - have a restriction on title limiting the height of future buildings to 7.5m above natural ground level. Refer to Attachment 10: Visual Impact Area Purple #

Lots nominated with a **Red #** - have a restriction on title referring to an Memorandum of Common Provision (MCP) - To be provided with the homesites Contract of Sale. Only these homesites nominated with a Red # need to comply with the 3d Building envelope requirements of the MCP. Refer to Attachment 11: Visual Impact Area Red #

Refer to the below Panorama Masterplan, the clouded areas indicate where each coloured hashtags may be found. Please note that lot numbers and frontages remain subject to change, before purchasing a homesite please check the plans within the Contract of Sale.



### ATTACHMENT 3

#### Contemporary Coastal Design Theme Inspiration



GJ GARDNER

GJ GARDNER



GJ GARDNER

### ATTACHMENT 3 Contemporary Coastal Design Theme Inspiration



PIVOT HOMES



PIVOT HOMES



PIVOT HOMES



PIVOT HOMES



PIVOT HOMES

### ATTACHMENT 4 Materials and Colour Palette



STONE CLADDING



RENDER FINISH



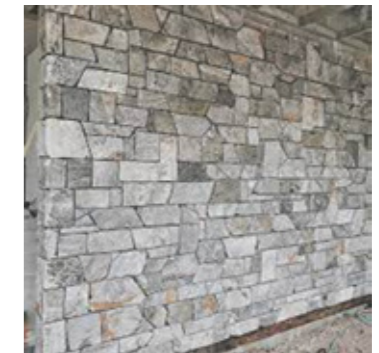
FACE BRICK FINISH



ECOPLY CLADDING



COLORBOND® CLADDING



STONE CLADDING



WEATHERBOARD CLADDING

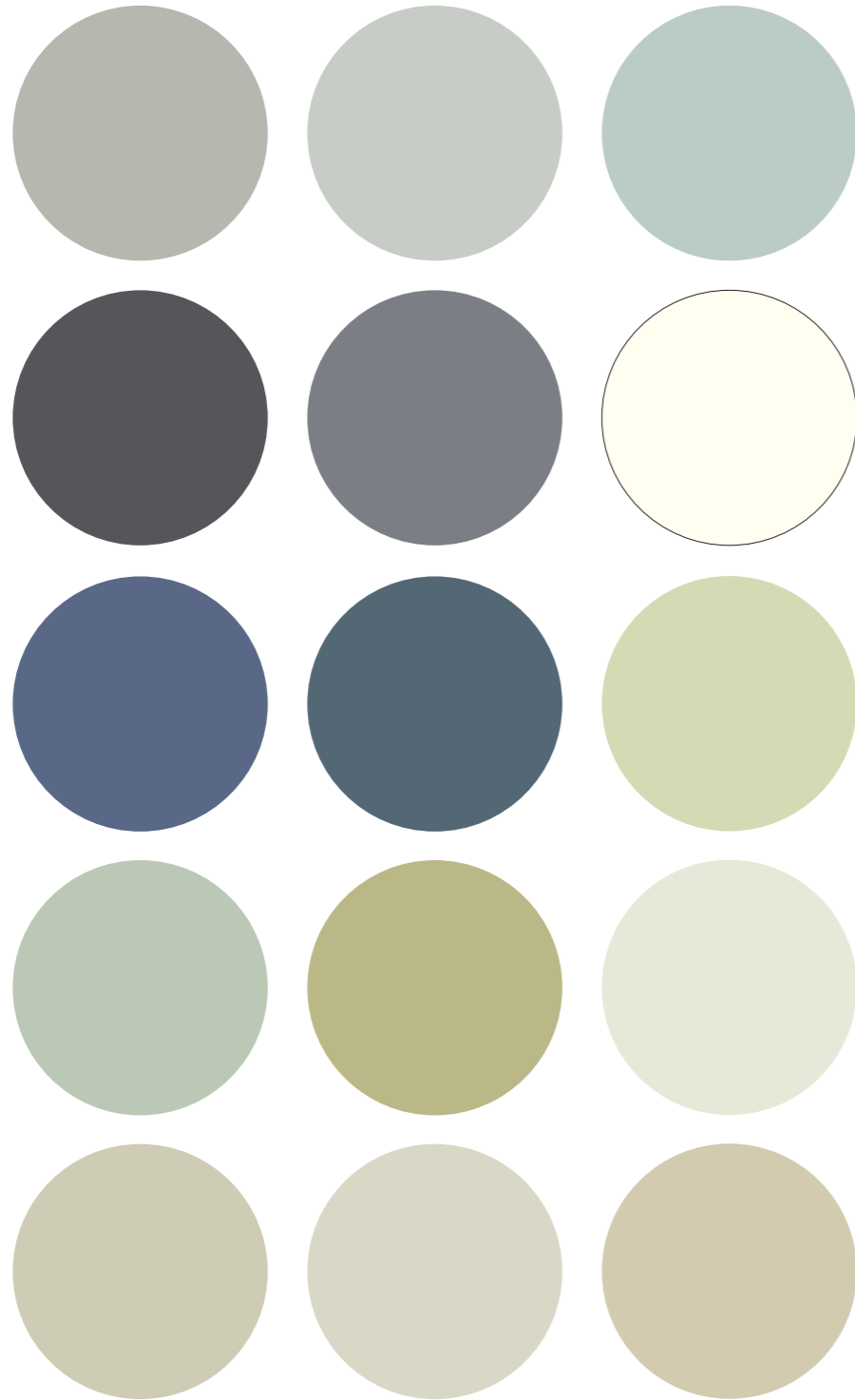


TIMBER CLADDING

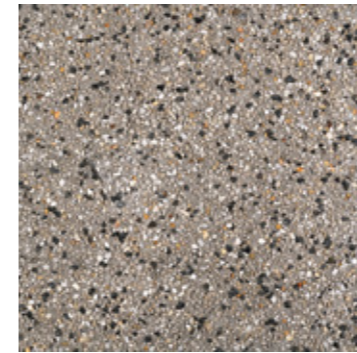


FC PRE-FINISHED CLADDING

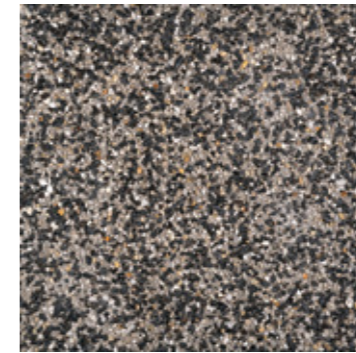
### ATTACHMENT 4 Materials and Colour Palette



### ATTACHMENT 5 Landscaping Materials and Finishes



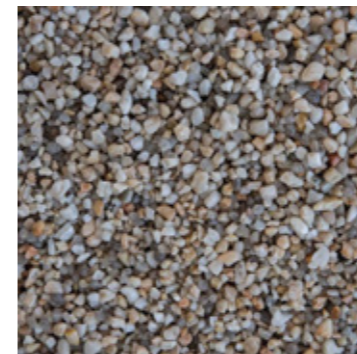
EXPOSED AGGREGATE



EXPOSED AGGREGATE



RIVER ROCKS 40MM - 100MM



RIVER PEBBLES 7MM



DROMANA PEBBLES BROWN 14MM



TUSCAN PEBBLES 20MM



LEAF MULCH



NATURAL VERTI BLOCK WALL



NATURAL BOULDER WALL



GRADED BARK



GABION BASKET



GABION LETTERBOX

## ATTACHMENT 6

### Planting Schedule Panorama Portarlington - Front Garden Planting Palette

SCIENTIFIC NAME	COMMON NAME	SIZE AT MATURITY
TREES - REQUIREMENT TO PLANT MINIMUM ONE FROM THIS CATEGORY		
<i>Acacia implexa</i>	Lightwood	8.0 x 7.0m
<i>Agonis flexuosa</i> 'Burgundy'	Burgundy Willow Myrtle	5.0 x 3.0m
<i>Banksia marginata</i>	Silver Banksia	4.0 x 3.0m
<i>Corymbia citriodora</i> 'Scentuous'	Dwarf Lemon Scented Gum	7.0 x 5.0m
<i>Corymbia ficifolia</i> 'Baby Scarlet'	Dwarf Red Flowering Gum	4.0 x 3.0m
<i>Cupaniopsis anacardioides</i>	Tuckeroo	8.0 x 7.0m
<i>Eucalyptus leucoxylo</i> 'Euky Dwarf'	Euky Dwarf Gum	6.0 x 5.0m
<i>Leptospermum laevigatum</i>	Coast Tea Tree	4.0 x 3.0m
<i>Olea</i> 'Tolley's Upright' (E)	Tolley's Upright Olive	7.0 x 4.0m
MEDIUM AND SMALLER SHRUBS		
<i>Acacia cognata</i> 'Mini Cog'	Mini Cog Wattle	1.0 x 1.5m
<i>Agonis flexuosa</i> Nana	Dwarf Willow Myrtle	1.5 x 1.5m
<i>Atriplex numularifolia</i> 'Silver Holly'	Silver Holly Saltbush	1.5 x 1.0m
<i>Banksia spinulosa</i> 'Coastal Cushion'	Banksia Coastal Cushion	0.5 x 0.8m
<i>Correa alba compacta</i>	Dwarf White Correa	0.3 x 1.0m
<i>Correa alba</i>	White Correa	1.5 x 1.5m
<i>Correa reflexa</i>	Common Correa	1.0 x 1.5m
<i>Epacris impressa</i>	Common Heath	1.5 x 1.5m
<i>Eremophila glabra</i> 'Silver Ball'	Silver Ball Emu Bush	1.0 x 1.0m
<i>Hakea fancisiana</i>	Emu Tree	5.0 x 4.0m
<i>Hardenbergia violacea</i> 'Meema'	Meema Hardenbergia	0.5 x 2.0m
<i>Leptospermum continentale</i>	Prickly Tea Tree	4.0 x 2.0m
<i>Leptospermum</i> 'Fore Shore'	Fore Shore Coastal Tea Tree	0.5 x 1.0m
<i>Pittosporum tobira</i> 'Miss Muffett' (E)	Dwarf Pittosporum	1.0 x 1.5m
<i>Raphiolepis umbellata</i> (E)	Indian Hawthorn	1.5 x 1.5m
<i>Rhagodia spinescens</i> 'Aussie Flat Bush'	Rhagodia Aussie Flatbush	0.5 x 2.0m
<i>Teucrium</i> 'Silver Box' (E)	Silver Germander	1.0 x 0.6m
<i>Westringia fruticosa</i> 'Grey Box'	Grey Box Coastal Rosemary	0.4 x 0.4m
<i>Westringia fruticosa</i> 'Low Horizon'	Low Horizon Coastal Rosemary	0.3 x 0.7m
<i>Westringia fruticosa</i> 'Wynnabbie Gem'	Coastal Rosemary	1.5 x 1.2m

SCIENTIFIC NAME	COMMON NAME	SIZE AT MATURITY
GROUNDCOVERS AND HERBS		
<i>Acacia glaucoptera nana</i>	Dwarf Clay Wattle	0.5 x 1.5m
<i>Carpobrotus rossi</i>	Karkalla	0.1 x 3.0m
<i>Casuarina glauca</i> 'Cousin It'	Ground Cover She-oak	0.2 x 2.0m
<i>Chrysocephalum apiculatum</i>	Yellow Buttons	0.3 x 0.6m
<i>Dichondra repens</i>	Kidney Weed	0.1 x 1.0m
<i>Disphyma crassifolium</i>	Rounded Noon Flower	0.1 x 2.0m
<i>Eremophila</i> 'Kalbarri Carpet'	Tar Bush	0.2 x 2.0m
<i>Myoporum parvifolium</i>	Creeping Boobialla	0.2 x 2.0m
<i>Scaevola humilis</i> 'Purple Fusion'	Scaevola Purple Fusion	0.2 x 1.5m
GRASSES AND MONOCOTS		
<i>Astellia</i> 'Silver Shadow' (E)	Silver Spear grass	1.0 x 1.5m
<i>Dianella</i> 'Clarity Blue'	Clarity Blue Dianella	0.5 x 0.4m
<i>Dianella caerulea</i> 'Lucia'	Dianella Lucia	0.3 x 0.5m
<i>Ficinia nodosa</i>	Knobby Club Rush	1.0 x 1.0m
<i>Lomandra</i> 'Evergreen Baby'	Evergreen Baby Mat Rush	0.5 x 0.5m
<i>Lomandra</i> 'Muru'	Great White Mat Rush	0.5 x 0.5m
<i>Lomandra</i> 'Nyalla'	Nyalla Mat Rush	0.9 x 0.9m
<i>Lomandra</i> 'Pacific Sky'	Pacific Sky Mat Rush	0.8 x 0.9m
<i>Lomandra</i> 'Tanika'	Tanika Mat Rush	0.5 x 0.5m
<i>Lomandra</i> 'Variegated Tanika'	Tanika Mat Rush	0.5 x 0.5m
<i>Lomandra</i> 'Wingarra'	Wingarra Mat Rush	0.4 x 0.6m
<i>Poa sieberiana</i>	Grey Tussock Grass	0.5 x 0.5m
CLIMBERS		
<i>Hibbertia scandens</i>	Snake Vine	Climbing
<i>Pandorea pandorana alba</i>	Wonga Wonga Vine	Climbing
EXOTIC SPECIES		

# ATTACHMENT 7

## Fencing Types and Diagrams

TYPE 1 AND 3: STEEL FINN AND TIMBER



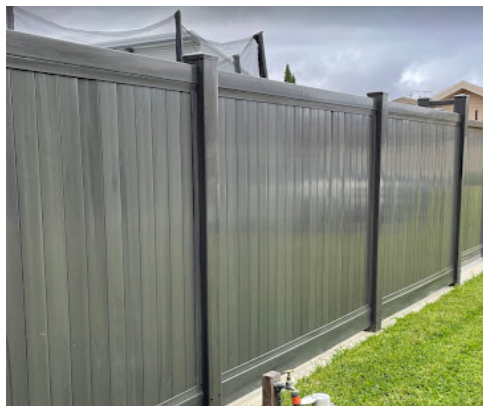
TYPE 4 : STEEL ANGLE PICKETS



TYPE 2 : STEEL FINN



TYPE 5: MYSTIQUE THINK FENCING



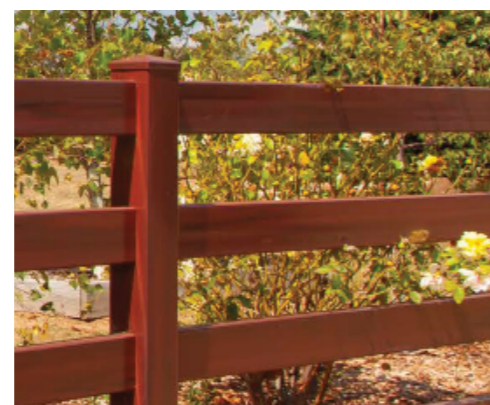
TYPE 5 : COLORBOND®



TYPE 6 : TIMBER POST AND RAIL



TYPE 6 : POST & RAIL THINK FENCING



## Fencing Diagrams, Elevations and Sections

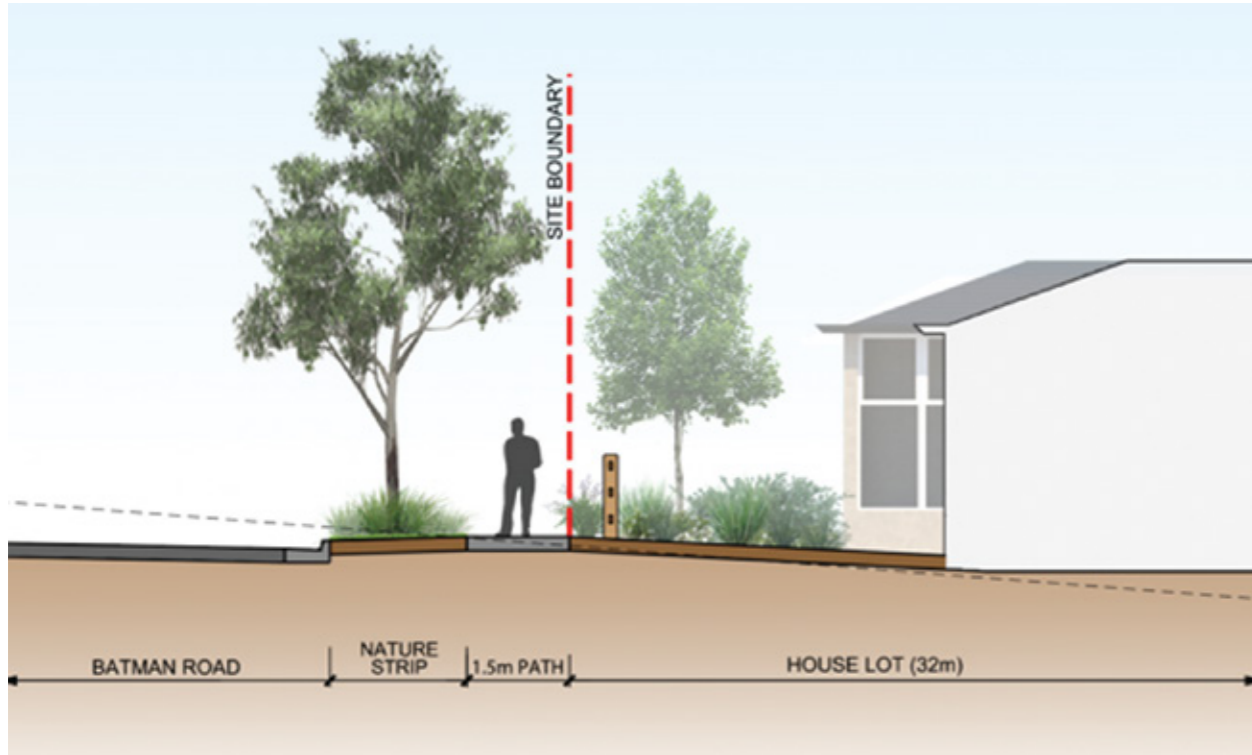
BATMAN AND ALLENS ROADS EXAMPLE FENCING DIAGRAM



BATMAN AND ALLENS ROADS EXAMPLE ELEVATION



BATMAN AND ALLENS ROADS EXAMPLE SECTION



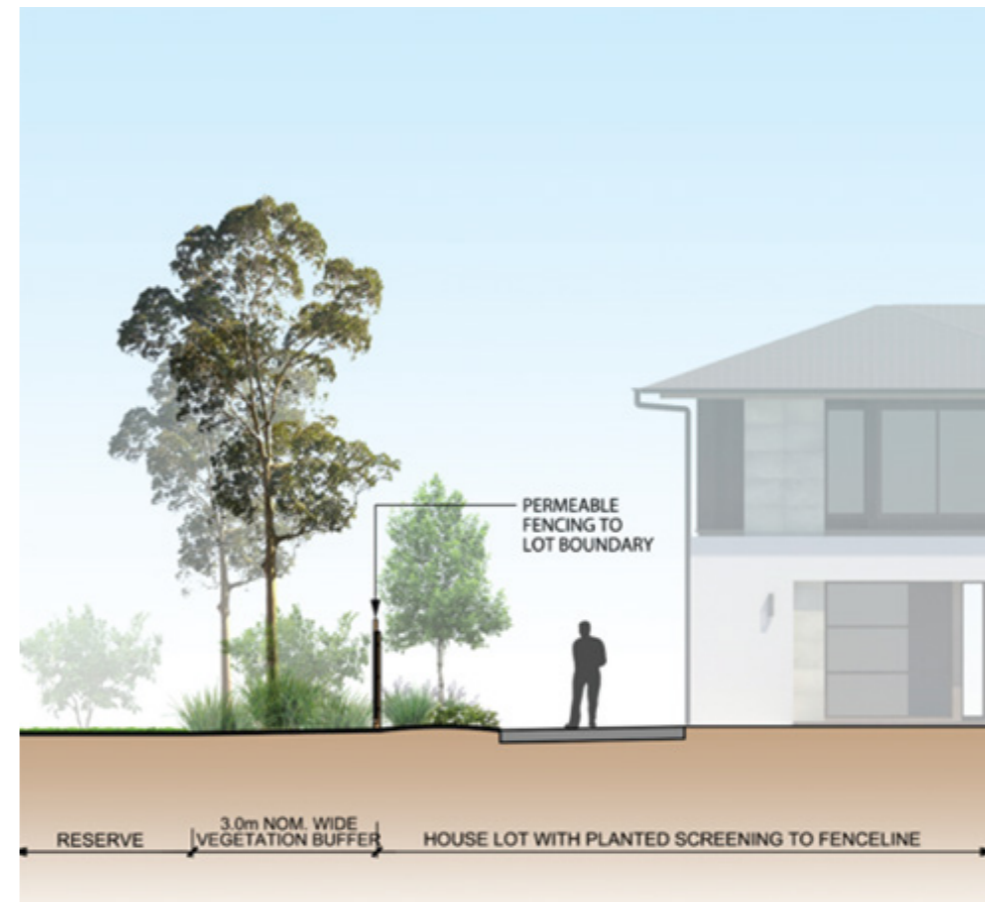
PUBLIC REALM EXAMPLE ELEVATION



PUBLIC REALM EXAMPLE FENCING DIAGRAM



PUBLIC REALM EXAMPLE SECTION



# ATTACHMENT 8

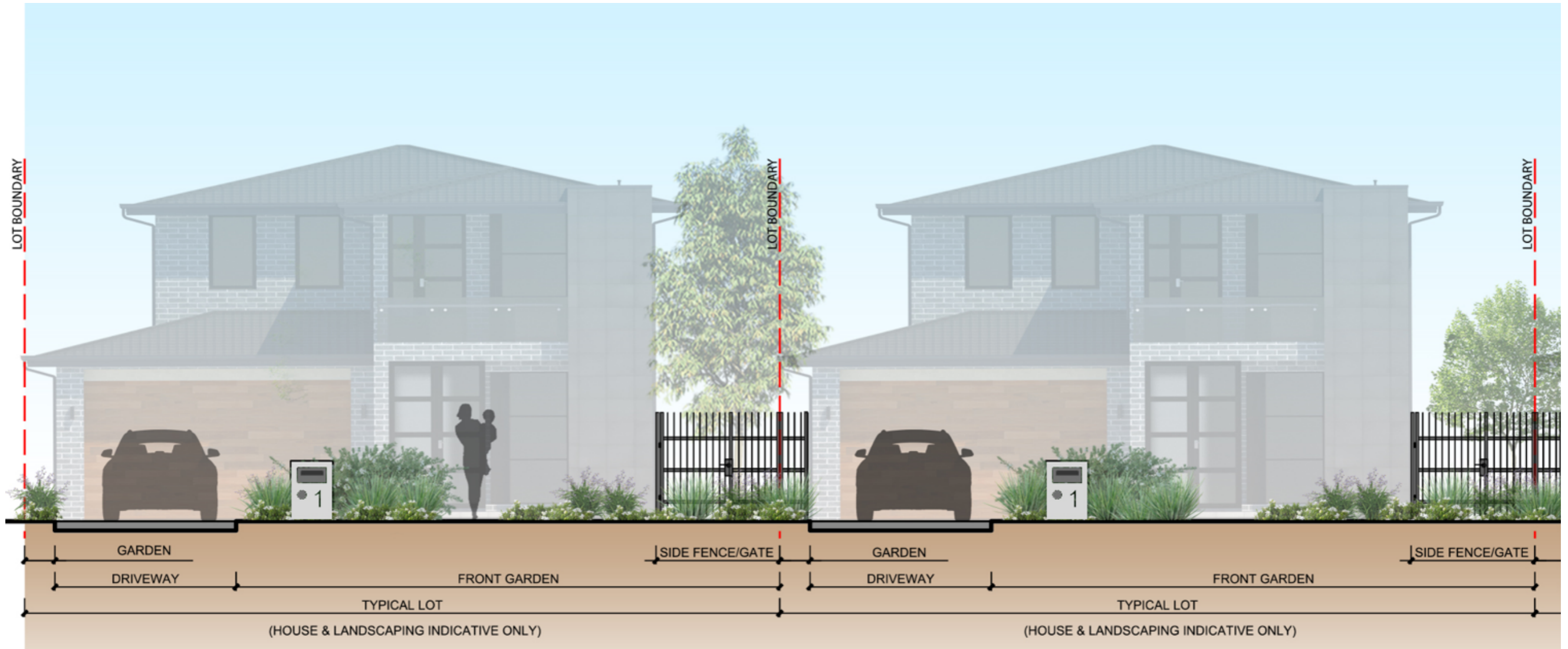
## Specific Dual Frontage Homesite Specifications

GEELONG-PORTARLINGTON ROAD EXAMPLE ELEVATION

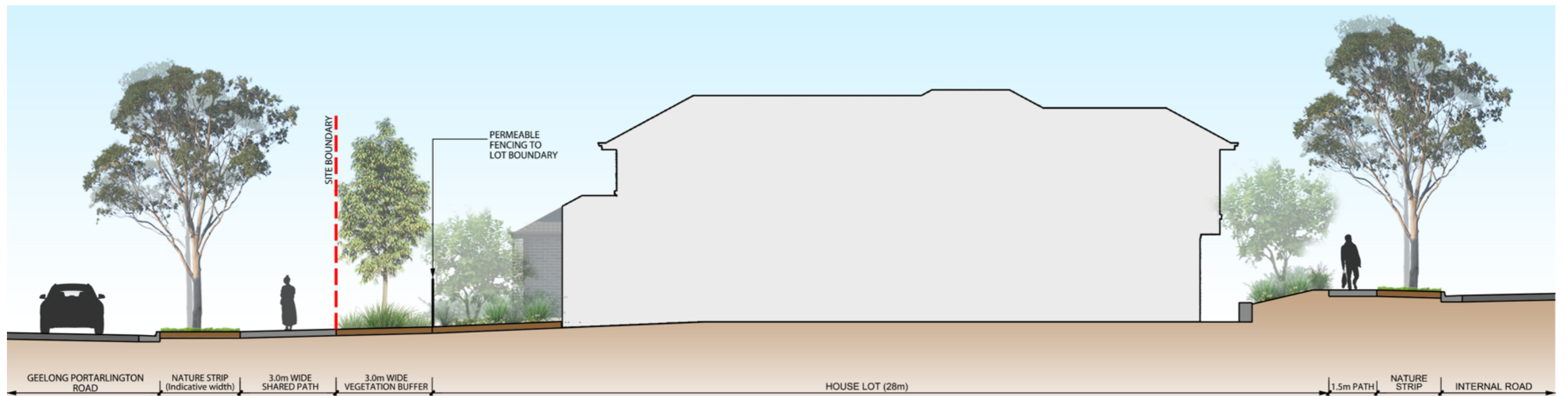




GEELONG-PORTARLINGTON ROAD EXAMPLE INTERNAL STREET ELEVATION



GEELONG-PORTARLINGTON ROAD EXAMPLE SECTION

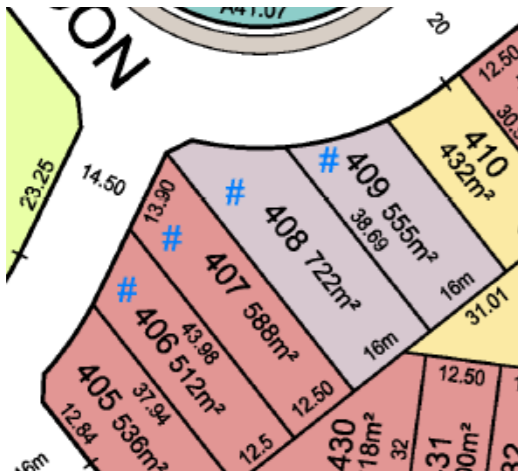


### ATTACHMENT 9

#### Entry Visual Impact Area Blue #

# Indicates lots with a restriction on title which prohibits the construction and display of a front fence.

Please note that lot numbers and frontages remain subject to change, before purchasing a homesite please check the plans within the Contract of Sale.

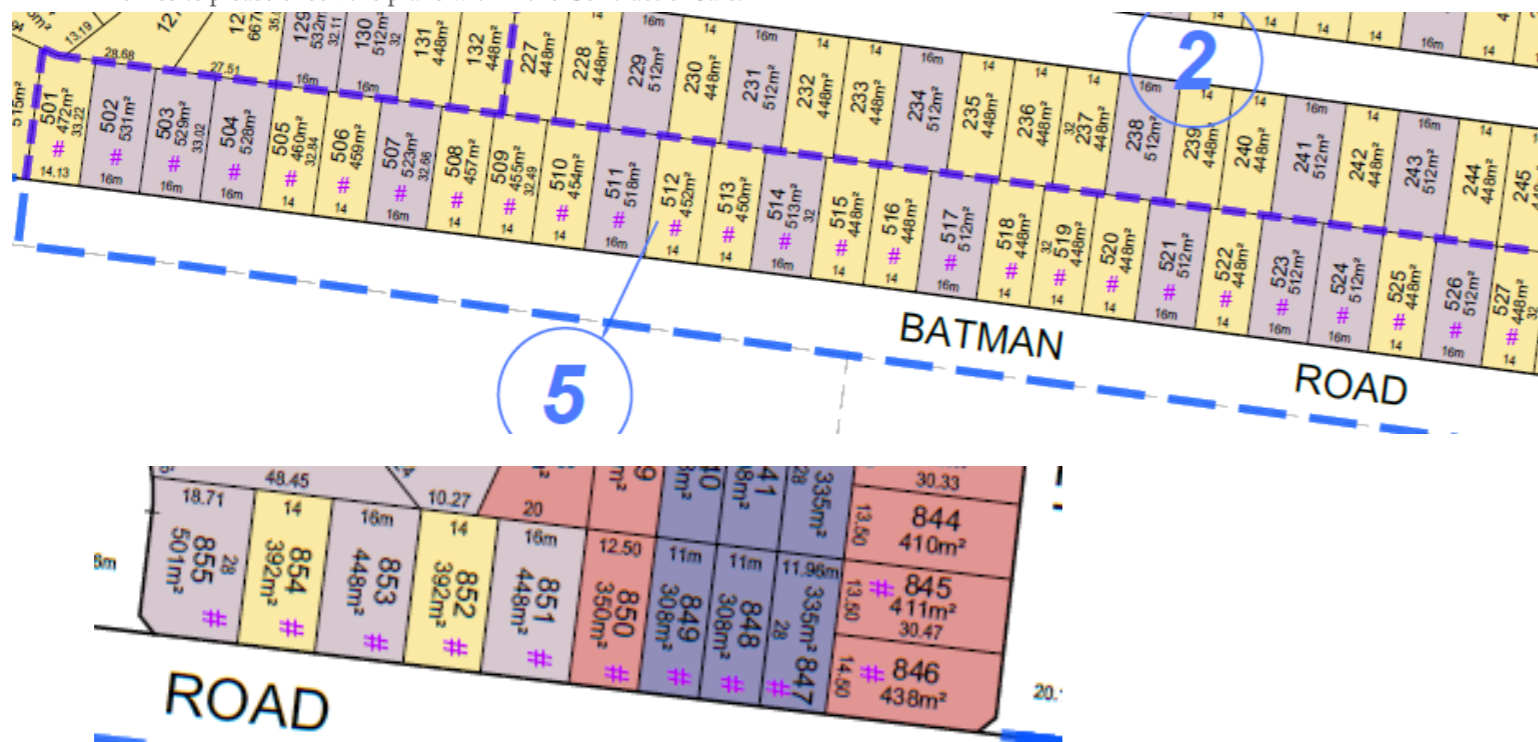


### ATTACHMENT 10

#### Visual Impact Area Purple #

# Indicates lots with a restriction on title which restricts the height of future building to 7.5m above natural ground level.

Please note that lot numbers and frontages remain subject to change, before purchasing a homesite please check the plans within the Contract of Sale.

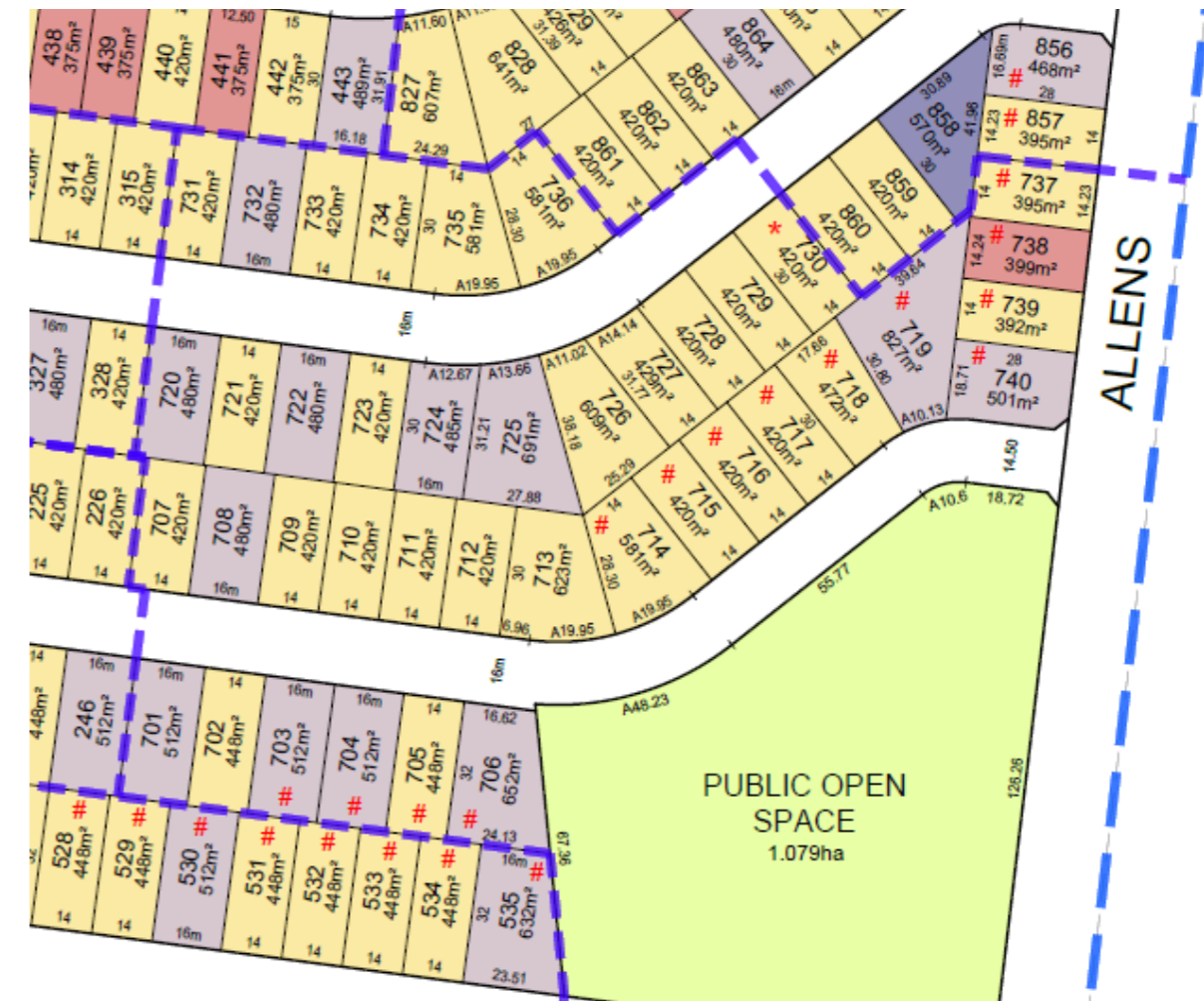


### ATTACHMENT 11

#### Visual Impact Area Red #

# Indicates lots which have a restriction on title referring to an Memorandum of Common Provision (MCP) - To be provided with the homesites Contract of Sale. Only homesites nominated with a Red # need to comply with the 3D Building envelope requirements of the MCP.

Please note that lot numbers and frontages remain subject to change, before purchasing a homesite please check the plans within the Contract of Sale.





Panorama Portarlington Design Panel (PPDP)

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