

**Project Description for CDRC
Big Wave North Parcel Alternative (NPA)
June 26, 2014**

1. **Project Title:** Big Wave North Parcel Alternative (NPA)
2. **County File Number:** PLN2013-00451
3. **Lead Agency Name and Address:** San Mateo County Planning and Building Department, 455 County Center, Second Floor, Redwood City, CA 94063
4. **Contact Person and Phone Number:** Camille M. Leung, (650) 363-1826
5. **Project Location:** Airport Street, north of Stanford Avenue and across the street from the Half Moon Bay Airport, in the unincorporated Princeton area of San Mateo County
6. **Assessor's Parcel Number and Size of Parcel:** APN 047-311-060 (14.25 acres)
APN 047-312-040 (5.28 acres)
7. **Project Sponsor's Name and Address:** Big Wave Group, LLC (owner of north parcel) & Big Wave Group (owner of south parcel), Dave Byers, Esq. (Applicant), 259 West 3rd Avenue, San Mateo CA 94402
8. **General Plan Designation:** General Industrial and General Open Space
9. **Zoning:** Northern Parcel (APN 047-311-060): Light Industrial/Design Review/Coastal Development District (M-1/DR/CD), Light Industrial/Airport Overlay/Design Review/Coastal Development District (M-1/AO/DR/CD), and Resource Management-Coastal Zone/Design Review/Coastal Development District (RM-CZ/DR/CD)

Southern Parcel (APN 047-312-040): Waterfront/Design Review/Coastal Development District (W/DR/CD), Waterfront/Airport Overlay/Design Review/Coastal Development District (W/AO/DR/CD), and Resource Management-Coastal Zone/Design Review/Coastal Development District (RM-CZ/DR/CD)
10. **Surrounding Land Uses and Setting:** The project site is located on the San Mateo County coast adjacent to the Pillar Point Marsh, a salt marsh habitat. Half Moon Bay Airport is located immediately to the east. Pillar Point Ridge lies further west. Residential development is located north of the parcels, with commercial development lying to the south. The project parcels are agricultural fields in active production.
11. **Other Public Agencies Whose Approval is Required:** San Mateo County Local Agency Formation Commission (LAFCo), Montara Water Sanitary District, Granada Sanitary District, Regional Water Quality Control Board (RWQCB), California Coastal Commission (if appealed).

1. Background

The County of San Mateo Planning Commission certified an Environmental Impact Report (EIR) for the Big Wave Wellness Center and Office Park Project (PLN2005-00481 and PLN2005-00482) in October 2010 (referred to as the 2010 EIR and the 2010 Big Wave Wellness Center and Office Park Project). The approval was appealed to the Board of Supervisors; the appeal was denied in March 2011, resulting in the County's approval of the 2010 project. The Board's decision to uphold the Planning Commission's decision was appealed to the California Coastal Commission. The Coastal Commission found substantial issues with the project and sustained the appeal, resulting in the denial of the project in August 2012. The project applicant has since revised the project to concentrate development on the northern parcel (APN047-311-060) and reduce its scale. The revised project, referred to as the Big Wave North Parcel Alternative (Big Wave NPA), reflects a working collaboration with the Coastal Commission and other agencies to address the issues of concern. San Mateo County is now processing the revised project under a new permit application.

2. Project Location and Site Description

The Big Wave NPA project site is located on Airport Street in the unincorporated area of Princeton in San Mateo County. The project site is comprised of two parcels: the north parcel (APN 047-311-060) is 14.25 acres and the south parcel (APN 047-312-040) is 5.28 acres. The parcels are relatively flat and gently sloped to the west and south. Site elevations range from 9.0 to 27.7 feet National Geodetic Vertical Datum (NGVD). The two parcels presently contain active agricultural fields irrigated by water from a well on the north parcel.

A natural drainage running east to west separates the two parcels and leads to the Pillar Point Marsh, a salt marsh habitat. A total of 0.74 acres (32,180 square feet; sq. ft.) of the project site consists of wetlands as defined by the California Coastal Act. A portion of the Coastal Act wetlands, 0.45 acres, is considered Federal jurisdictional waters/wetlands, under the permit authority of the U.S. Army Corps of Engineers (USACOE).

The project site is surrounded by the Half Moon Bay Airport to the east, the Pillar Ridge Manufactured Home Community to the north, the Pillar Point Headlands and Pillar Point Marsh to the west, and the industrial/commercial development of the Princeton/Pillar Point Harbor to the south. Pillar Point Ridge, west of the project site, lies between the marsh and the coastline and offers recreational hiking trails. Beach access to Pillar Point is provided south of the project site from the Mavericks parking area at the west terminus of West Point Avenue and at the eastern terminus of West Point Avenue at Princeton Avenue.

3. Summary of Project Changes

An overview of the primary changes between the 2010 Big Wave Wellness Center and Office Park Project, which was considered by the County in 2011 and the Big Wave North Parcel Alternative under current consideration is presented in Table 1. The original Big Wave Wellness Center and Office Park Project proposed development located on both the north and south project parcels and included 225,000 square feet of industrial and office space in eight buildings, a 70-bed Wellness Center that would be a residential living facility for developmentally disabled (DD) adults and their aides, a 20,000 sq. ft. storage/utility building, and 690 parking spaces. Water to the project would have been provided by an onsite agricultural well and sanitary sewer service was proposed to be provided by onsite wastewater treatment and disposal as recycle water.

The revised Big Wave NPA, in contrast, places all Wellness Center and Office Park buildings on the northern parcel. The north parcel would be subdivided into seven lots (Lots 1-7). Lot 1

(11.05 acres) includes the common areas of parking, wetland and wetland buffer areas, and fire trail. Lots 2 through 6 (each 13,500 sq. ft.) would contain one office/manufacturing building for each lot. Lot 7 (1.66 acres) includes the 3-building Wellness Center and Building A, an office building owned by the Wellness Center.

Project use of the southern parcel would be limited to farming/gardening, wetland restoration, boat storage with restroom facility, archaeological reserve, and coastal access parking. The south parcel would be subdivided into two lots (Lots 1-2). Lot 1 (1.82 acres) would contain outdoor boat storage and a designated archaeological site reserve area. Lot 2 (3.4 acres) would remain undeveloped.

The Big Wave NPA project proposes six Office Park buildings, eliminating two of the buildings proposed in the original 2010 Project, and reduces the Office Park square footage from 225,000 sq. ft. to 189,000 sq. ft. Parking is reduced to 554 spaces, including 92 coastal access parking spaces. Maximum building heights are reduced from 51 to 38 feet from grade. Total grading is reduced from 22,748 cubic yards (yd³) of cut and 26,850 yd³ of fill to 735 yd³ of cut and 13,000 yd³ of fill (mostly gravel). Wetland buffers are increased. First floor elevations of the Wellness Center buildings are raised for protection against tsunami run-up. Municipal water service would be provided by Montara Water and Sanitary District (subject to LAFCo action, described below). Wastewater service would be provided by Granada Sanitary District. The onsite agricultural well would be used for irrigation purposes only. Similar to the 2010 Big Wave Wellness Center and Office Park Project, project construction for the Big Wave NPA would be phased to span up to 15 years.

Table 1. Main Project Changes from 2010 Project to Current Proposal		
	2010 Project	Big Wave NPA
Area of Office/Industrial Use (square feet; sq. ft.)	225,000 sq. ft. ¹	189,000 sq. ft.
Number of Office/Industrial Buildings	8	6
On-site Parking Spaces	690	554
Maximum Building Height (feet from grade)	51 feet	38 feet
Grading (cubic yards; yd ³)	22,748 yd ³ of cut 26,850 yd ³ of fill	735 yd ³ of cut and backfill 21,400 yd ³ of gravel fill
Water Service	Existing well and on-site recycling	Montara Water and Sanitary District (subject to LAFCo action); well to be used for irrigation only
Project Construction Phasing Timeframe (years)	20 years	15 years
Wellness Center Residents (no change)	50 DD Adults 20 staff persons	50 DD Adults 20 staff persons
¹ Including the approx. 20,000 sq. ft. storage/utility bldg. on the south parcel, total area would be 245,000 sq. ft.		

4. Office Park

Building Details

Five Office Park buildings would be constructed, each on 13,500 square-foot lots (Lots 2-6;). All office park buildings would be three-story (33 feet) in height except Building A which would be two-story in height. The buildings would offer 189,000 square feet of space. Building elevations

are summarized in Table 2. Solar panels would be mounted flat on roof tops, six inches above the roofs. Maximum building heights in Table 2 includes solar panels and holding racks.

Exterior lighting would be provided in parking lot areas and walkways using three-foot tall low luminosity lighting bollards that direct the lighting downward. Each bollard would have a maximum power consumption of 100 watts and a maximum coverage of 30-foot diameter circle. The bollards would be spaced at 20-foot intervals along all paved walkways and parking islands.

Table 2. Office Park, Building Elevations									
A	B	C	D	E	F	G	H	I	J
Building	Max Stories	Average Existing Grade Elevation	Average Finish Grade Elevation	Slab Elevation	Unfinished Basement ¹ Elevation	First Floor Elevation	Building Height from Slab	Roof ² Elevation	Max Building Height from Existing Grade
Wellness Center									
Building 1 Gym and Basketball Court	1	21.5'	22.5'	23'	n/a	23'	Gym: 17' BB Court: 26'	Gym: 40' BB Court: 49'	Gym: 19' BB Court: 28.5'
Building 2 Residential Use on Upper Floor; Basement for storage	2	20.5'	22'	23'	23'	34'	22'	45'	25.5'
Building 3 Residential Use on Upper Floor; Depressed Basement for future pool deck	2	19.5'	22'	19' (below grade)	19'	34'	23' ³	45'	26.5'
Building 4 Residential Use on Upper Floors; Basement for Theater, Kitchen and Dining	3	19'	22'	23'	n/a	23'	33'	56'	38'
¹ The term "Basement" is used by the applicant to describe unfinished floors and is not used to suggest that floors are below grade. ² Roof Elevation (Column I) equals Slab Elevation (Column E) plus Building Height from Slab (Column H); with the exception of Building 3 (see note 3). Due to variations in the existing grade over the area of a building, Average Existing Grade Elevation (Column C) plus Max. Building Height from Existing Grade (Column J) may not equal Roof Elevation (Column I). ³ For Building 3, "building height from slab" shows building height from grade, as slab is below grade.									

Table 3. Wellness Center, Building Elevations									
A	B	C	D	E	F	G	H	I	J
Building	Max Stories	Average Existing Grade Elevation	Average Finish Grade Elevation	Slab Elevation	Unfinished Basement ¹ Elevation	First Floor Elevation	Building Height from Slab	Roof ² Elevation	Max Building Height from Existing Grade
Office Park									
Building A	2	21'	22'	23.5'	23.5'	34.5'	33'	56.5'	36.5'
Building B	3	20.5'	21.5'	22.5'	n/a	22.5'	33'	55.5'	35.5'
Building C	3	19'	20.5'	21.5'	n/a	21.5'	33'	54.5'	35.5'
Building D	3	18'	19.5'	20.5'	n/a	20.5'	33'	53.5'	35'
Building E	3	18.5'	20'	21'	n/a	21'	33'	54'	35.5'
<p>¹The term "Basement" is used by the applicant to describe unfinished floors and is not used to suggest that floors are below grade.</p> <p>² Roof Elevation (Column I) equals Slab Elevation (Column E) plus Building Height from Slab (Column H); with the exception of Building 3 (see note 3). Due to variations in the existing grade over the area of a building, Average Existing Grade Elevation (Column C) plus Max. Building Height from Existing Grade (Column J) may not equal Roof Elevation (Column I).</p> <p>³ For Building 3, "building height from slab" shows building height from grade, as slab is below grade.</p>									

5. Wellness Center

Building Details

Four Wellness Center buildings would be constructed on a 72,157 square-foot lot (Lot 7) and contain a total of 70,500 square feet of building floor area. Buildings 1, 2, and 3 would each have a building footprint of 9,750 square feet. Building 4 would have a building footprint of 13,750 square feet. Building heights would range from 25.5 to 38 feet from existing grade (2). Building 1 would be non-residential in use, containing a basketball court, gym, and locker rooms. Buildings 2 and 3 are two-story and would each have 13 bedrooms. Building 4 is three-story and would have 31 bedrooms. No residential uses are proposed on basement (ground level) floors. Solar panels would be mounted flat six inches above the roofs. Maximum building heights in includes solar panels and holding rack.

6. Boat Storage

An outdoor boat storage area (Lot 1), operated by the Wellness Center as a Big Wave business, would be located on the south parcel. The boat storage area would be 1.12 acres in size and provide 26 boat storage spaces (each 40 foot long by 12 wide), 27 parking spaces associated with boat use and storage, and a 190 square-foot precast concrete restroom building. Driveways allow for boats with trailers to be backed into the spaces. Locked security fencing would be constructed around the lot perimeter, with combination access for the boat owners. Fencing would be willow wattle, less than six feet high with the lowest horizontal more than 1.5 feet above the ground. There will be no specific hours of operation, as the site can be accessed as needed by owners. Lot signage consists of a 12-inch square metal sign on the gate with a contact phone number for the business manager. The site would not be staffed. Lighting includes the installation of 3-foot tall lighting bollards, with 30-foot minimum spacing, along the perimeter of Lot 1.

7. Landscape Plan

All plantings would be climate and drought tolerant, native, biologically sensitive, and non-invasive. Plantings would be installed in accordance with the Landscaping Plan. Proposed vegetation communities are identified in Table 4. Individual trees (24-inch box) would be planted in parking lot islands on the north parcel. Tree specimens include live oak, madrone, California buckeye, big leaf maple, and red alder.

Vegetation Community	Square Footage	Acres
Coastal Riparian Forest	72,359	1.66
Redwood Grove	26,825	0.62
Mixed Willow Shrub Scrub	51,134	1.17
Willow Wattle	3,454	0,08
Sedge Meadow	13,588	0.31
Rush Meadow	69,172	1.59
Upland Forest	34,624	0.79
Wildflower Garden	9,761	0.22
Organic Garden	190,357	4.37
Totals	471,274	10.81

8. Grading and Drainage

The Big Wave NPA project proposes no rough grading on the project parcels. Development footprint elevations will be established by laying 12 to 20 inches of imported gravel on top of the native soil surface. The total gravel fill would be 21,400 yds³: 20,000 yds³ on the north parcel and 1,400 yds³ on the south parcel. On the northern parcel, parking areas, boat storage area, and spaces between buildings would be designed with permeable pavers covering the gravel base to infiltrate all storm drainage and comply with County runoff requirements. The project involves a cut of 735 yds³ (640 yds³ on the north parcel and 95 yds³ on the south parcel) for trenching and backfill of utilities.

Construction storm drainage controls would be implemented as shown in the Erosion and Sedimentation Control Plan. Fiber rolls with silt fencing would be installed along the 150-foot wetland buffer on the north parcel and along the 100-foot wetland buffer on the south parcel. A 12-inch layer of drain rock (1.5" to 3" coarse aggregate) would be placed at the three construction entrances to the project site. The construction entrances would be maintained in a condition that prevents tracking or flowing of sediment onto Airport Street. Straw mulch would be used to provide temporary erosion control over disturbed areas.

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:

PRIVATE UTILITY EASEMENTS WILL BE RESERVED OVER EACH PARCEL FOR THE BENEFIT OF THE OTHER PARCELS, WHERE APPROPRIATE. THE DELINEATION OF THOSE EASEMENTS IS NOT SHOWN ON THESE PLANS, BUT WILL BE CONFIGURED AND DELINEATED DURING THE BUILDING PERMIT PROCESS.

RECORD OWNER AND SUBDIVIDER:

BIG WAVE LLC
P.O. BOX 700
BELMONT CA. 94002

LAND SURVEYOR AND CIVIL ENGINEER

MacLEOD & ASSOCIATES
965 CENTER STREET
SAN CARLOS, CA 94070
(650) 593-8580

ASSESSOR'S PARCEL NUMBERS

047-311-060 AND 047-312-040

EXISTING & PROPOSED ZONING

M-1/DR - LIGHT INDUSTRIAL WITH DESIGN REVIEW
W/DR - WATERFRONT WITH DESIGN REVIEW

UTILITIES:

GAS AND ELECTRICITY: PACIFIC GAS AND ELECTRIC COMPANY
SANITARY SEWER: MONTARA SANITARY DISTRICT
WATER: COASTSIDE WATER DISTRICT
TELEPHONE: A T & T
FIRE PROTECTION: HALF MOON BAY

FLOOD ZONE:

" X " (PER LETTER OF MAP AMENDMENT CASE NO. 06-09-0050A)

LEGEND:

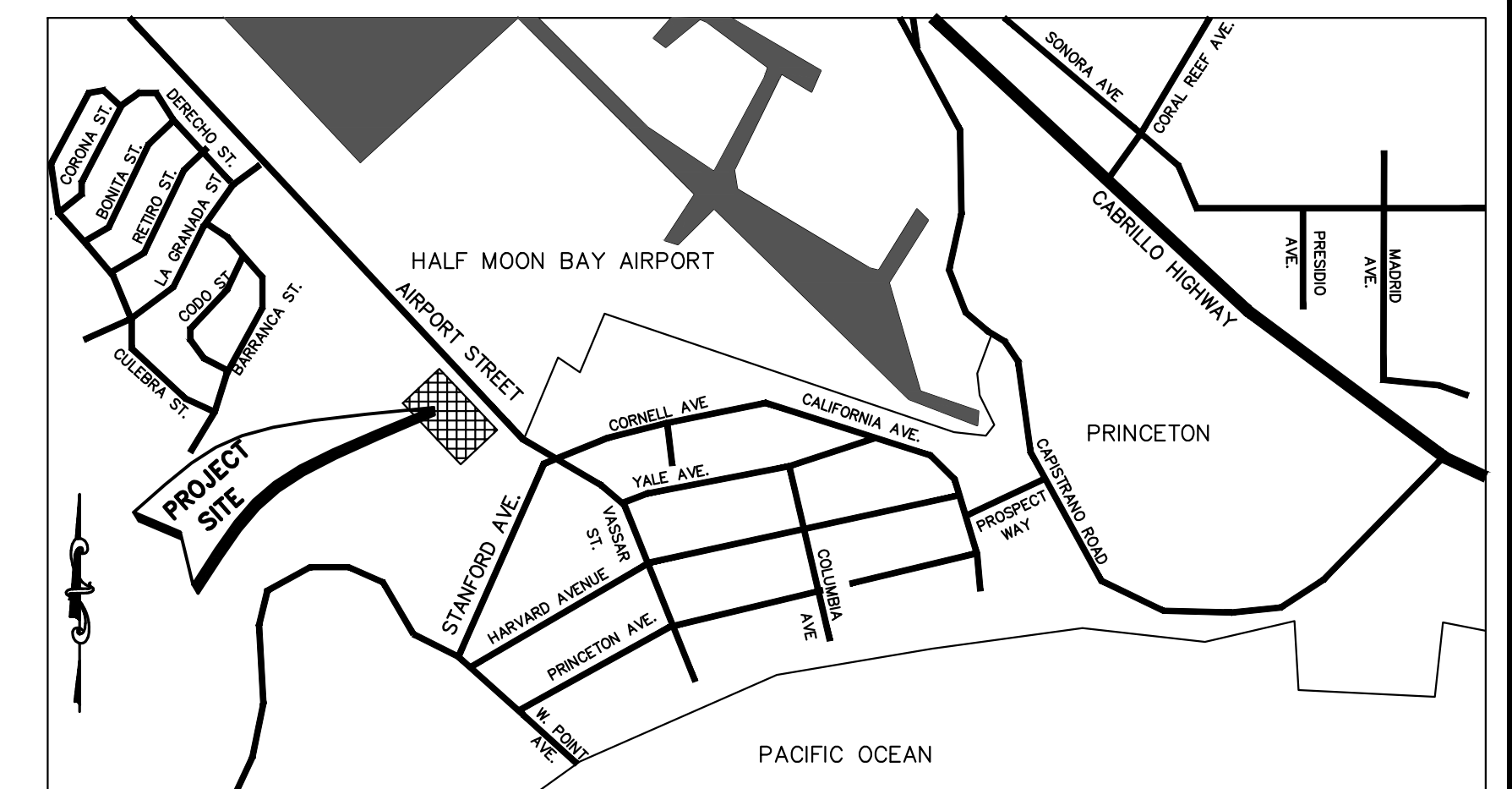
- C COMPACT PARKING
- EL ELEVATION
- EP EDGE OF PAVEMENT
- FH FIRE HYDRANT
- S STANDARD PARKING
- SSMH SANITARY SEWER MANHOLE
- WV WATER VALVE
- WM WATER METER
- G GAS LINE
- E ELECTRIC LINE
- FS FIRE SERVICE
- DW DOMESTIC WATER
- SS SANITARY SEWER

PARKING NOTE:

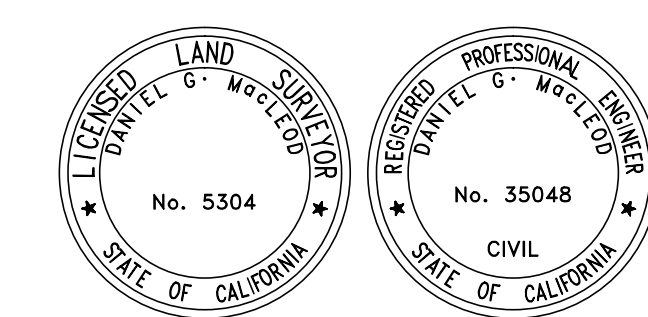
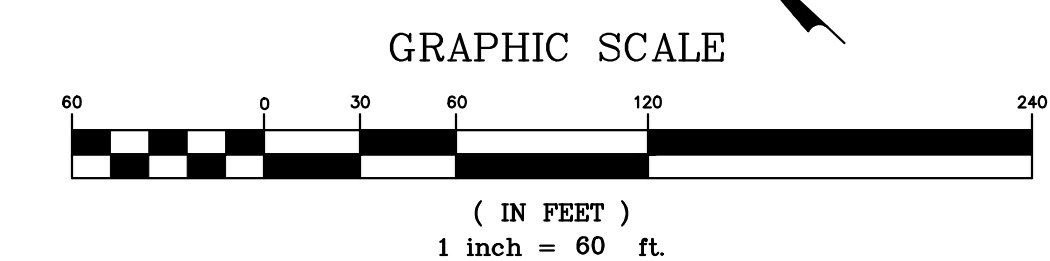
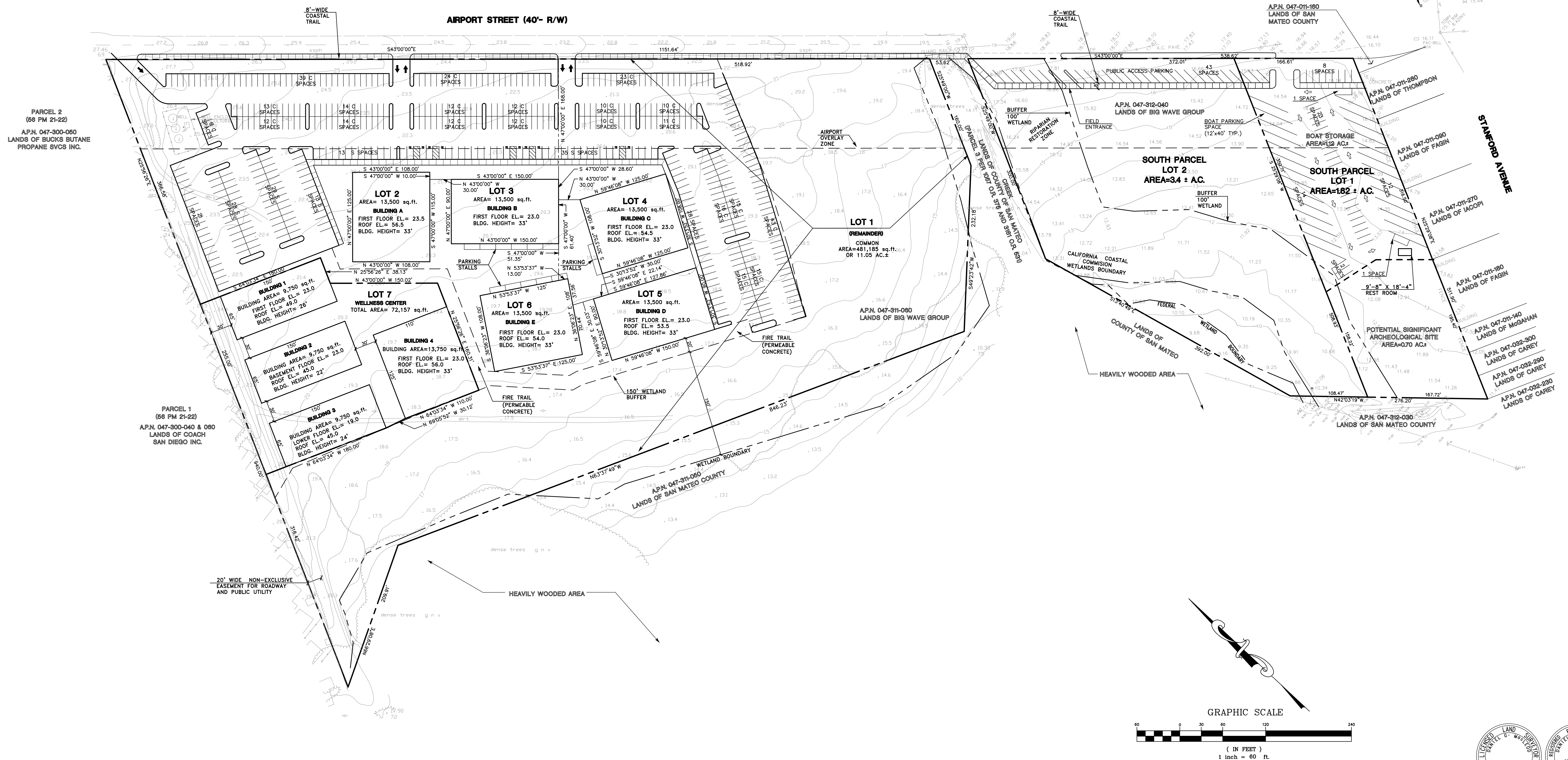
- TYPICAL STANDARD PARKING STALL DIMENSIONS = 9' X 18'
- TYPICAL COMPACT PARKING STALL DIMENSIONS = 8' X 18'
- TYPICAL HANDICAP PARKING STALL DIMENSIONS = 9' X 18' WITH 8' WIDE UNLOADING AREA
- TOTAL NUMBER OF PARKING STALLS = 554

TREE NOTE:

THERE ARE NO EXISTING TREES ON THE SUBJECT PROPERTIES



LOCATION MAP
NOT TO SCALE



MacLEOD AND ASSOCIATES
CIVIL ENGINEERING • LAND SURVEYING
965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:
BIG WAVE LLC

PREPARED FOR:
BIG WAVE LLC

VESTING TENTATIVE SUBDIVISION MAP FOR COMMERCIAL AND RESIDENTIAL PURPOSES "BIG WAVE"
BEING A SUBDIVISION OF A.P.N. 047-311-060 AND 047-312-040
AIRPORT STREET
SAN MATEO COUNTY
CALIFORNIA

DRAWN BY: AAP
DESIGNED BY: VPG
CHECKED BY: DGM
SCALE: 1" = 60'
DATE: 05/28/14
DRAWING NO. 1608-00
SHEET **C-1** OF 5

UTILITY NOTE:

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GRADING QUANTITIES:

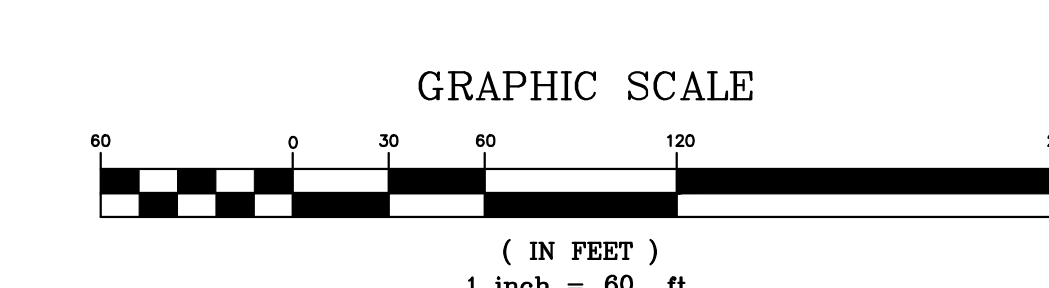
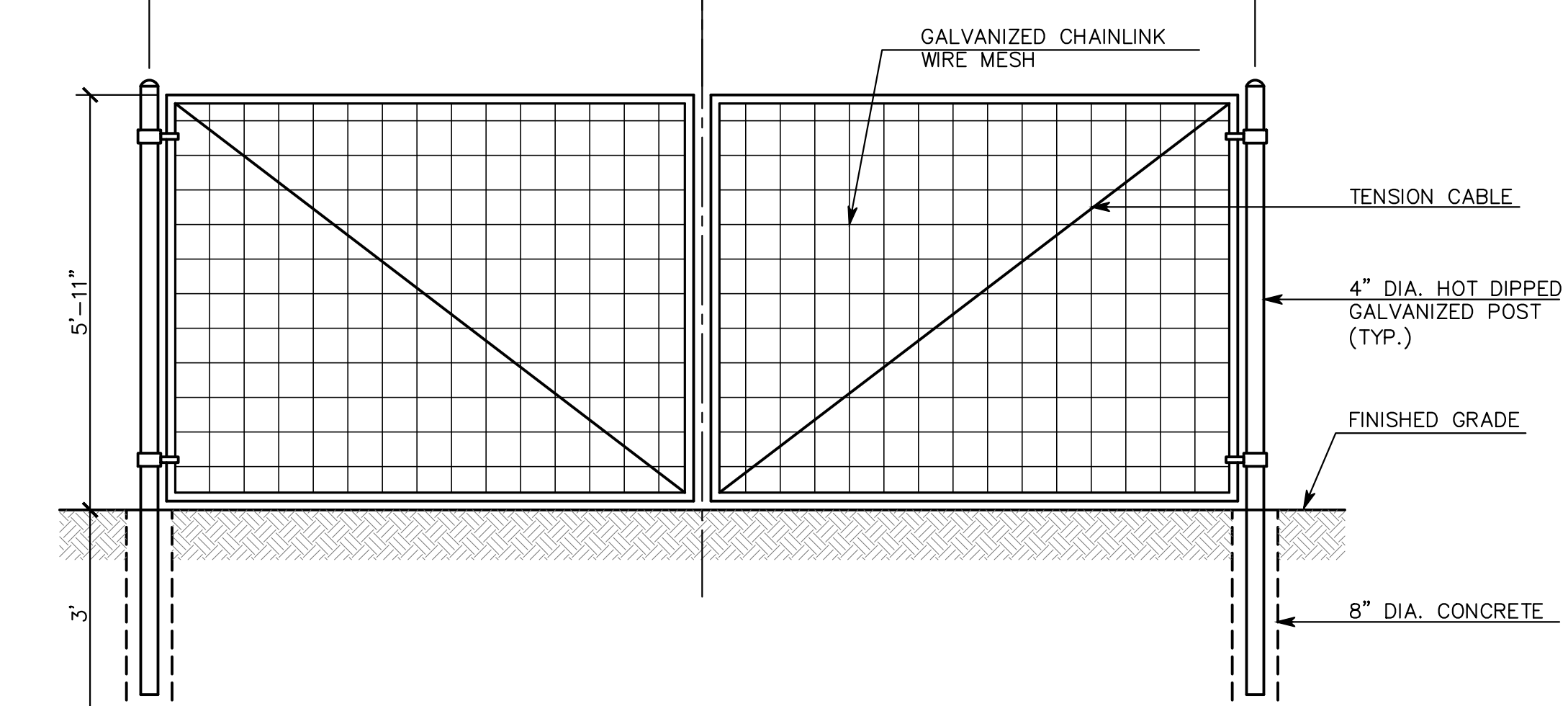
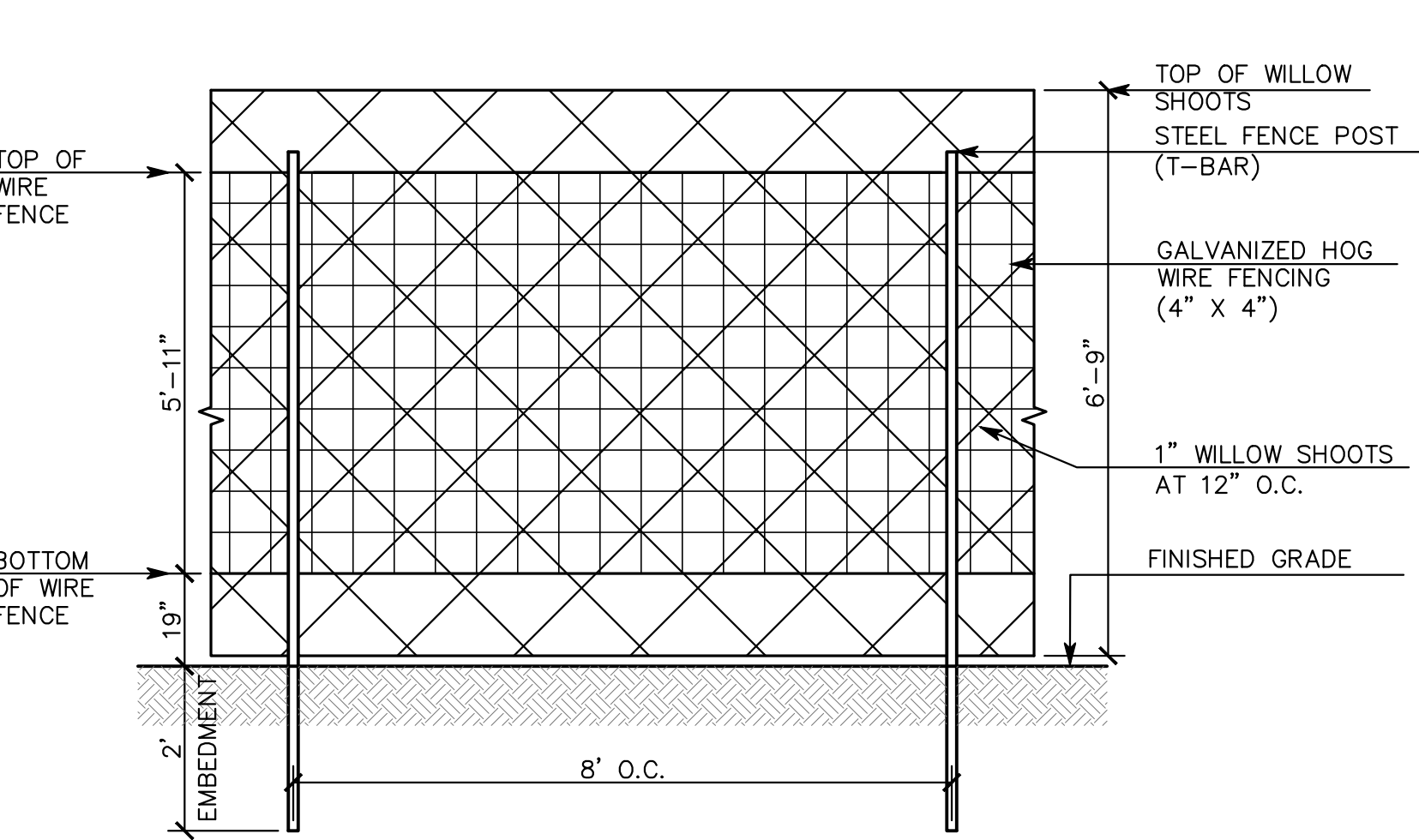
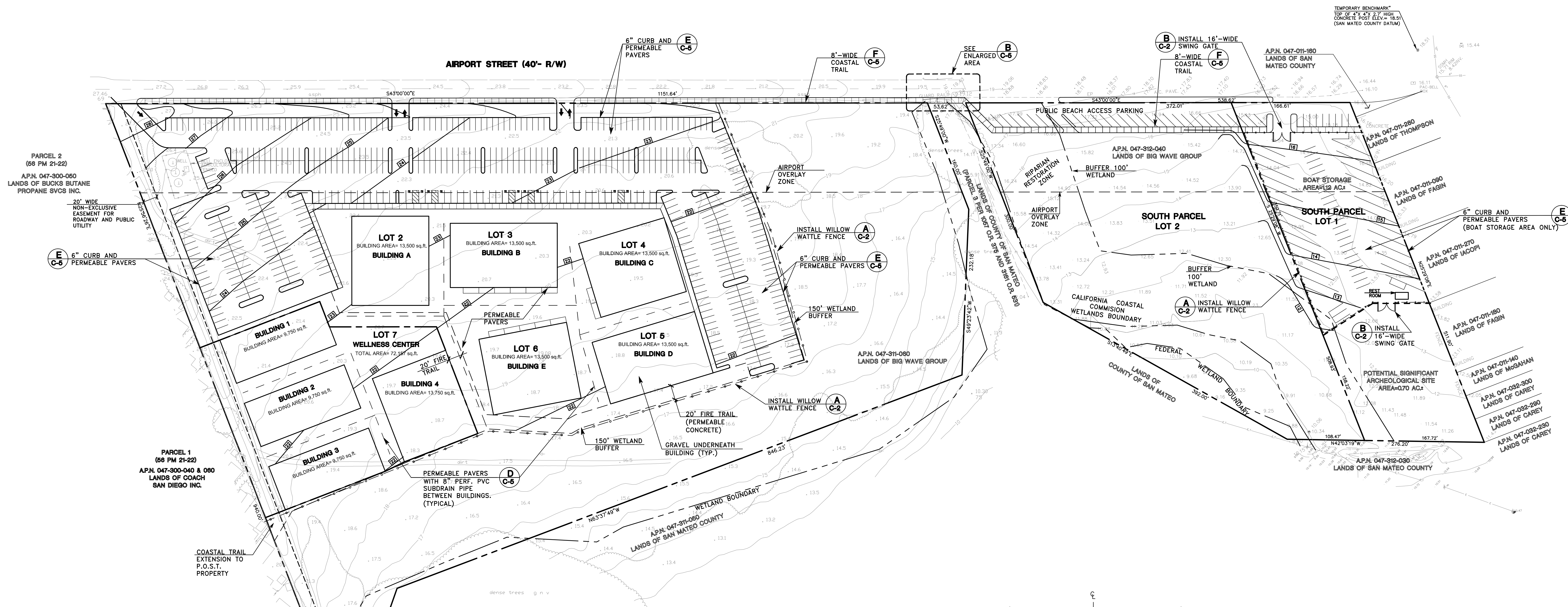
NORTH PARCEL		SOUTH PARCEL			
	CUT (CY)	FILL (CY)			
UTILITY TRENCHING	640	0	UTILITY TRENCHING	95	0
GRAVEL MATERIAL	0	20,000	GRAVEL MATERIAL	0	1,400
TOTAL =	640	20,000	TOTAL =	95	1,400

GENERAL NOTES:

- ELEVATIONS AND LOCATIONS OF ALL UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT (800) 227-2600 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- ALL APPLICABLE WORK SHALL BE DONE IN ACCORDANCE WITH THE COUNTY OF SAN MATEO STANDARD TECHNICAL SPECIFICATIONS AND DETAILS, PREPARED IN THE OFFICE OF THE ENGINEERING DIVISION, INCLUDING MODIFICATIONS CONTAINED HEREIN.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTORS WORK.
- THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE INSTALLATION OF FACILITIES BY PG&E, PACIFIC BELL, AND CABLE TV INSTALLATION. VALVE BOXES AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- THE CONTRACTOR SHALL GIVE THE COUNTY ENGINEER AT LEAST TWO WORKING DAYS ADVANCE NOTICE FOR INSPECTION. (650) 363-4100.
- FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND SHALL OBTAIN APPROVAL OF THE COUNTY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE FLAGMEN, CONES AND BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS.
- PEDESTRIAN, PUBLIC ACCESSSES, SHALL BE MAINTAINED DURING THE CONSTRUCTION TO THE SATISFACTION OF THE COUNTY ENGINEER.
- NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT; USE STEEL PLATING OR HOT MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES OVERNIGHT.
- THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEEP STREETS AS OFTEN AS NECESSARY DURING CONSTRUCTION AS REQUIRED BY THE COUNTY ENGINEER.
- THE GEOTECHNICAL REPORT PREPARED BY BAY AREA GEOTECHNICAL GROUP, PROJECT NO. BIGWA-01-00, DATED MAY 7, 2002 SHALL BE MADE A PART OF THIS PLAN.
- TRAFFIC ISLAND TO BE PLANTED WITH TWO CALIFORNIA SYCAMORES (5 GALLON POTS)

LEGEND:

- 2" W — 1" PEP PEX FOR ALL PRIVATE WATER LATERALS TO BUILDINGS (FOR SEISMIC SETTLEMENT)
- 8" FW — 8" PEP FIRE WATERLINE LOOP WITH HYDRANTS AS PER CODE (FOR SEISMIC SETTLEMENT)
- 8" SS — 8" PUBLIC GRAVITY SANITARY SEWER S=0.005 MIN.
- 2" PSS — 2" PRIVATE PRESSURE SEWER LATERALS FROM BUILDING (FLEX JOINTS AT BUILDING FOR SEISMIC SETTLEMENT)
- PJUT — PUBLIC JOINT UTILITY TRENCH (POWER AND COMMUNICATIONS)
- JUT — PRIVATE JOINT UTILITY TRENCH (POWER AND COMMUNICATIONS)
- 2" G — 2" PUBLIC GAS
- SSMH — SANITARY SEWER MANHOLE
- CO — SANITARY SEWER CLEANOUT
- M — WATER METER
- RBP — REDUCED PRESSURE BACKFLOW PREVENTER
- IRW — EXISTING 4" WELL WATER IRRIGATION
- 15 — NEW CONTOUR
- X-X-X-X-X — WILLOW WATTLE FENCE



DATE: _____

BY: _____

DESCRIPTION: _____

REV: _____

MACLEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR: BIG WAVE LLC

CALIFORNIA

BEING A SUBDIVISION OF A.P.N. 047-311-060
 AIRPORT STREET
 SAN MATEO COUNTY

GRADING & DRAINAGE PLAN WITH PERMANENT STORM WATER CONTROLS

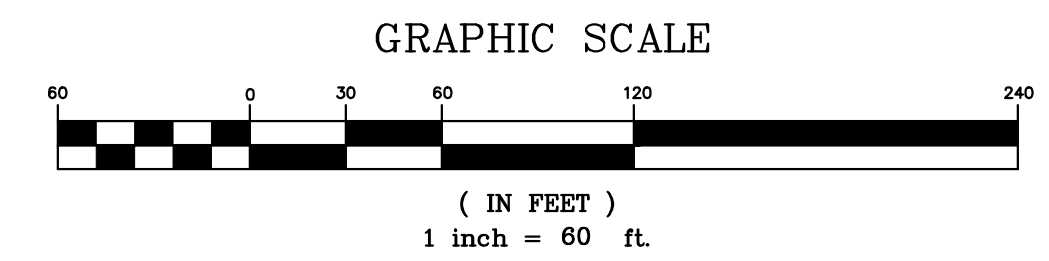
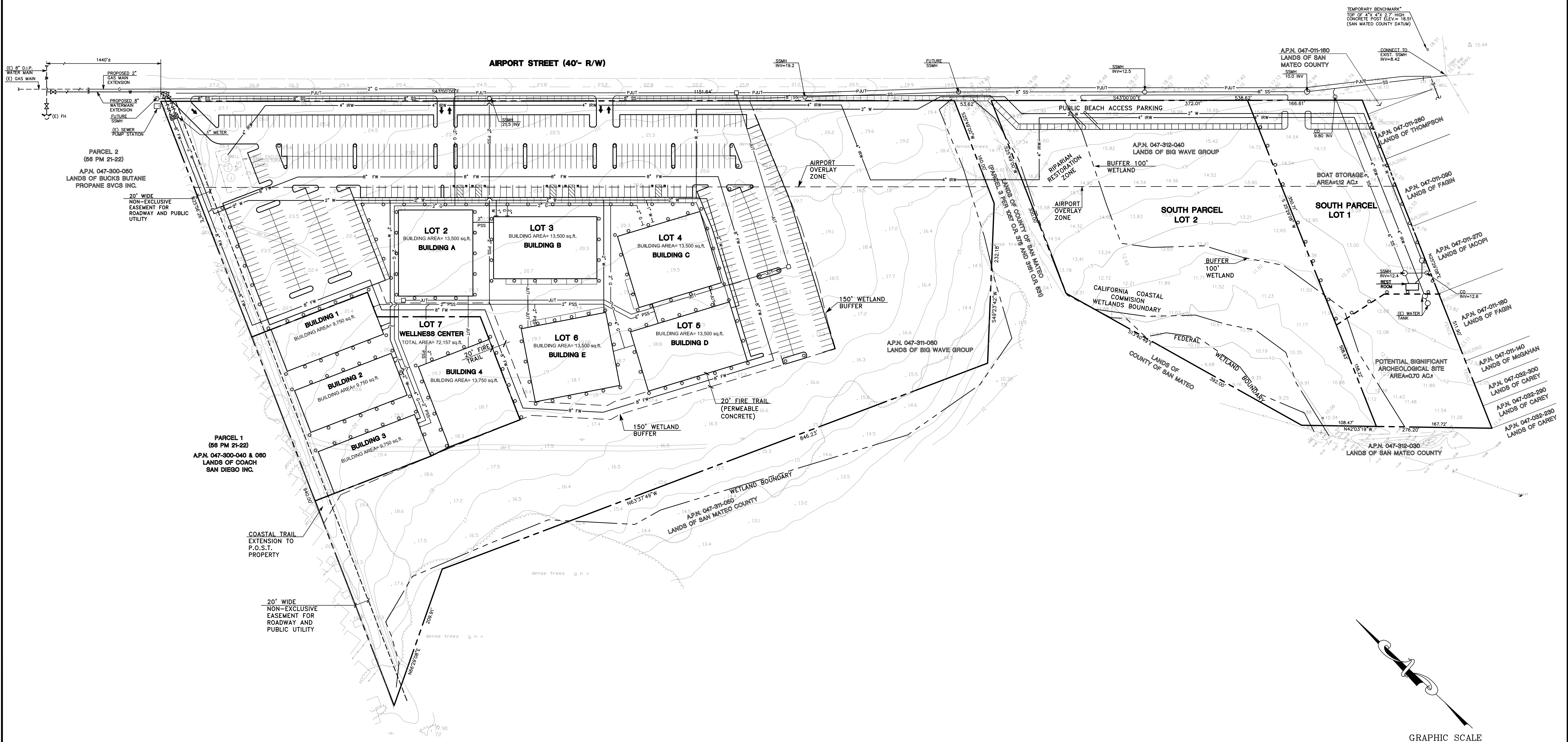
DRAWN BY: AAP
 DESIGNED BY: VPG
 CHECKED BY: DGM
 SCALE: 1" = 60'
 DATE: 05/28/14
 DRAWING NO. 1608-00
 SHEET **C-2**
 2 OF 5

UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

LEGEND:

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- 8" FW — 8" PEP FIRE WATERLINE LOOP WITH HYDRANTS AS PER CODE (FOR SEISMIC SETTLEMENT)
- 8" SS — 8" PUBLIC GRAVITY SANITARY SEWER S=0.005 MIN.
- 2" PSS — 2" PRIVATE PRESSURE SEWER LATERALS FROM BUILDING (FLEX JOINTS AT BUILDING FOR SEISMIC SETTLEMENT)
- PJUT — PUBLIC JOINT UTILITY TRENCH (POWER AND COMMUNICATIONS)
- JUT — PRIVATE JOINT UTILITY TRENCH (POWER AND COMMUNICATIONS)
- 2" G — 2" PUBLIC GAS
- SSMH — SANITARY SEWER MANHOLE
- CO — SANITARY SEWER CLEANOUT
- M — WATER METER
- R — REDUCED PRESSURE BACKFLOW PREVENTER
- IRW — EXISTING 4" WELL WATER IRRIGATION
- ⊙ — 3' TALL LIGHTING BOLLARDS (30' MIN. SPACING)



DATE:	
DESCRIPTION:	
REV:	
BY:	

MALEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PREPARED FOR:
 BIG WAVE LLC

UTILITY PLAN
 BEING A SUBDIVISION OF A.P.N. 047-311-060 AND 047-312-040
 AIRPORT STREET
 SAN MATEO COUNTY
 CALIFORNIA

DRAWN BY:	AAP
DESIGNED BY:	VPG
CHECKED BY:	DGM
SCALE:	1" = 60'
DATE:	05/28/14
DRAWING NO.	1608-00
SHEET	C-3
	3 OF 5

DESIGN AND CONSTRUCTION SPECIFICATIONS FOR CONSTRUCTION ENTRANCE:

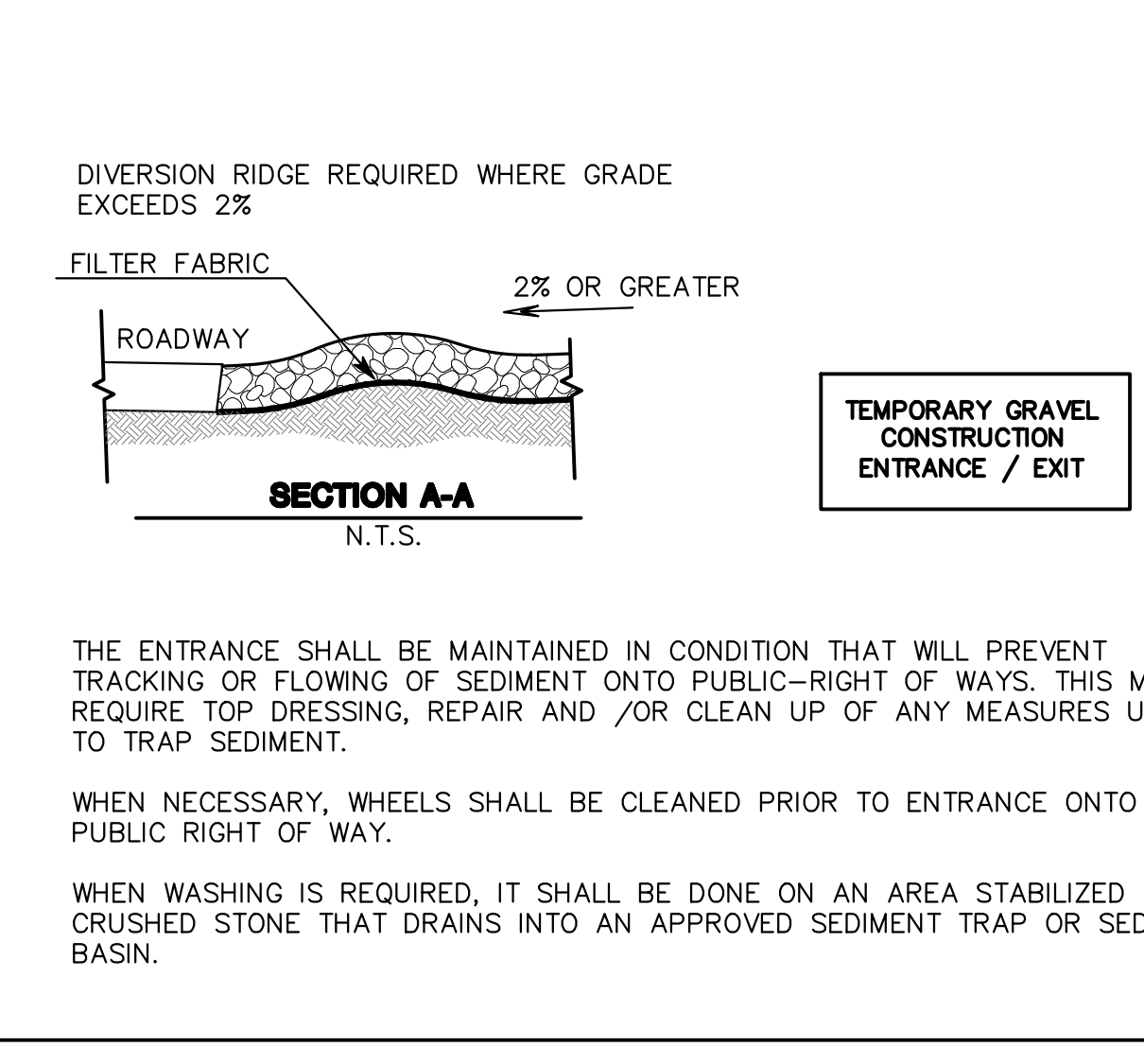
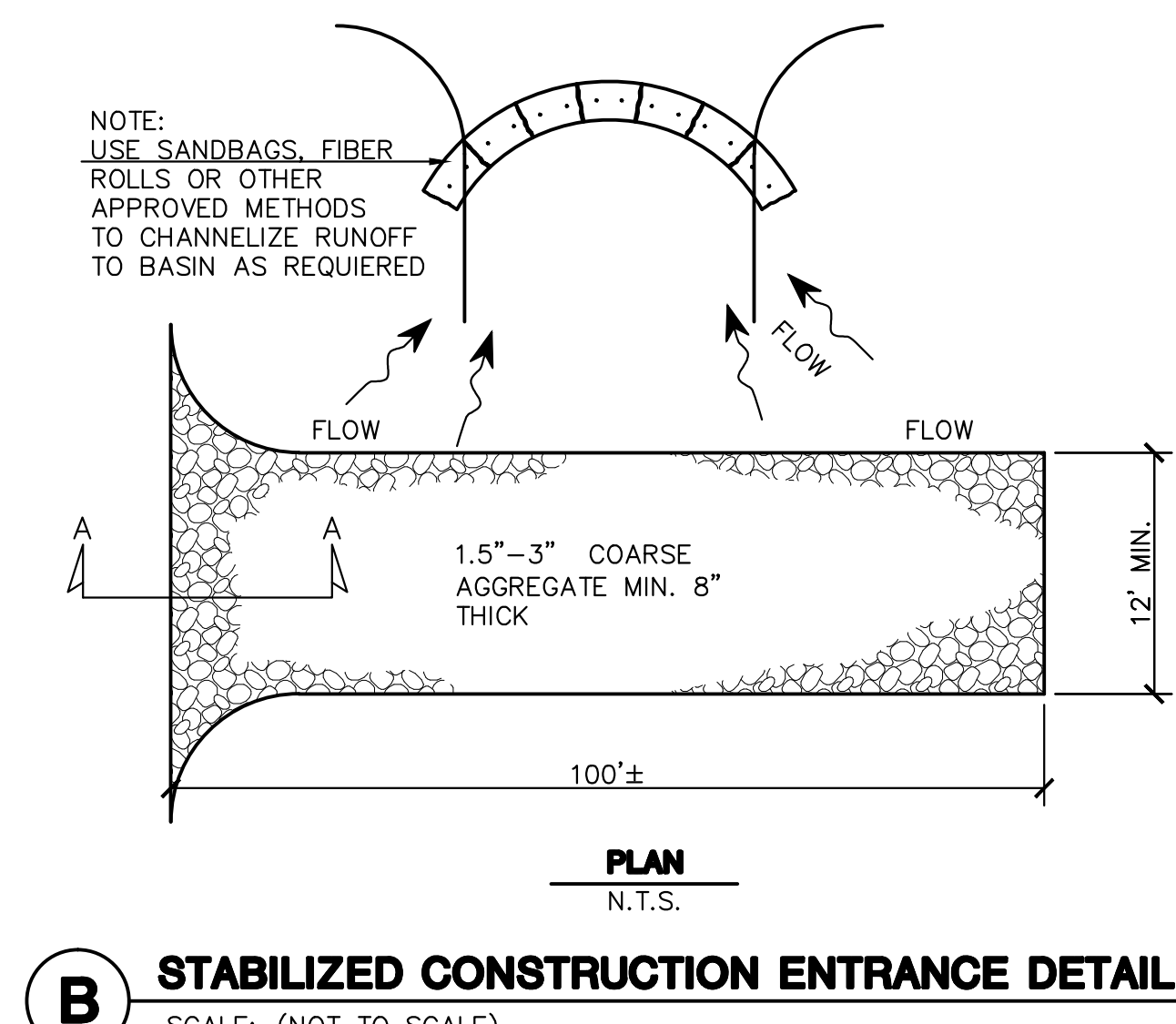
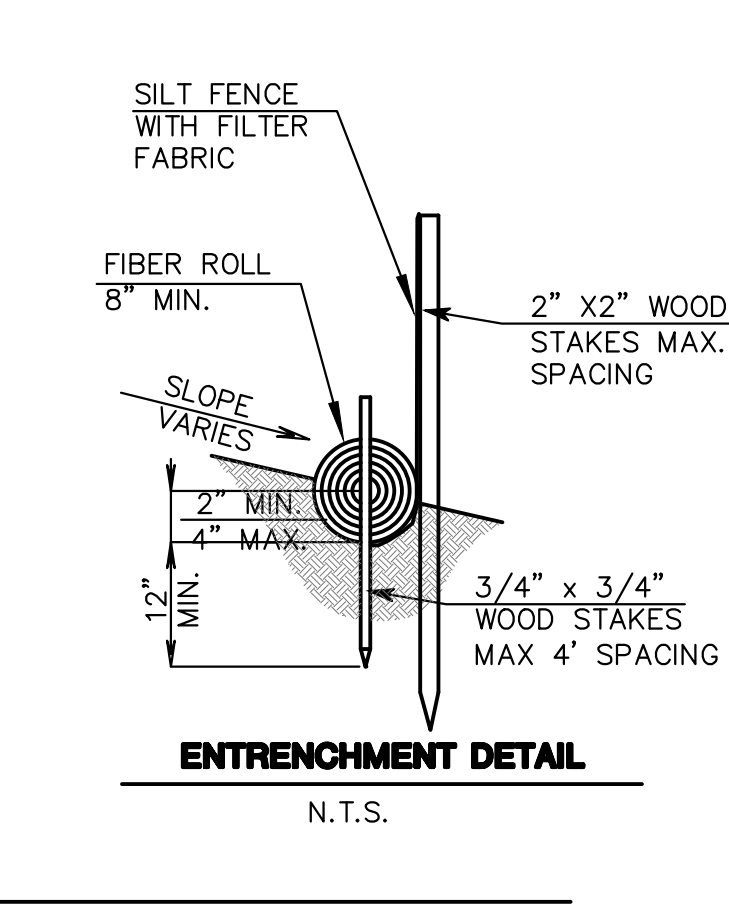
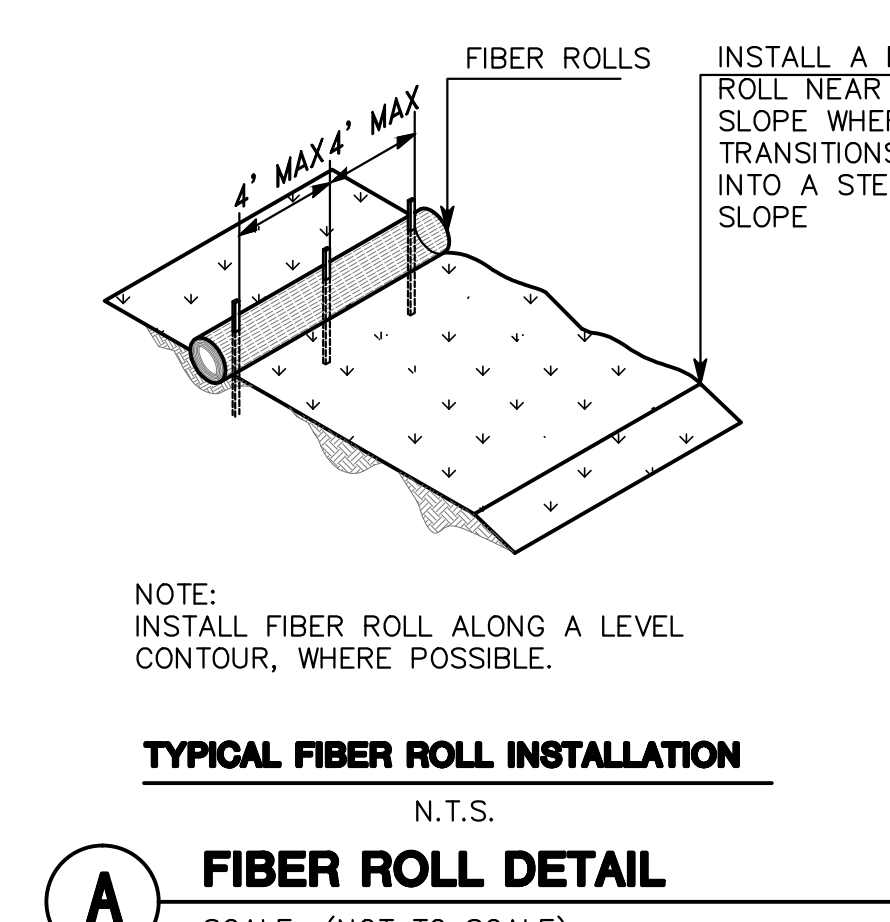
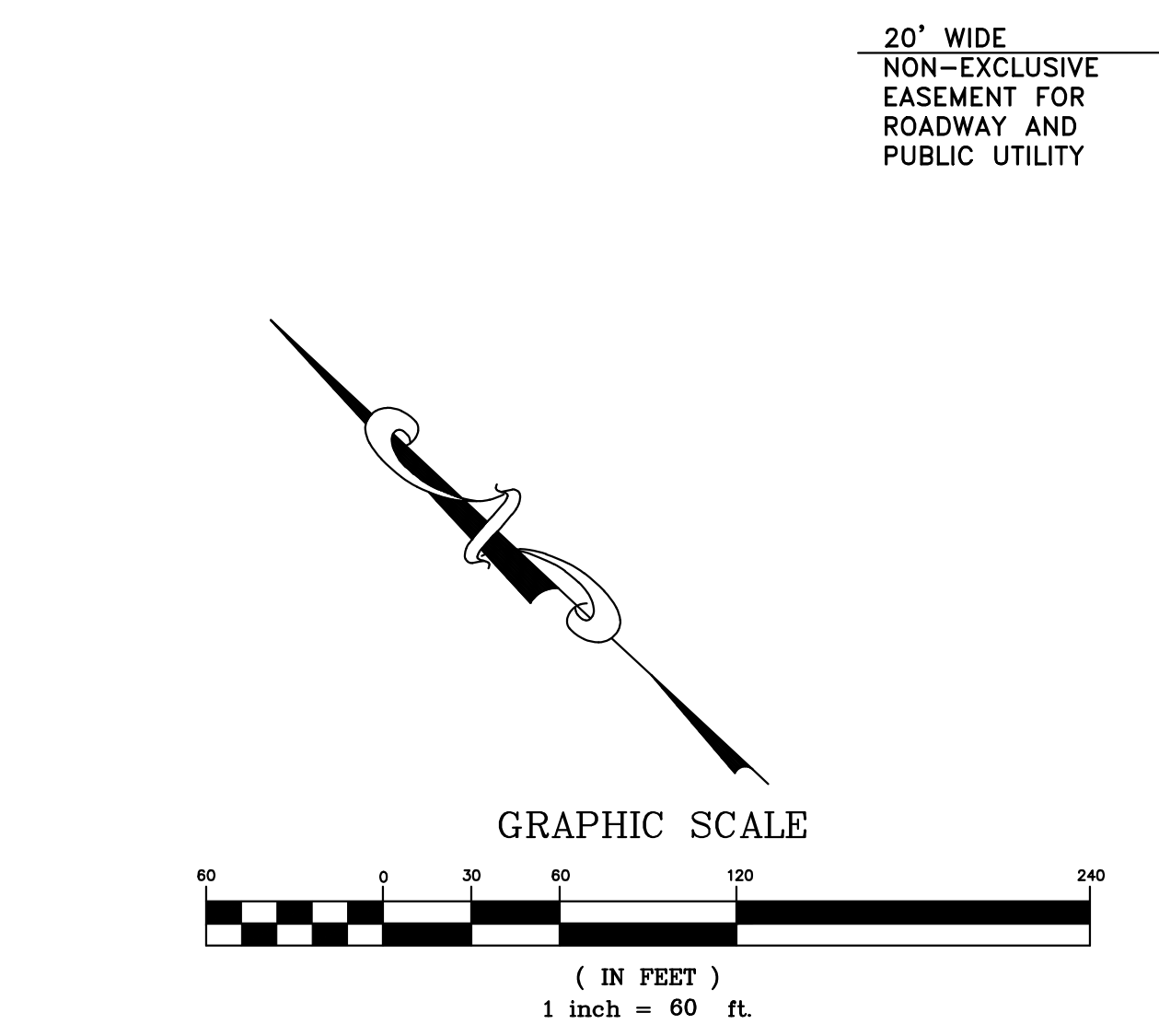
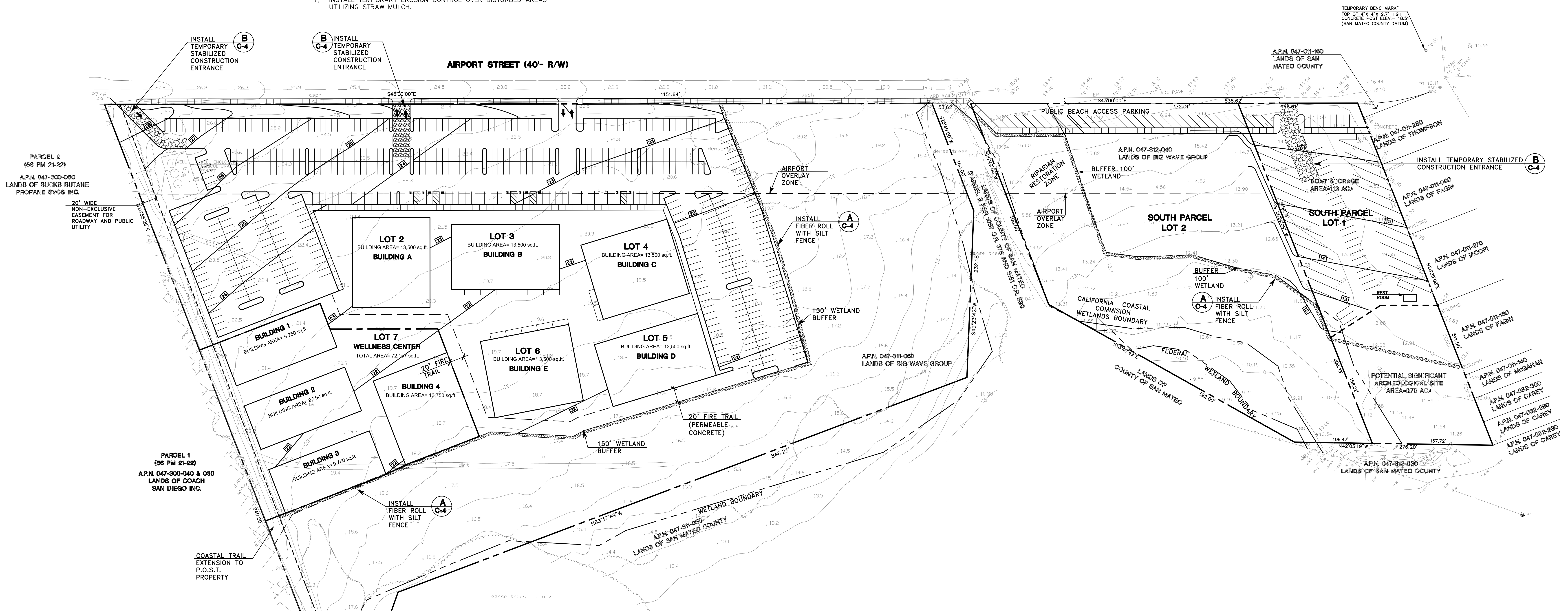
1. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 1-1/2 TO 3 INCH STONE.
2. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8 INCHES.
3. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
4. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8 INCHES.
5. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.
6. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS, OR OTHER APPROVED METHODS.
7. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

GENERAL EROSION CONTROL NOTES:

1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO SEDIMENTS.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE ALL YEAR LONG, UNTIL GRADING AND INSTALLATION OF STORM DRAINAGE AND PERMANENT EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, 4TH EDITION, DATED AUGUST 2002.
7. INSTALL TEMPORARY EROSION CONTROL OVER DISTURBED AREAS UTILIZING STRAW MULCH.

LEGEND:

CB	CATCH BASIN
FF	FINISHED FLOOR ELEVATION
FP	FINISHED PAVEMENT
FL	FLOWLINE
TC	TOP OF CURB
TG	TOP OF GRATE
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
INV.	INVERT
H.P.	HIGH POINT
G.B.	GRADE BREAK
JP	JOINT POINT
SS	NEW SANITARY SEWER LINE
SD	NEW STORM DRAIN LINE
G	GAS LINE
E	ELECTRIC LINE
W	WATER LINE
25	NEW CONTOUR LINE



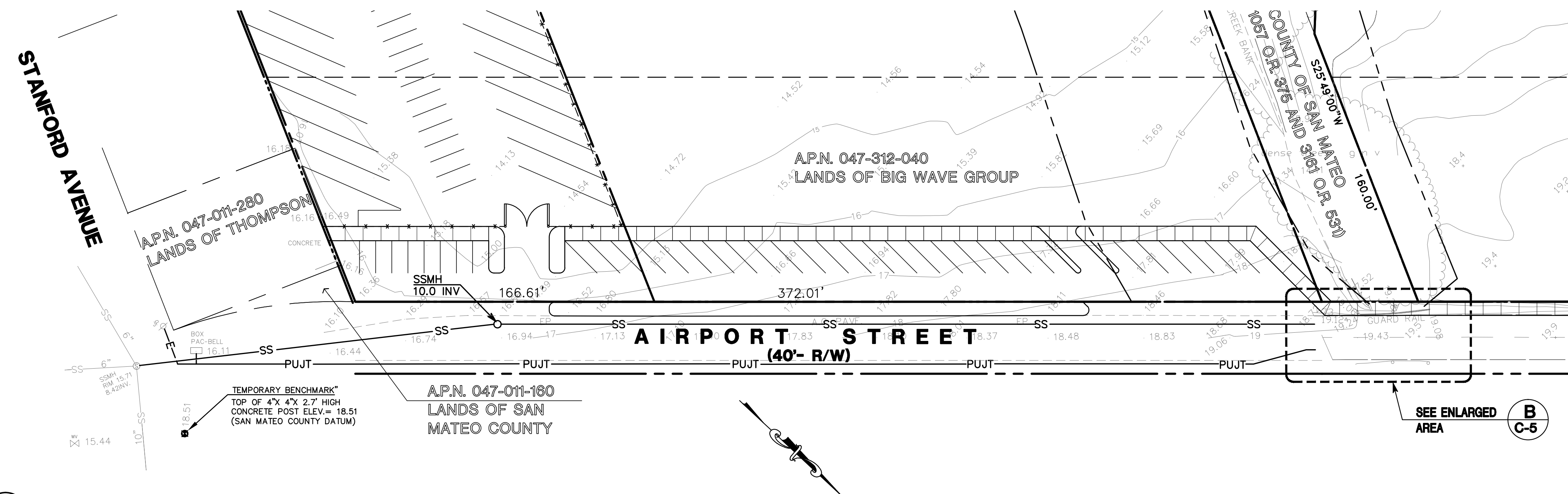
MACLEOD AND ASSOCIATES
 CIVIL ENGINEERING • LAND SURVEYING
 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8580

PROFESSIONAL SEAL: CIVIL No. 35048, STATE OF CALIFORNIA

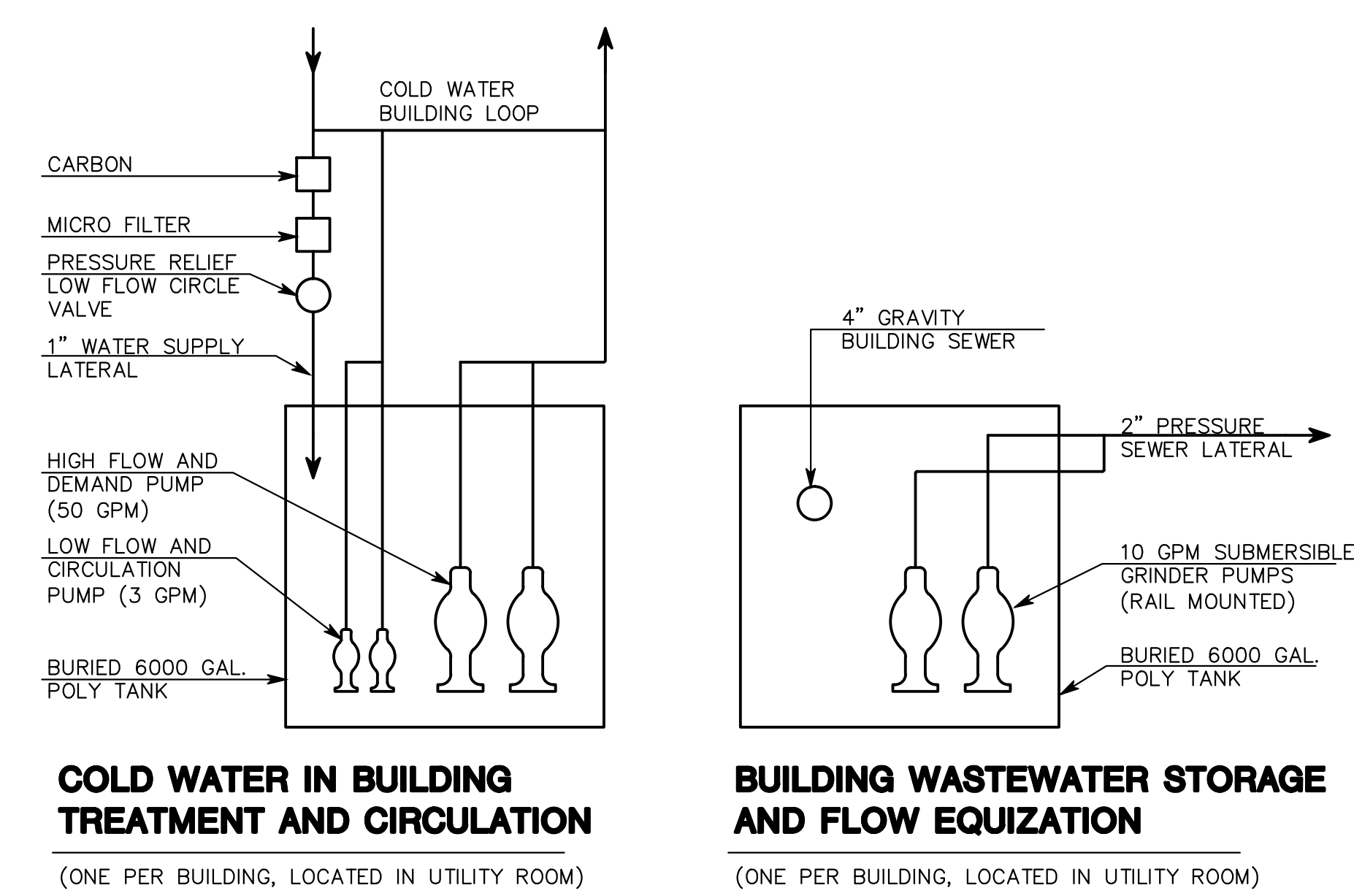
EROSION AND SEDIMENTATION CONTROL PLAN
 BEING A SUBDIVISION OF A.P.N. 047-311-060 AND 047-312-040
 AIRPORT STREET
 SAN MATEO COUNTY, CALIFORNIA

PREPARED FOR: BIG WAVE LLC

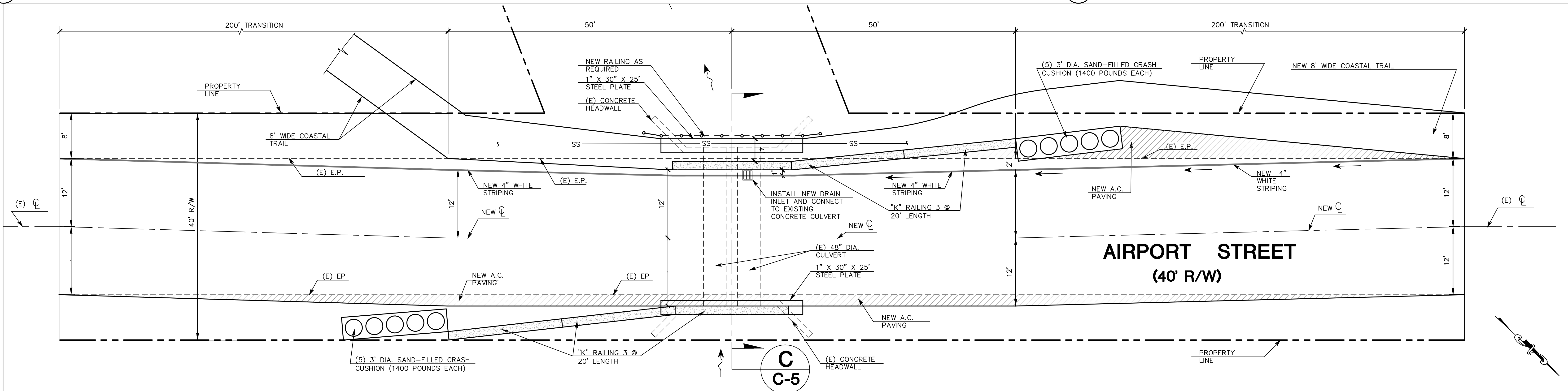
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 DESIGNED BY: VPG
 CHECKED BY: DGM
 SCALE: 1" = 60'
 DATE: 05/28/14
 DRAWING NO: 1608-00
 SHEET: C-4 OF 5



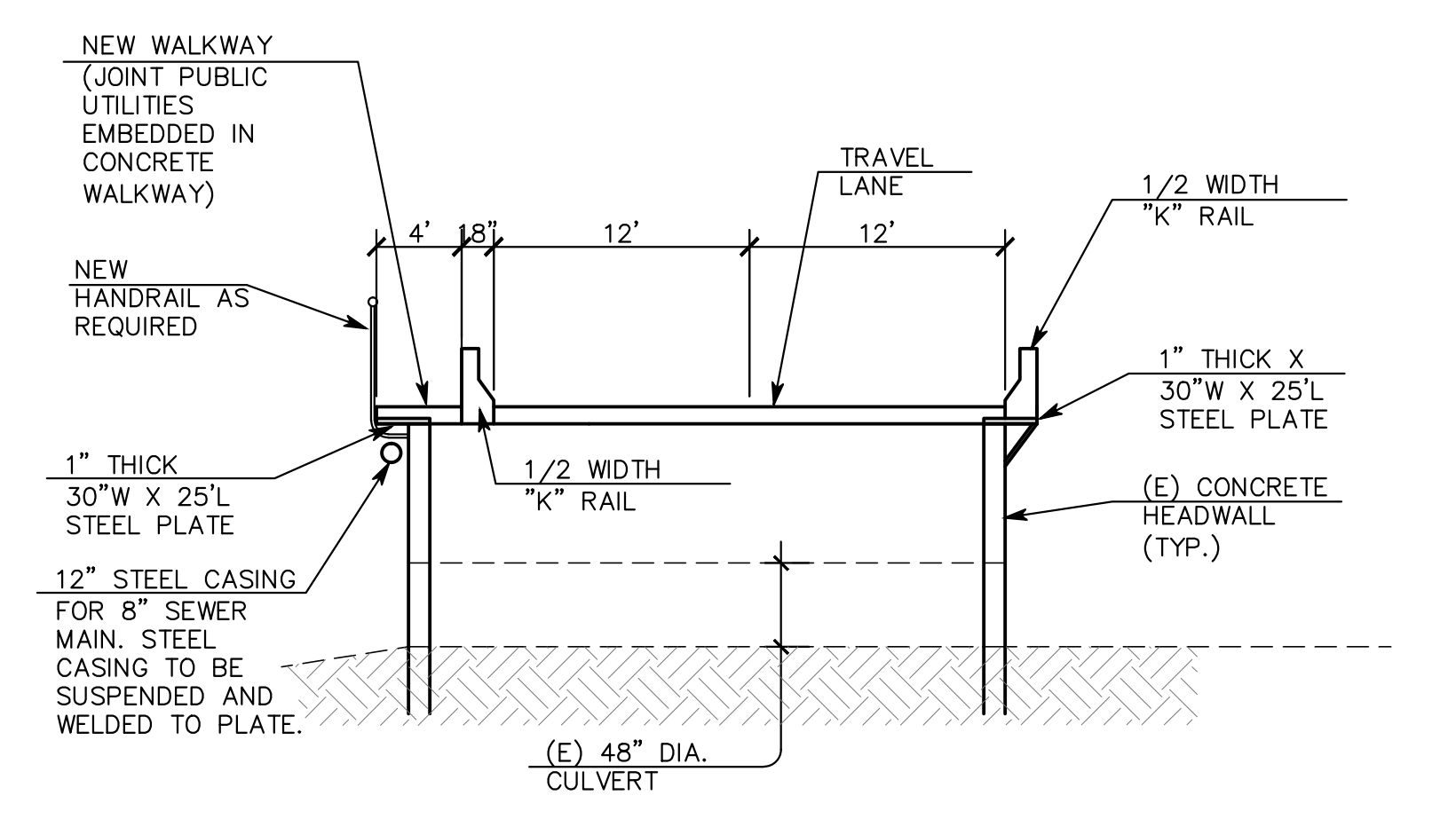
A UTILITY PLAN
NO SCALE



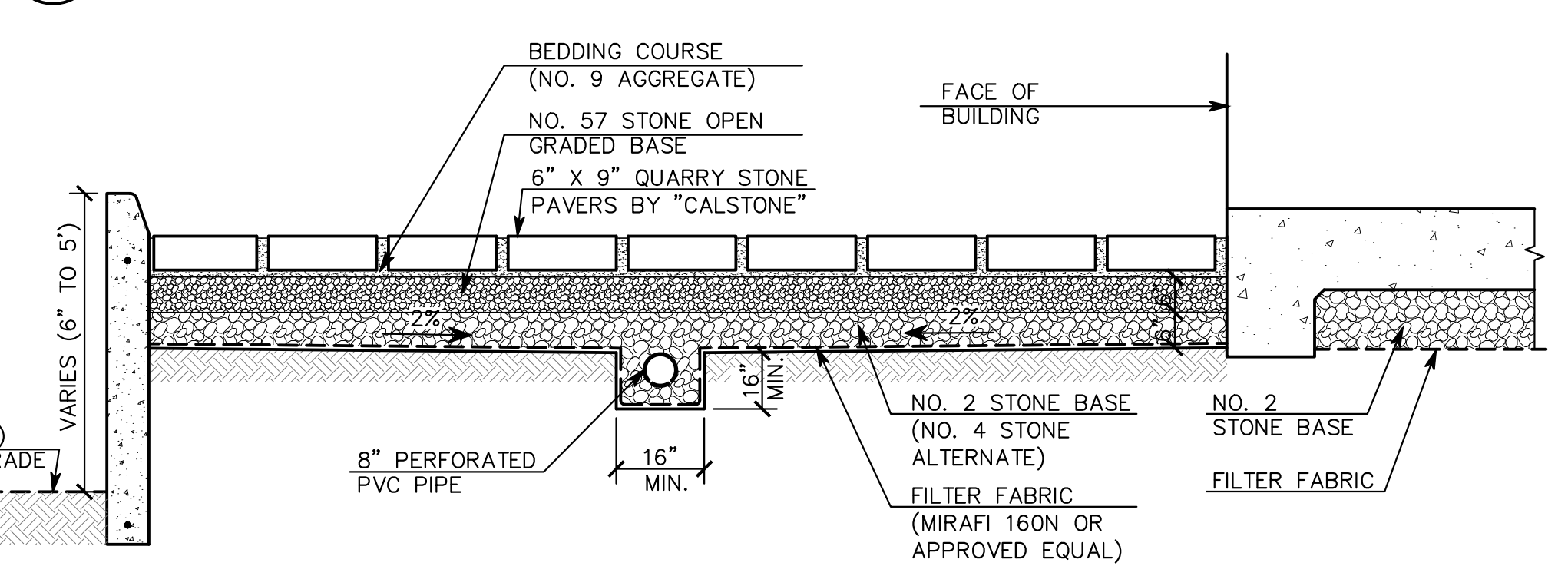
G WATER SUPPLY AND WASTEWATER SCHEMATIC DETAILS
SCALE: NOT TO SCALE



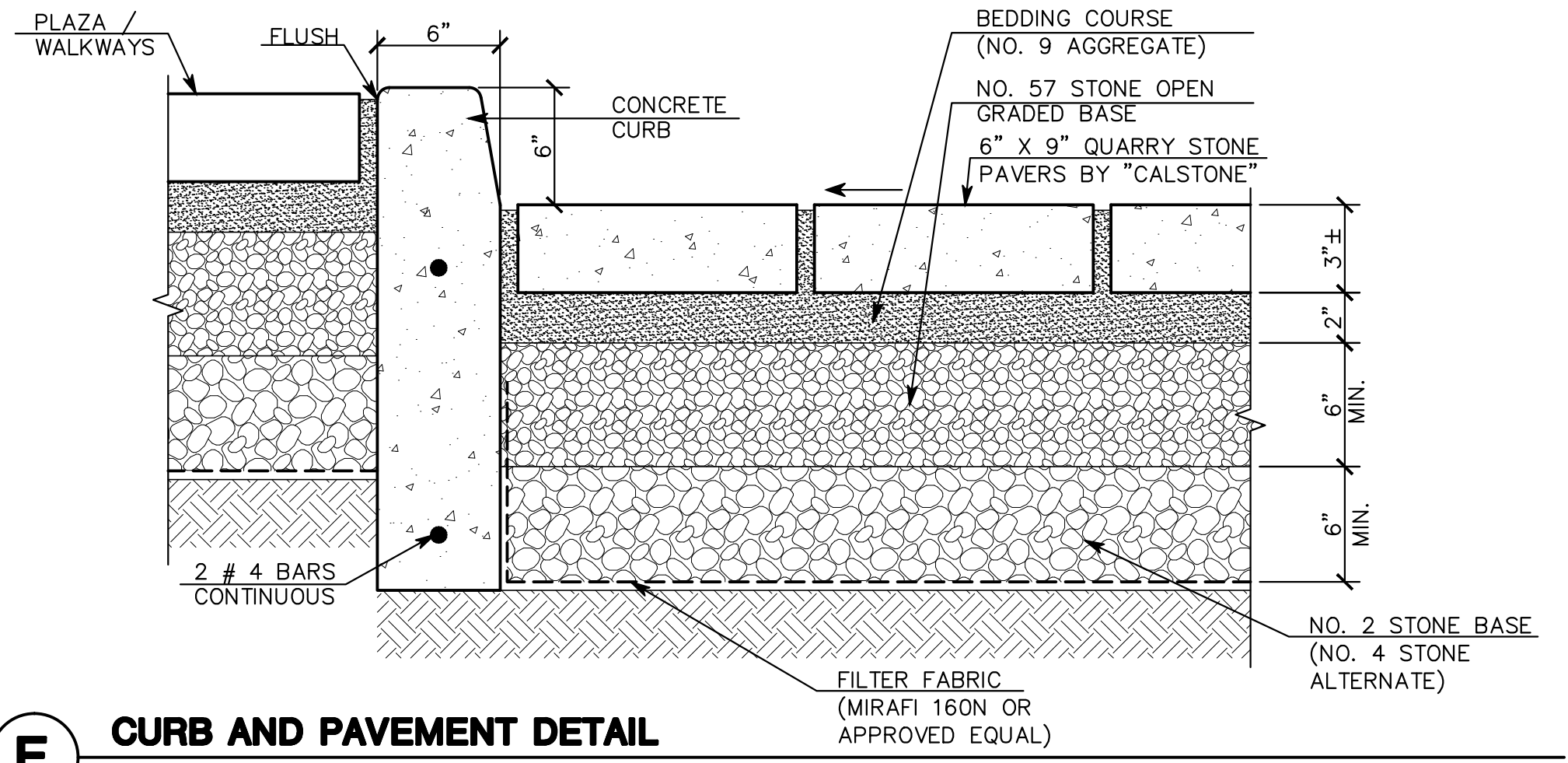
B ENLARGED AREA
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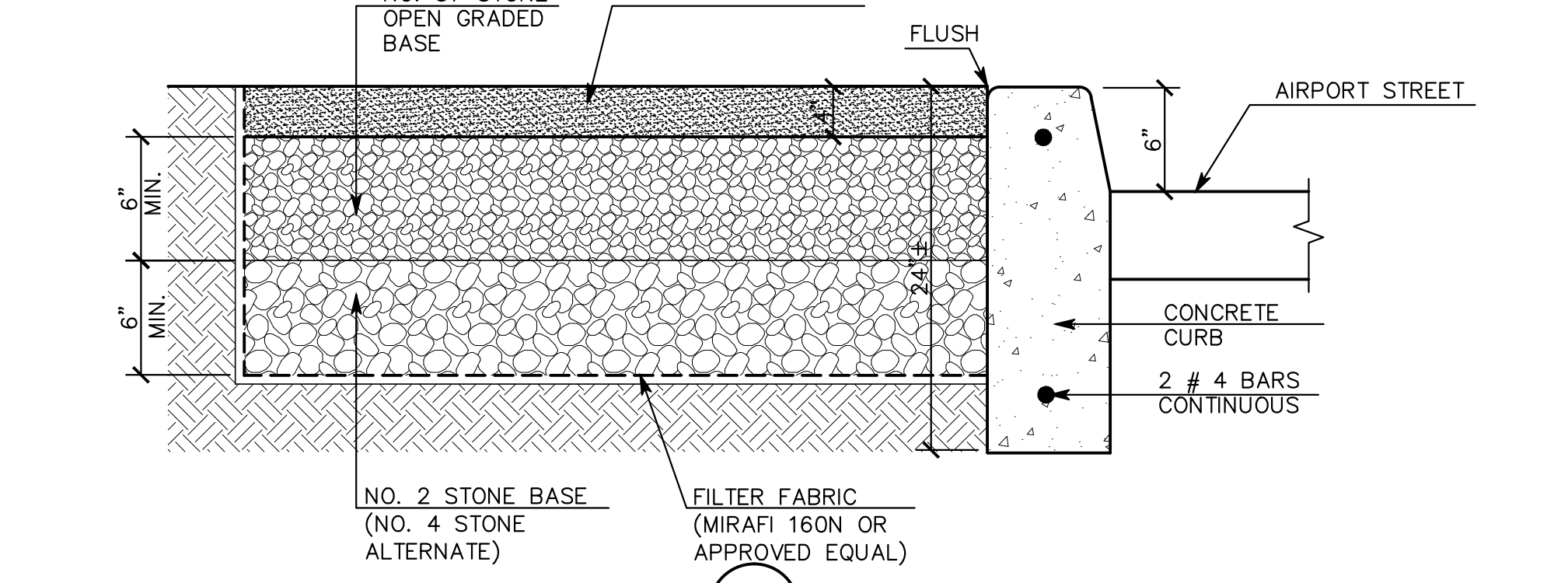
C SECTION
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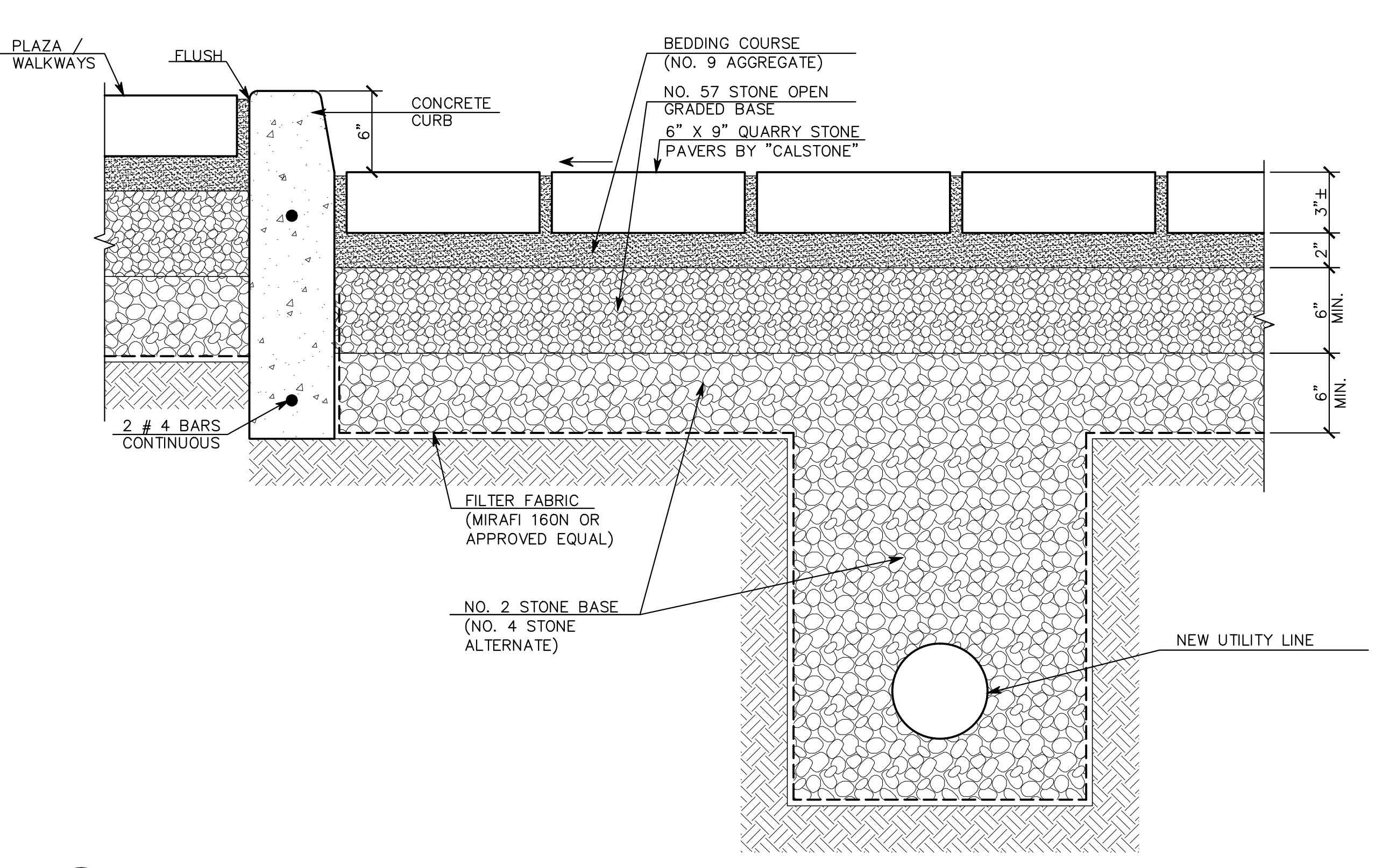
D TYPICAL SECTION
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E CURB AND PAVEMENT DETAIL
SCALE: NOT TO SCALE



F COASTAL TRAIL DETAIL
SCALE: NOT TO SCALE



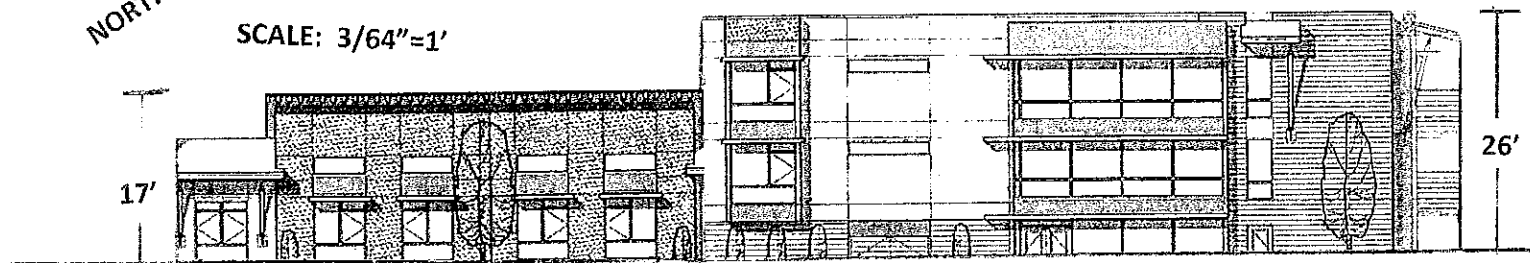
H UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE

DATE:	
BY:	
DESCRIPTION:	
REV:	
MACLEOD AND ASSOCIATES CIVIL ENGINEERING • LAND SURVEYING 965 CENTER STREET • SAN CARLOS • CA 94070 • (650) 593-8550	
PREPARED FOR:	BIG WAVE LLC
PREPARED FOR:	BIG WAVE LLC
CALIFORNIA	
BEING A SUBDIVISION OF A.P.N. 047-311-060 AND 047-312-040	
AIRPORT STREET	
SAN MATEO COUNTY	
PRINCETON BY THE SEA	
DRAWN BY:	AAP
DESIGNED BY:	VPG
CHECKED BY:	DGM
SCALE:	AS SHOWN
DATE:	05/28/14
DRAWING NO.	1608-00
SHEET	C-5
	5 OF 5

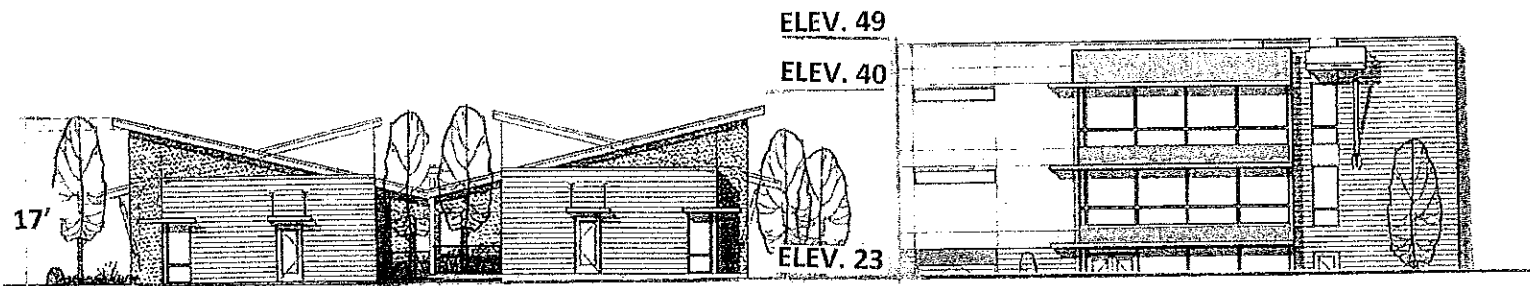
WELLNESS CENTER- BUILDING 1 (GYM AND BASKETBALL)



SCALE: 3/64"=1'

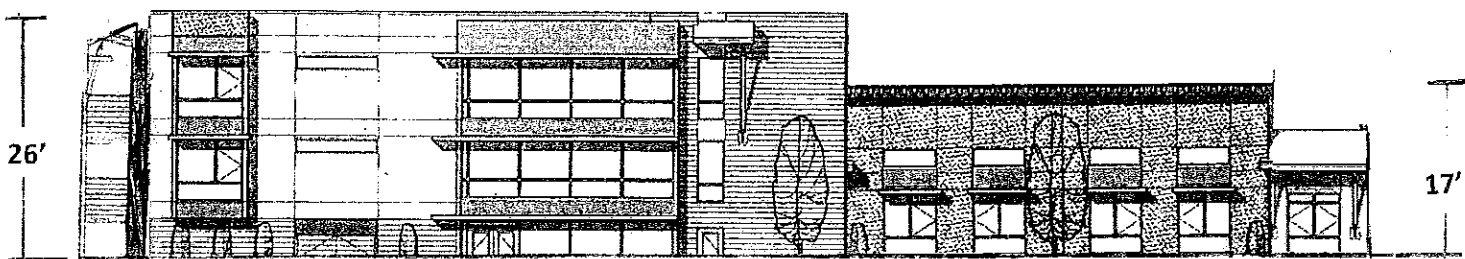


SOUTH ELEVATION

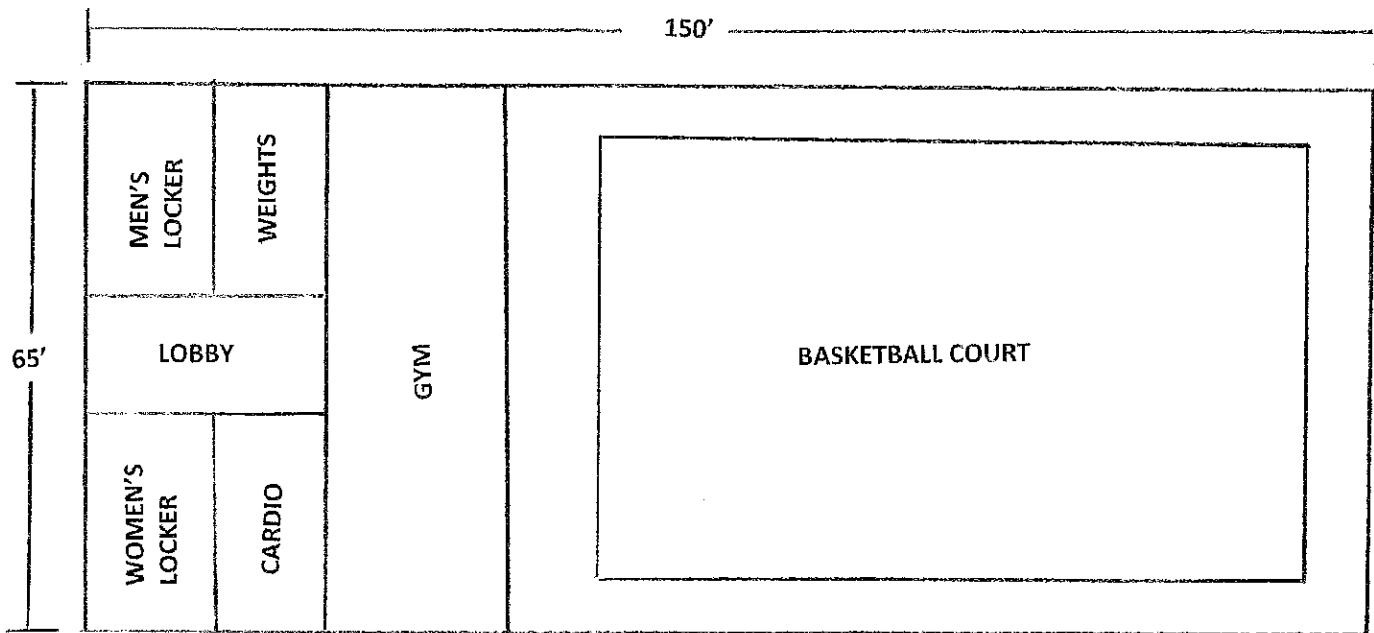


WEST ELEVATION

EAST ELEVATION



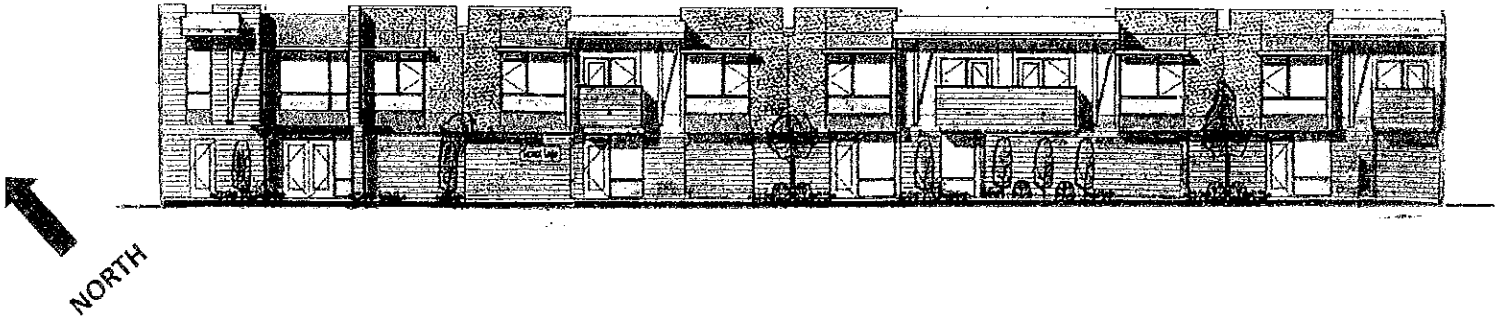
NORTH ELEVATION



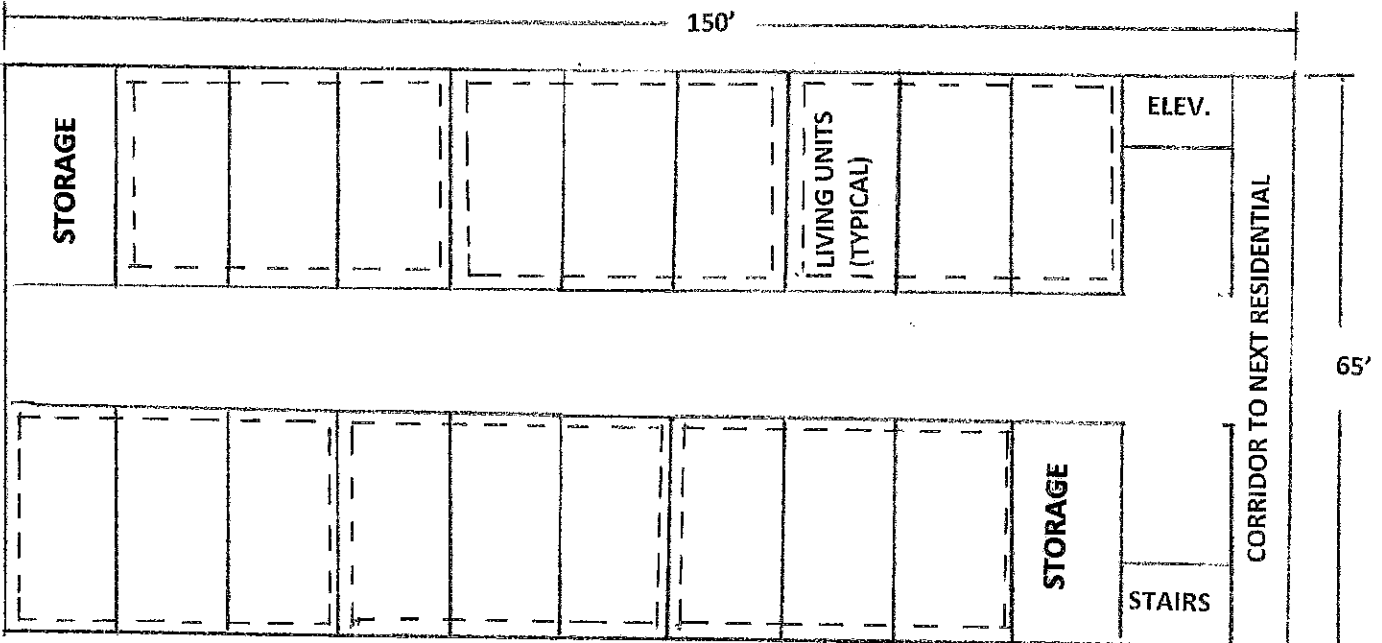
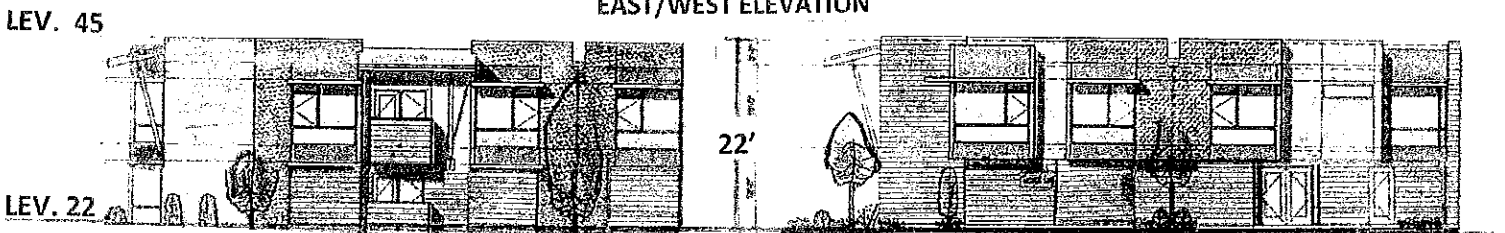
WELLNESS CENTER- BUILDING 2

(13 RESIDENTIAL UNITS)

NORTH/SOUTH ELEVATION



EAST/WEST ELEVATION



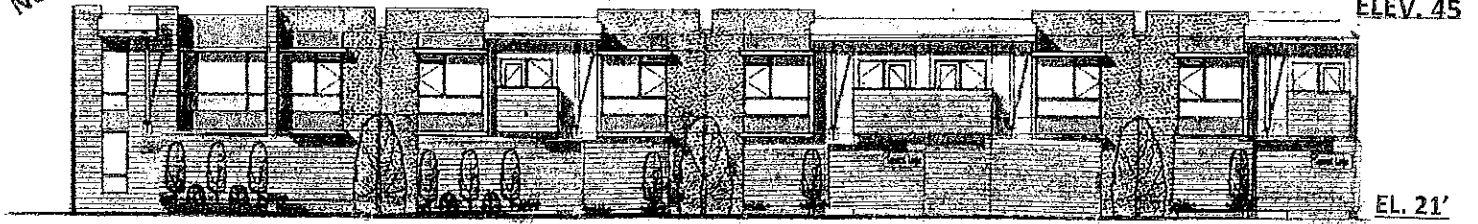
FLOOR PLAN FOR BUILDING 2 AND 3



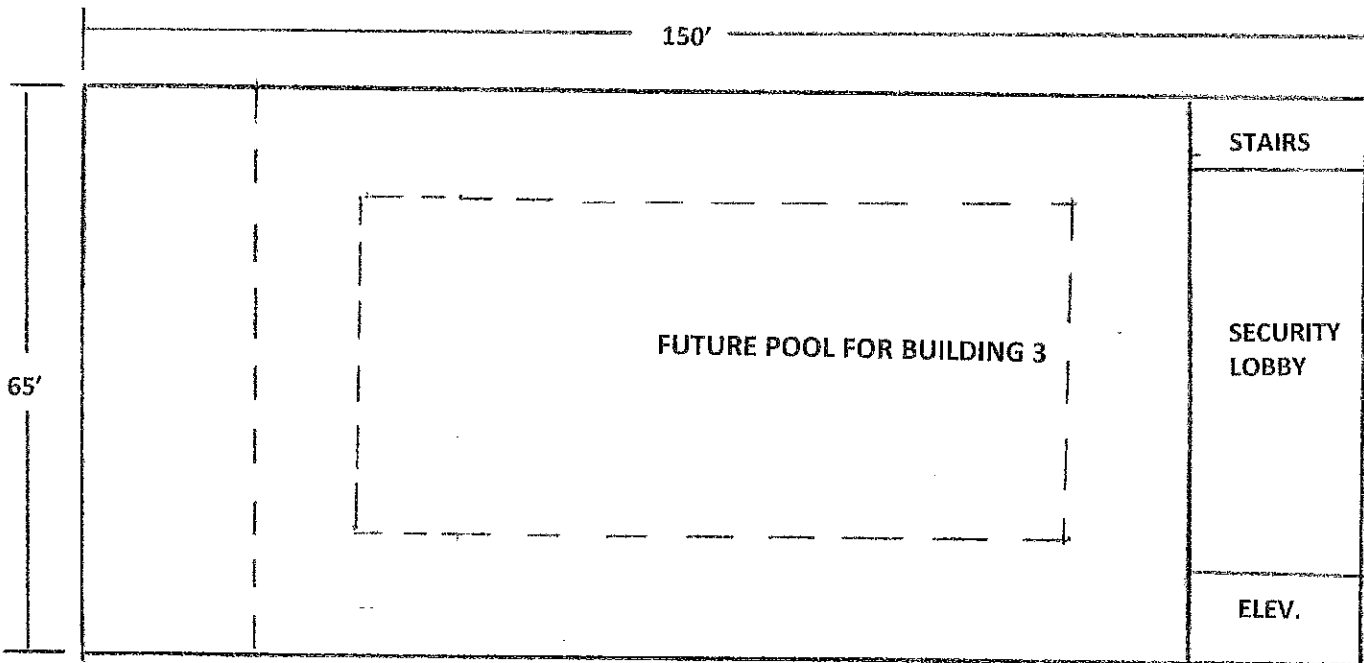
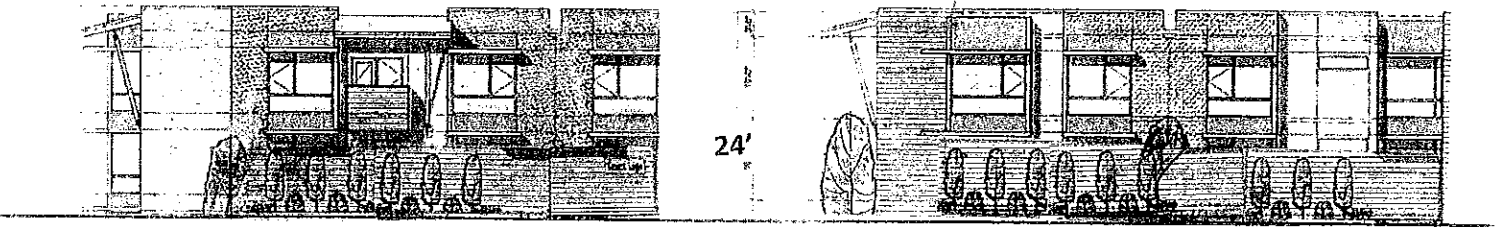
WELLNESS CENTER- BUILDING 3

(13 RESIDENTIAL UNITS)

NORTH/SOUTH ELEVATION



EAST/WEST ELEVATION



BASEMENT (FOR STORAGE) FOR BUILDING 2 AND 3

WELLNESS CENTER-BUILDING 4

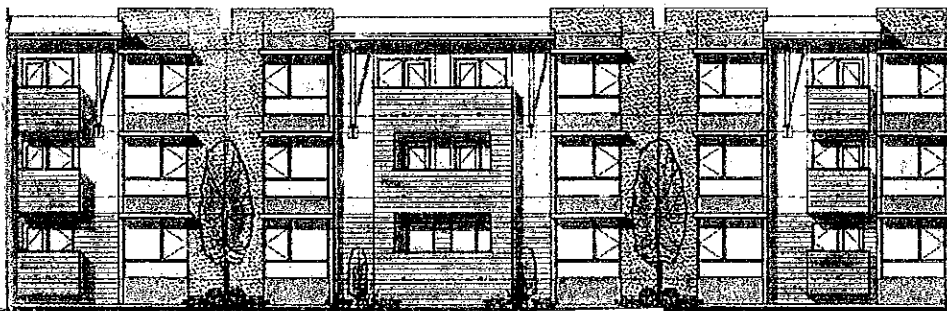
(30 RESIDENTIAL UNITS)



NORTH/SOUTH ELEVATION

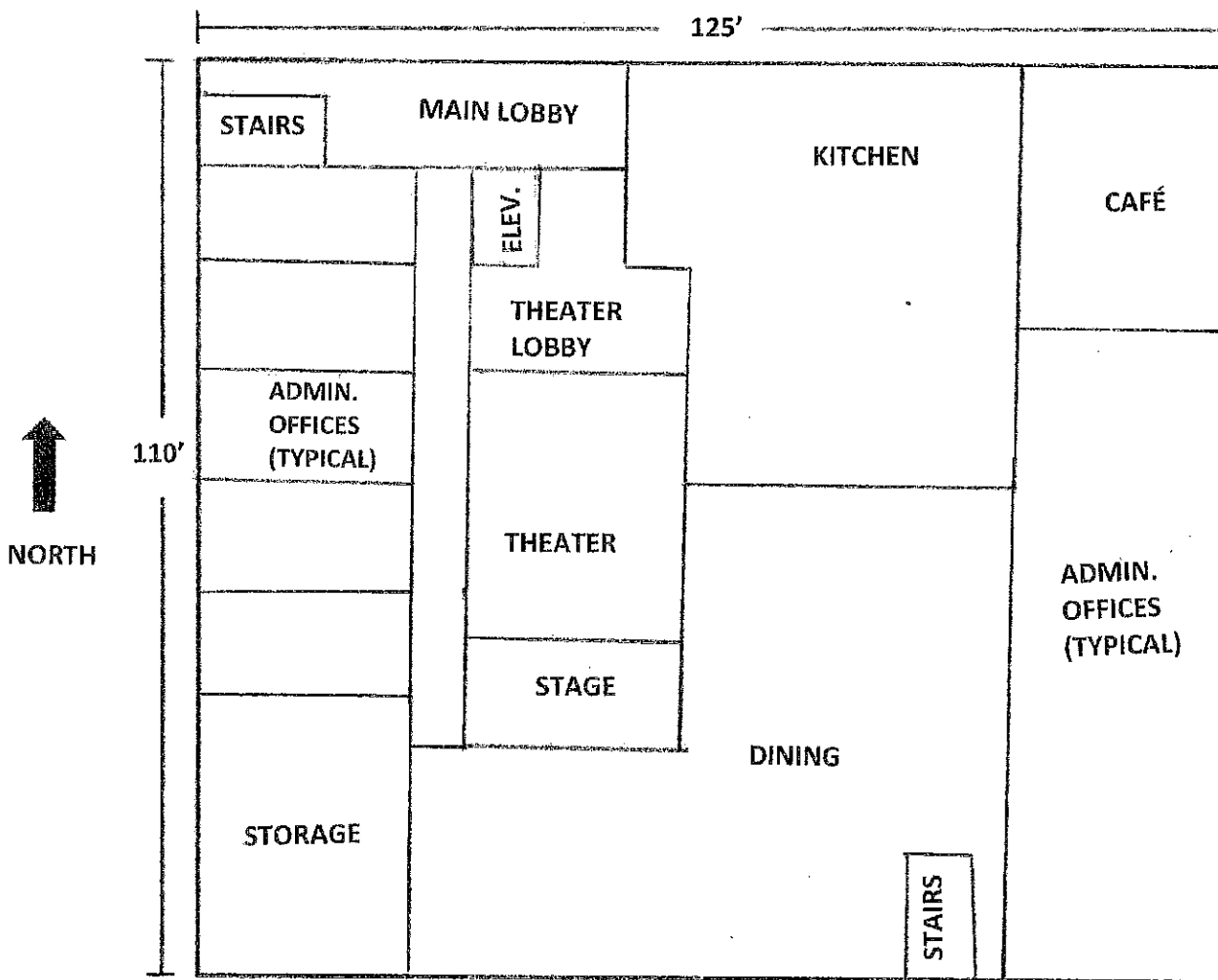
EL. 54'

33'



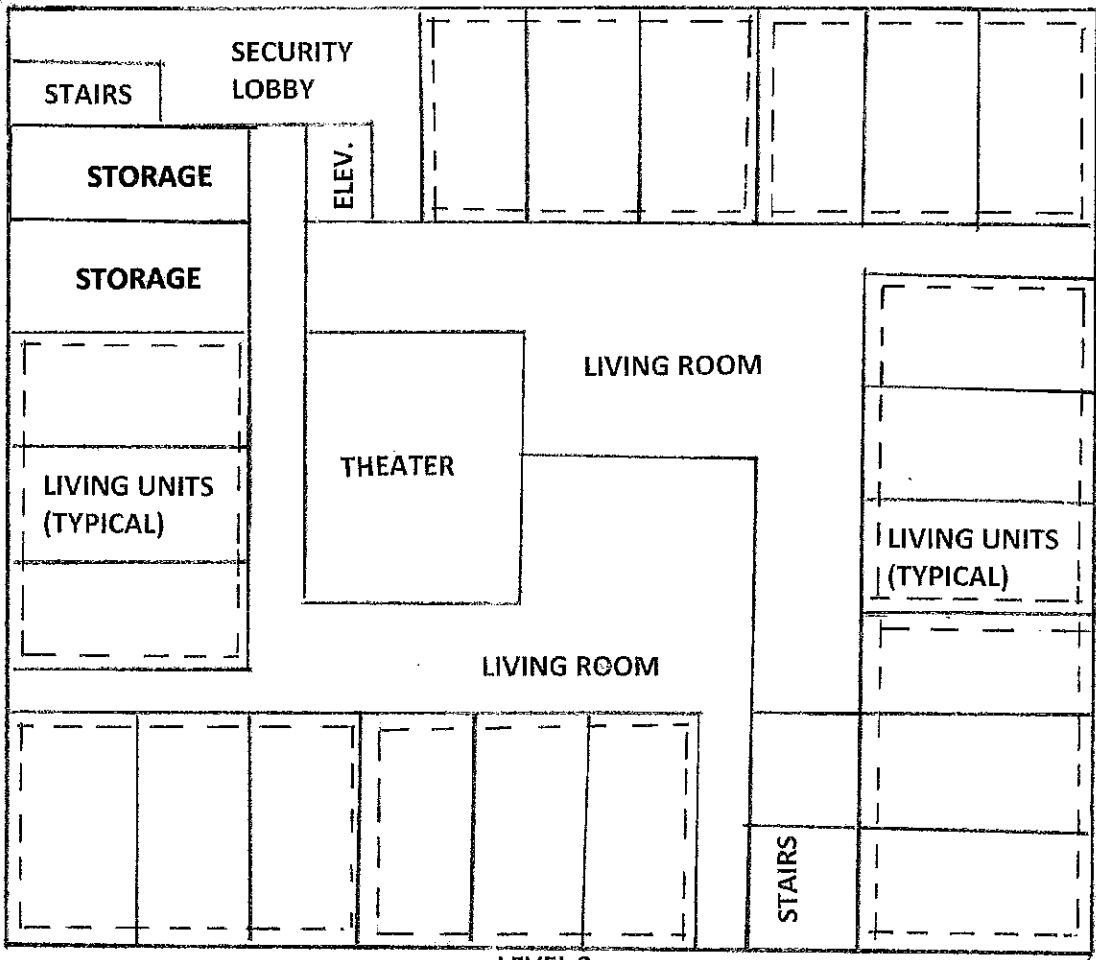
EL. 21'

EAST/WEST ELEVATION



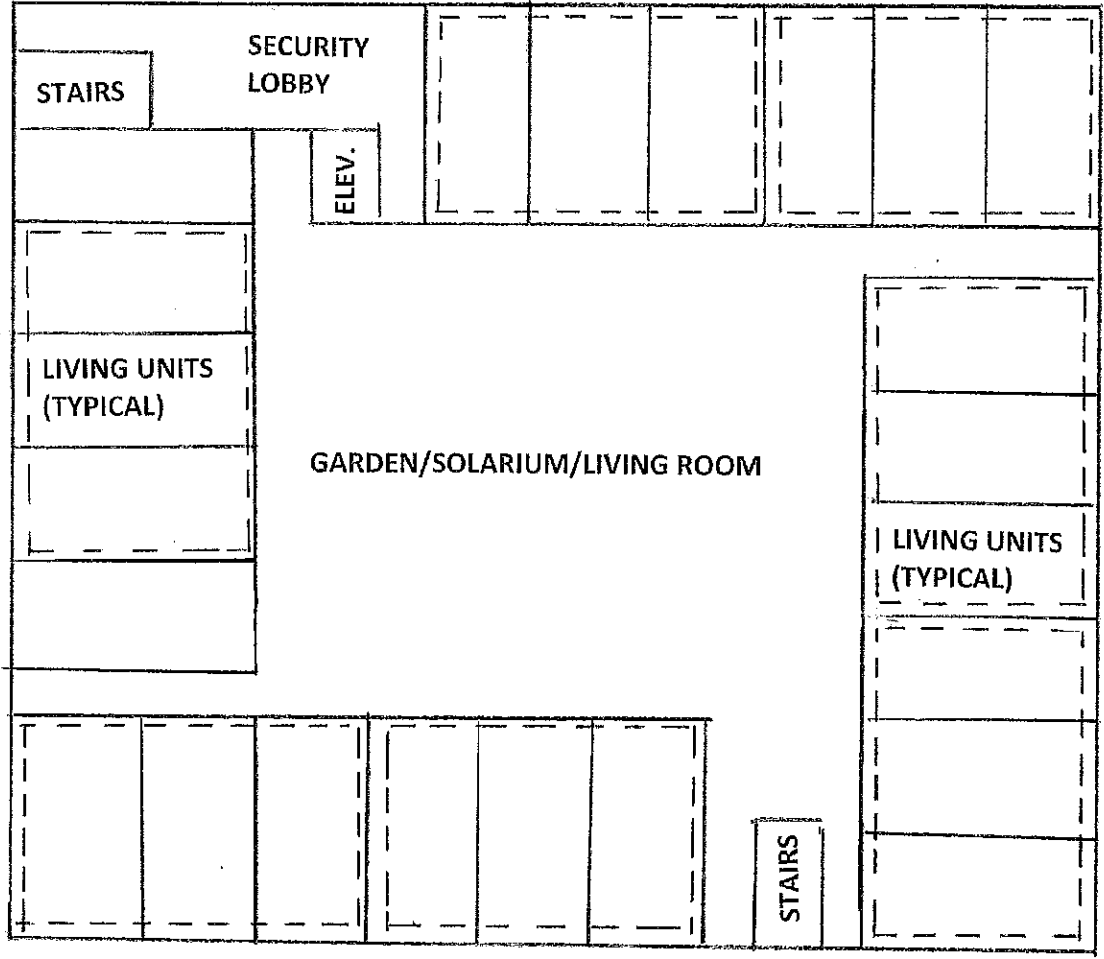
BASEMENT

SCALE: 3/64"=1'



WELLNESS CENTER
BUILDING 4 - 2ND LEVEL

Building 4



WELLNESS CENTER
BUILDING 4 - 3RD LEVEL

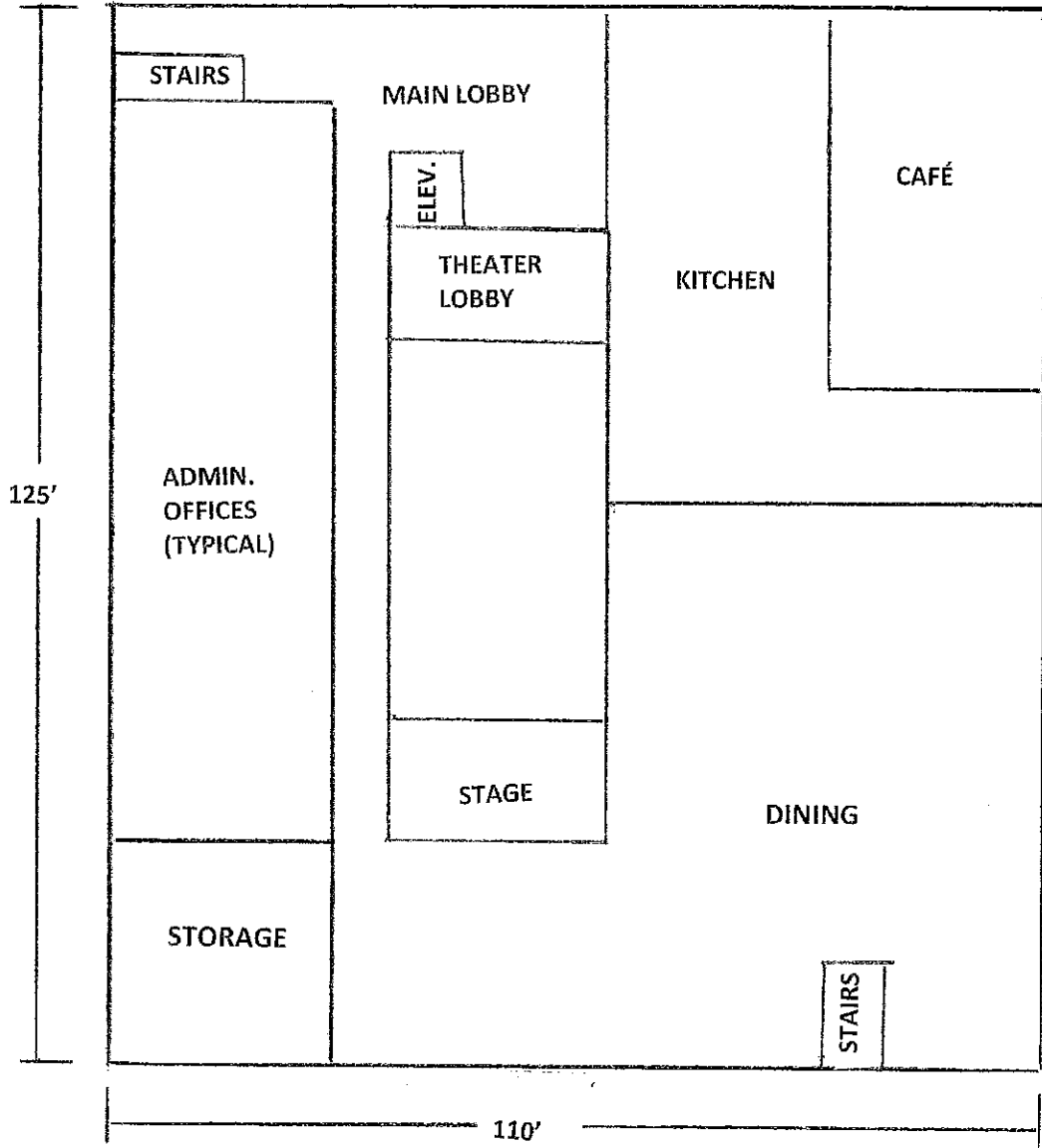
SCALE: 3/64"=1'

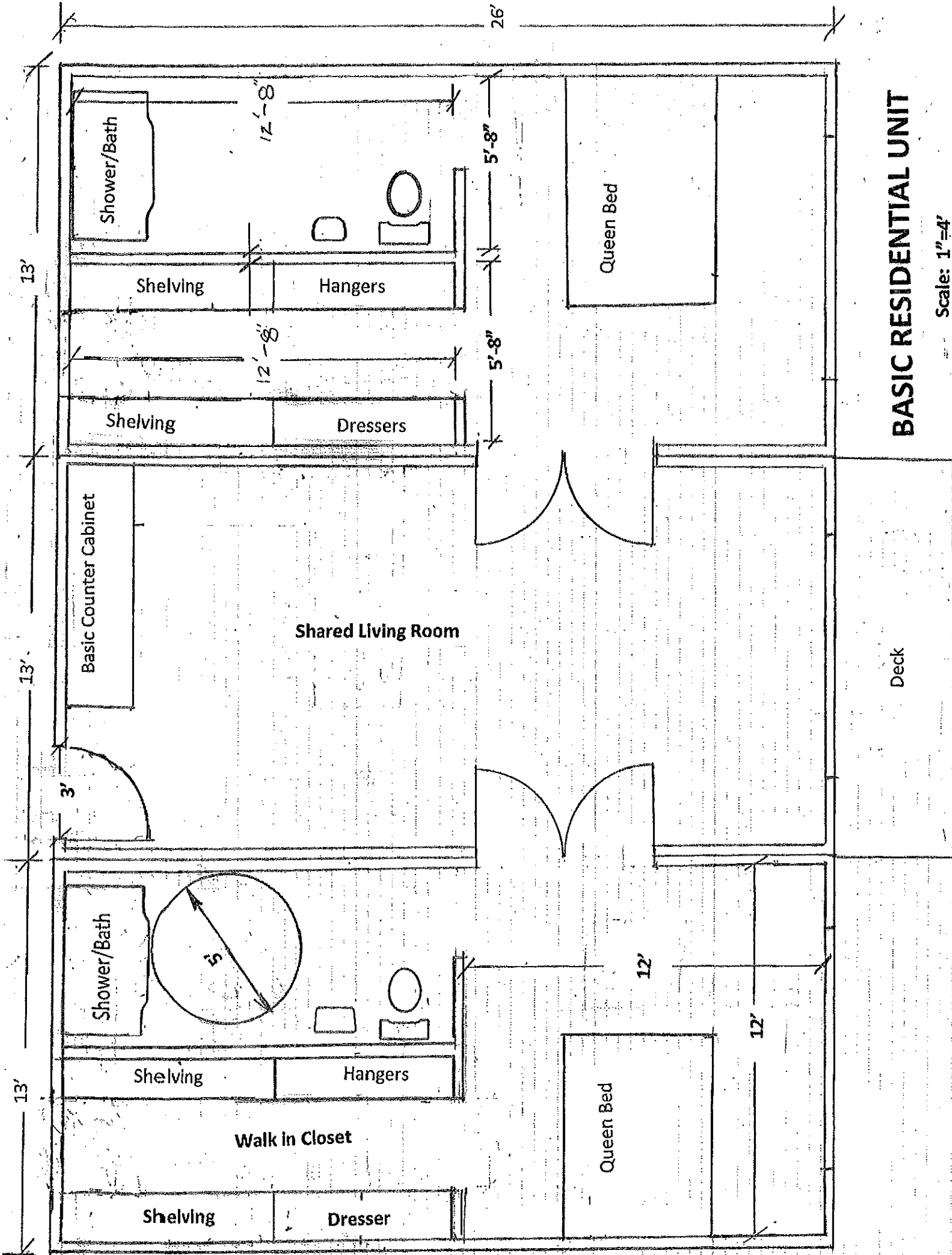
LEVEL 3

WELLNESS CENTER BUILDING 4

(OPTION 2: ROTATED FLOOR PLAN)

SCALE: 3/64"=1'





BASIC RESIDENTIAL UNIT

Scale: 1"=4'

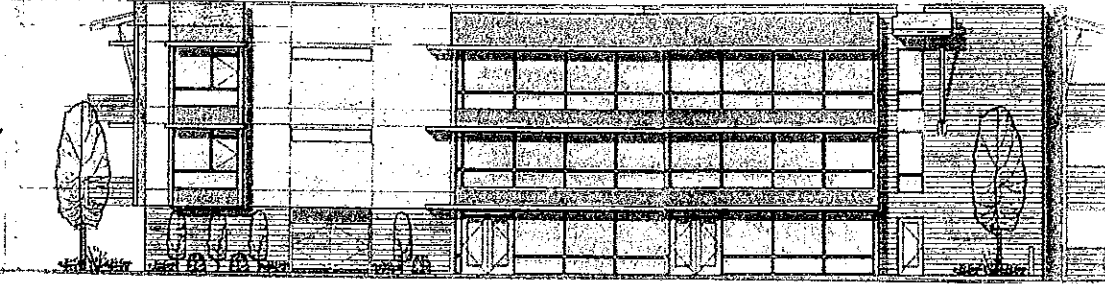
BUSINESS BUILDINGS A, C, E



NORTH/SOUTH ELEVATION

EL. 54'

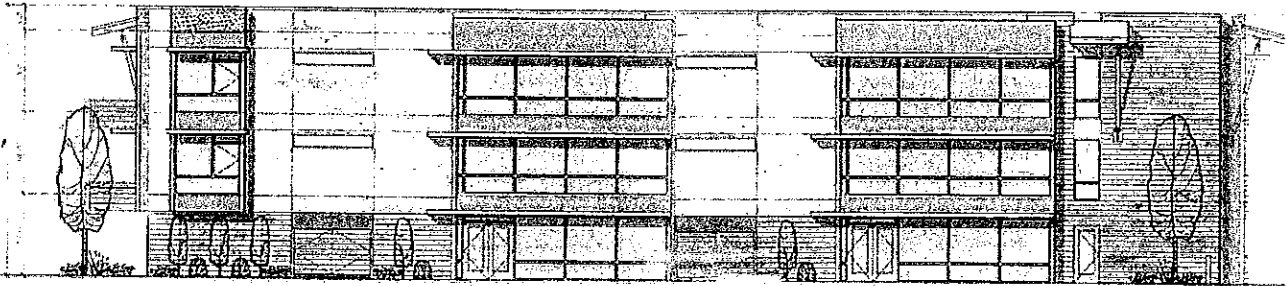
33'



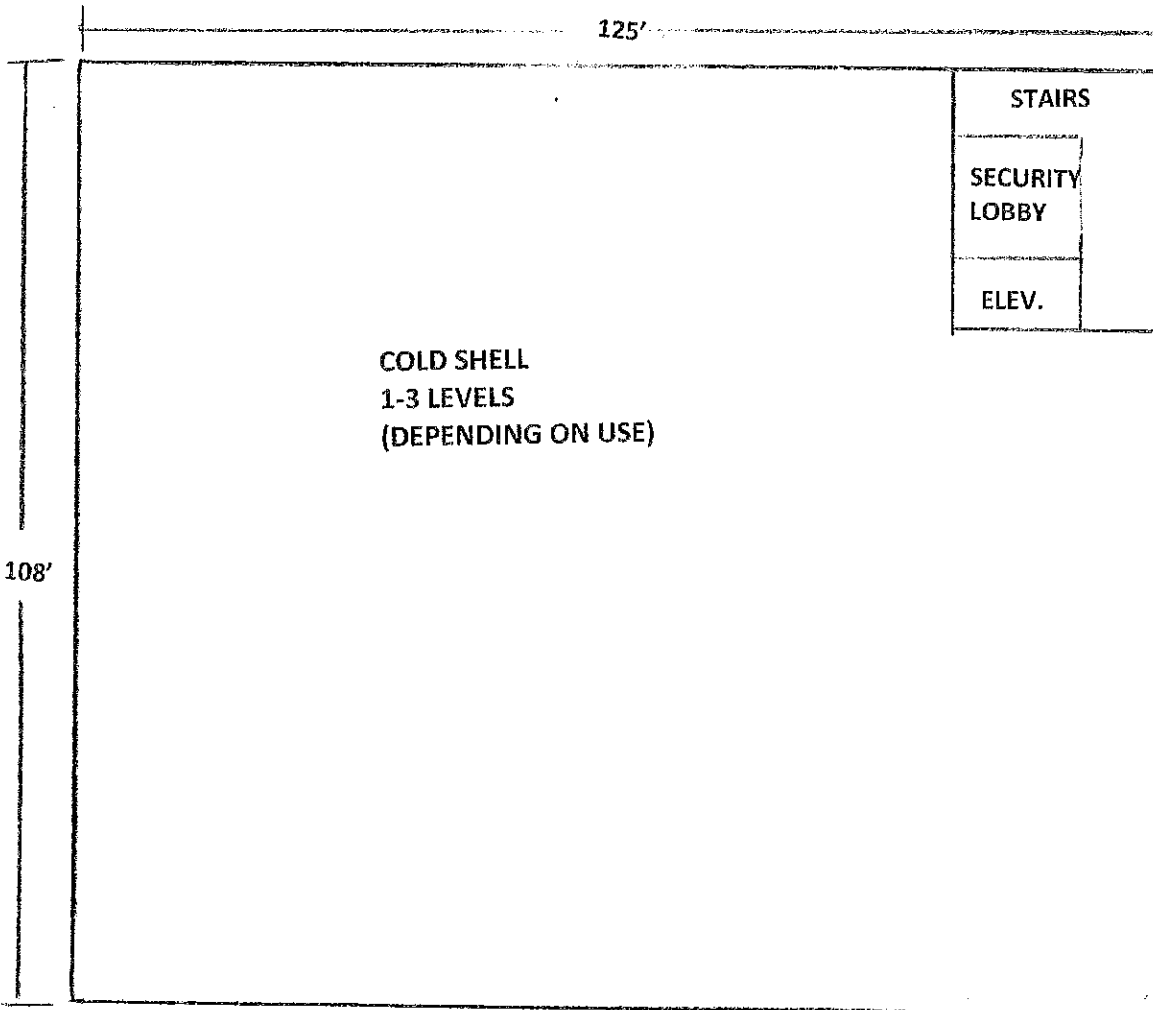
EL. 21'

EAST/WEST ELEVATION

33'

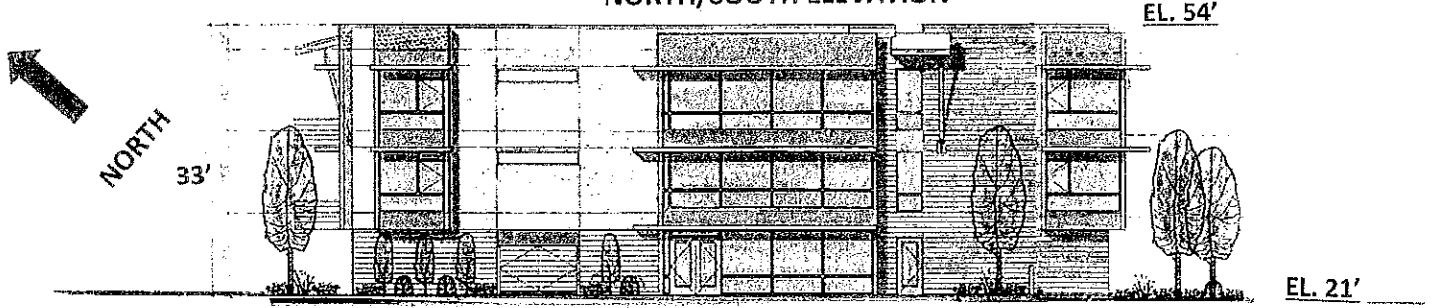


125'

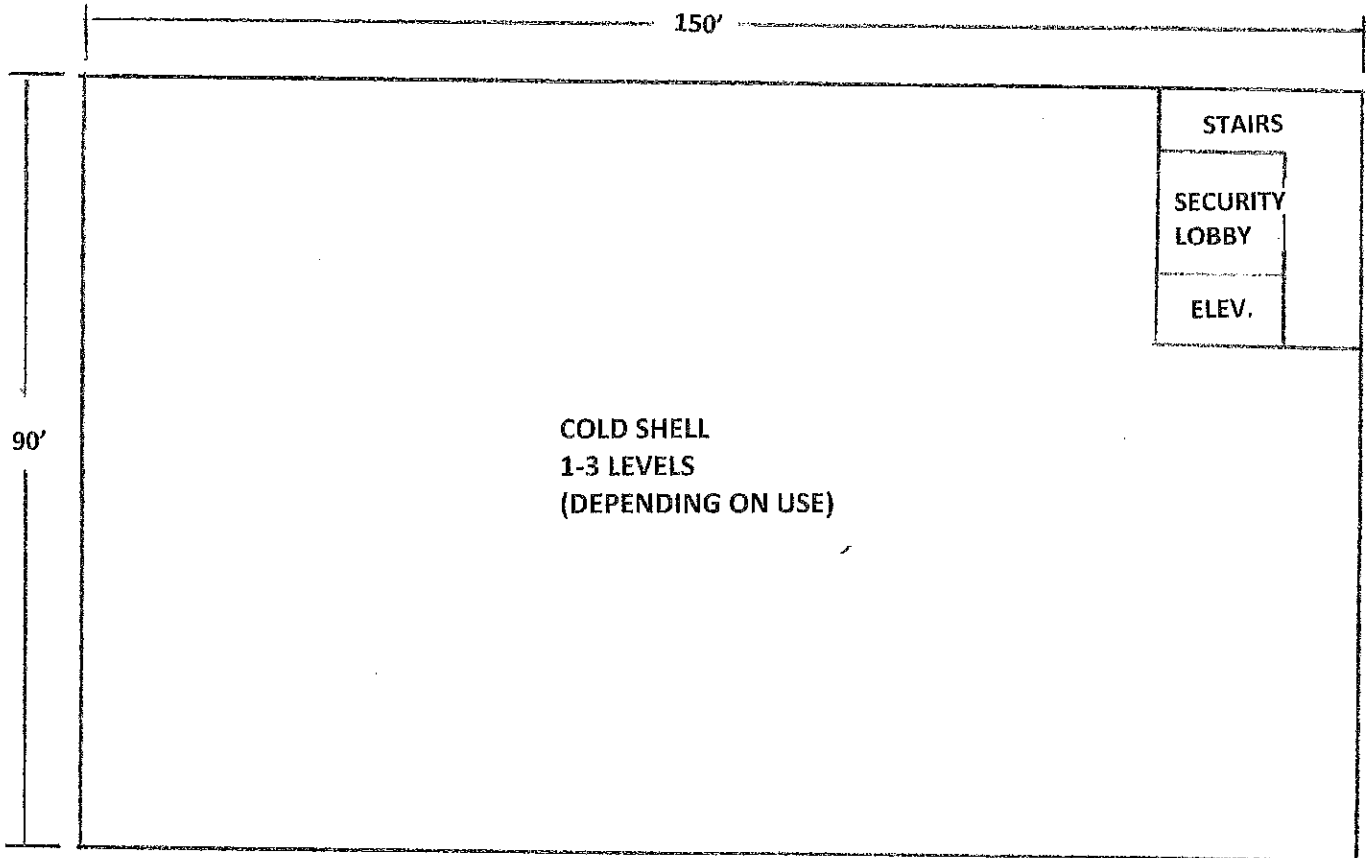
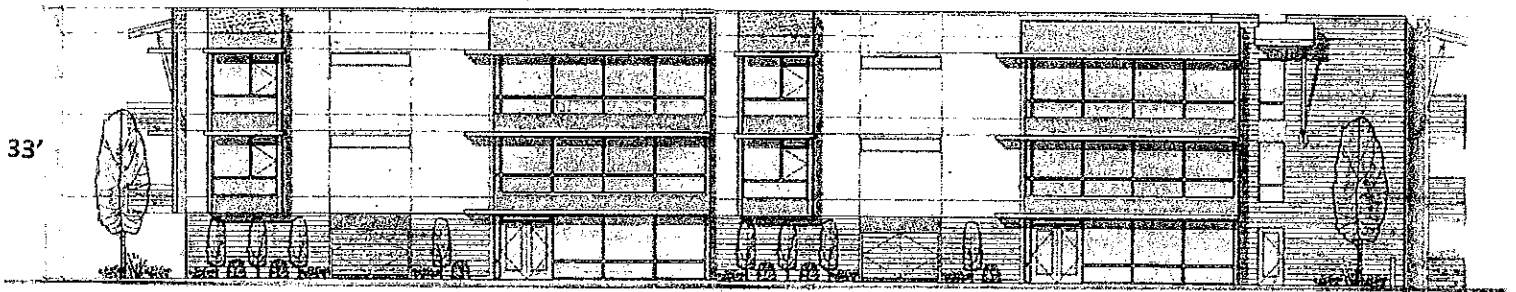


BUSINESS BUILDINGS B, D

NORTH/SOUTH ELEVATION



EAST/WEST ELEVATION

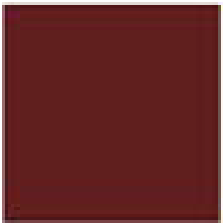




Bay Ridge
81593 (32)
Base 100



Southern Moss
696 (42)
Base 200



Country Lane Red
Shake



Peacock Plume (KM)

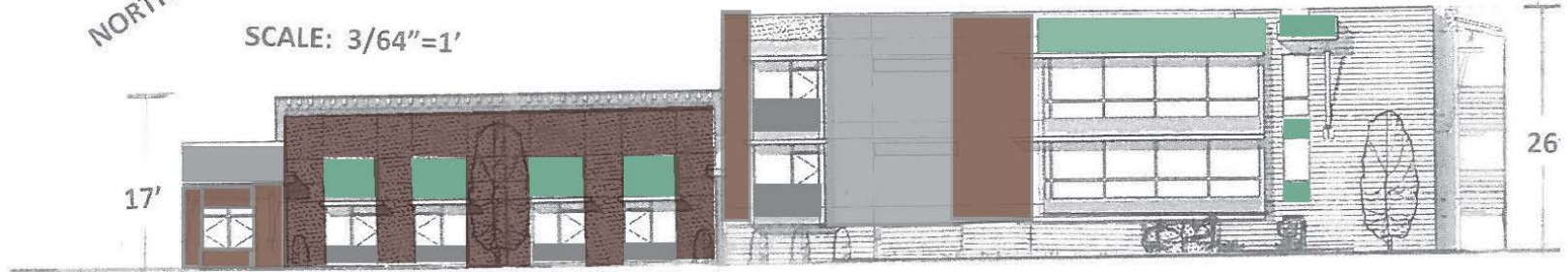


Timber Bark
Natural Wood Siding

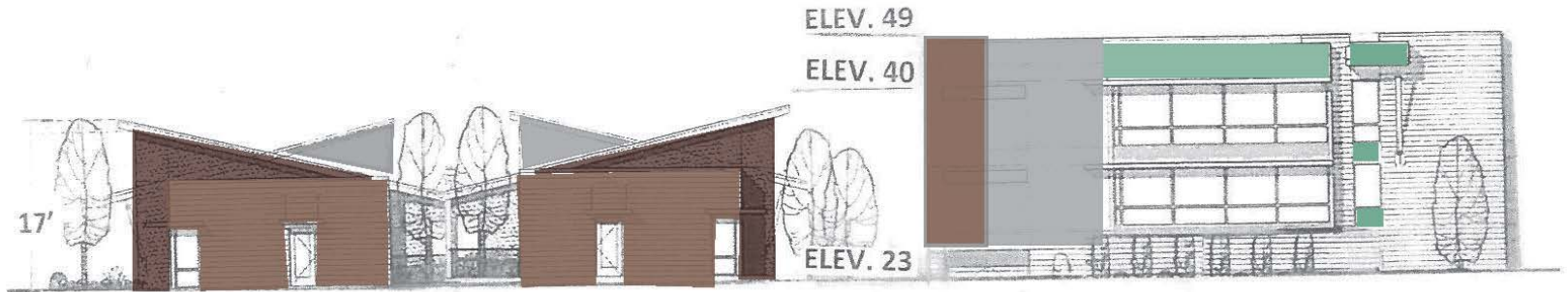
WELLNESS CENTER- BUILDING 1 (GYM AND BASKETBALL)



SCALE: 3/64"=1'



SOUTH ELEVATION



WEST ELEVATION

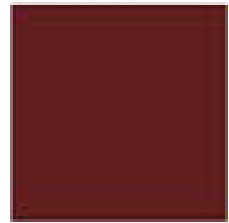
EAST ELEVATION



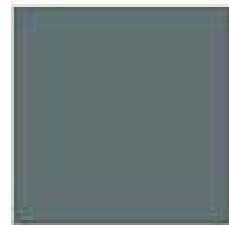
Bay Ridge
81593 (32)
Base 100



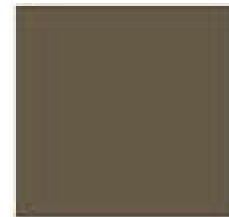
Southern Moss
696 (42)
Base 200



Country Lane Red
Shake



Boothbay Blue
Plank

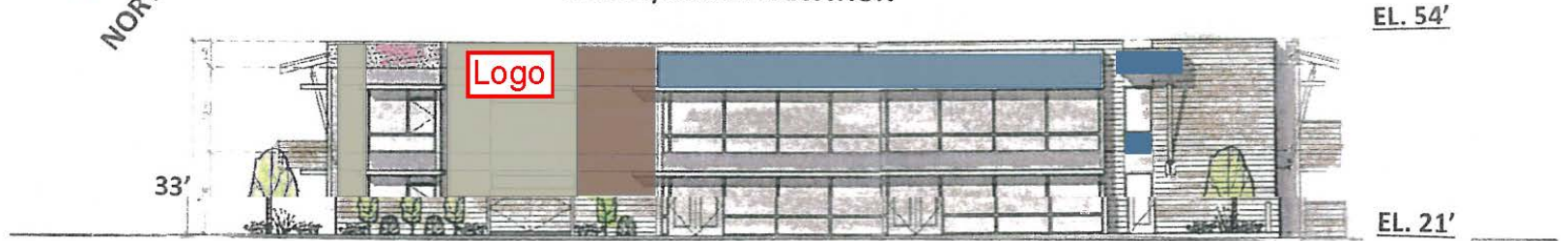


Timber Bark
Natural Wood Siding

BUSINESS BUILDING A



NORTH/SOUTH ELEVATION



EAST/WEST ELEVATION



BIG WAVE LANDSCAPE PLANTING TABULATIONS

Upland I - Upland Forest (UPI)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Unit Total
Trees					
<i>Acer macrophyllum</i>	70	25	34624	0.79	56
<i>Aesculus californica</i>	10	65	34624	0.79	8
<i>Alnus rubra</i>	70	25	34624	0.79	56
Scrubs and Vines					
<i>Rhamnus californica</i>	10	65	34624	0.79	8
<i>Ribes sanguineum var. glutinosum</i>	10	65 ft clumped	34624	0.79	8
<i>Rosa californica</i>	70	25	34624		
<i>Symphoricarpos mollis</i>	70	25	34624	0.79	56
<i>Bromus carinatus</i>	1210	16	34624	0.79	962
<i>Elymus glaucus</i>	109	20	34624		
<i>Iris douglasiana</i>	70	25 ft clumped	34624	0.79	56
Ferns and Fern Allies					
<i>Polystichum munitum</i>	48	30	34624	0.79	38

Palustrine Forest I - Coastal Riparian Forest (PFI)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Trees					
<i>Alnus rubra</i>	436	10 ft clumped	72359	1.66	724
<i>Salix lucida ssp. lasiandra</i>	681	8 ft clumped	72359	1.66	1131
Shrubs and Vines					
<i>Cornus sericea ssp. sericea</i>	681	8	72359	1.66	1131
<i>Lonicera hispidula var. ledebourii</i>	10	65	72359	1.66	17
<i>Marah fabaceus</i>	5	90	72359	1.66	8
<i>Ribes sanguineum var. glutinosum</i>	9	70 ft clumped	72359	1.66	15
<i>Salix lasiolepis</i>	303	12 ft clumped	72359	1.66	503
<i>Salix sitchensis</i>	303	12 ft clumped	72359	1.66	503
<i>Sambucus racemosa var. racemosa</i>	7	80	72359	1.66	12
Graminoids					
<i>Carex obnupta</i>	222	14	72359	1.66	369
<i>Juncus effuses</i>	194	15	72359	1.66	322
<i>Scirpus microcarpus</i>	436	10 ft clumped	72359	1.66	724
Herbs					
<i>Aralia californica</i>	10	65	72359	1.66	17
<i>Aster chilensis</i>	24	43 ft clumped	72359	1.66	40
<i>Euthamia occidentalis</i>	10	65	72359	1.66	17
<i>Oenanthe sarmentosa</i>	436	10	72359	1.66	724
<i>Scrophularia californica</i>	48	30	72359	1.66	80
<i>Stachys ajugoides var. ajugoides</i>	76	24	72359	1.66	126
Forbs, Ferns, and Fern Allies					
<i>Polystichum munitum</i>	10	65	72359	1.66	17

Palustrine Emergent I - Sedge Meadow (PEI)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Graminoids					
<i>Carex obnupta</i>	1551	5.3	13588	0.31	484
<i>Juncus balticus</i>	681	8	13588	0.31	212
<i>Juncus effusus</i> var. <i>pacificus</i>	681	8	13588	0.31	212
<i>Scirpus microcarpus</i>	1210	6	13588	0.31	377
Forbs					
<i>Helenium puberulum</i>	170	16	13588	0.14	24
<i>Oenanthe sarmentosa</i>	109	20	13588	0.14	15
<i>Sparganium eurycarpum</i> ssp. <i>eurycarpum</i>	109	20	13588	0.14	15

Palustrine Emergent II - Rush Meadow (PEII) Polygons #3, 5, 8, 34, 42

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Graminoids					
<i>Juncus balticus</i>	889	7	69172	1.59	1412
<i>Juncus effusus</i> var. <i>pacificus</i>	889	7	69172	1.59	1412
<i>Juncus patens</i>	1210	6	69172	1.59	1921
<i>Scirpus microcarpus</i>	889	7	69172	1.59	1412
Forbs					
<i>Helenium puberulum</i>	170	16	69172	1.59	270
<i>Oenanthe sarmentosa</i>	109	20	69172	1.59	173
<i>Potentilla anserina</i> var. <i>pacifica</i>	109	20	69172	1.59	173
<i>Mentha arvensis</i>	70	25	69172	1.59	111
<i>Stachys ajugoides</i> var. <i>ajugoides</i>	170	16	69172	1.59	270

Palustrine Scrub-Shrub I - Mixed Willow Scrub-Shrub (PSSI)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Shrubs and Vines					
<i>Salix lasiolepis</i>	436	10 ft clumped	51134	1.17	512
<i>Salix sitchensis</i>	436	10 ft clumped	51134	1.17	512
<i>Artemisia douglasiana</i>	194	15	51134	1.17	228
<i>Clematis lasiantha</i>	70	25	51134	1.17	82
<i>Lonicera involucrata</i> var. <i>ledebourii</i>	222	14	51134	1.17	261
<i>Marah fabaceus</i>	56	28	51134	1.17	66
<i>Ribes sanguineum</i> var. <i>glutinosum</i>	70	25	51134	1.17	82
<i>Sambucus racemosa</i> var. <i>racemosa</i>	48	30	51134	1.17	56
Graminoids					
<i>Iris douglasiana</i>	34	38 ft clumped	51134	1.17	40
<i>Juncus patens</i>	48	30	51134	1.17	56
<i>Leymus triticoides</i>	9	70	51134	1.17	11

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Forbs					
<i>Aster chilensis</i>	34	38 ft clumped	51134	1.17	40
<i>Oenanthe sarmentosa</i>	48	30	51134	1.17	56
<i>Heracleum lanatum</i>	48	30	51134	1.17	56
<i>Scrophularia californica</i>	70	25	51134	1.17	82
Ferns and Fern Allies					
<i>Polystichum munitum</i>	48	30	51134	1.17	56

Palustrine Forest - Redwood Grove (PFII)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Trees					
<i>Sequoia sempervirens</i>	109	20	26825	0.62	67
<i>Alnus rubra</i>	70	25	26825	0.62	43
Shrubs and Vines					
<i>Lonicera involucrata</i> var. <i>ledebourii</i>	99	21	26825	0.62	61
<i>Rubus parviflorus</i>	10	65	26825	0.62	6
<i>Ribes sanguineum</i> var. <i>glutinosum</i>	10	65 ft clumped	26825	0.62	6
<i>Vaccinium ovatum</i>	99	21	26825	0.62	61
<i>Symphoricarpos mollis</i>	70	25	26825	0.62	43
Graminoids					
<i>Trillium ovatum</i>	681	8	26825	0.62	419
<i>Trillium chloropetalum</i>	303	12	26825	0.62	187
<i>Scoliopus bigelovii</i>	303	12	26825	0.62	187
<i>Iris douglasiana</i>	109	20 ft clumped	26825	0.62	67
Forbs					
<i>Mainathemum dilatatum</i>	303	12' oc	26825	0.62	187
<i>Oxalis pilosa</i>	681	8	26825	0.62	419
<i>Tiarella trifoliata</i>	109	20	26825	0.62	67
<i>Claytonia parviflora</i>	303	12' oc	26825	0.62	187
Ferns and Fern Allies					
<i>Polypodium scolieri</i>	303	12' oc	26825	0.62	187
<i>Woodwardia fimbriata</i>	303	12 ft clumped	26825	0.62	187
<i>Polystichum munitum</i>	48	30	26825	0.62	30

Coastal Prairie Upland II - Wildflower Garden (UPII)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Seed Mix					
<i>Bromus carinatus</i>	2723	4' oc	9761	0.22	610
<i>Danthonia danthoniodes</i>	2723	4' oc	9761	0.22	610
<i>Danthonia californica</i>	2723	4' oc	9761	0.22	610
<i>Eschscholzia californica</i>	2723	4' oc	9761	0.22	610
<i>Elymus glaucus</i>	1210	6' clumped	9761	0.22	271
<i>Nassella pulchra</i>	202	12' clumped	9761	0.22	45
<i>Vulpia macrostachys</i>	1210	6' oc	9761	0.22	271
<i>Lupinus succulentus</i>			9761		
Herbs/Forbs					
<i>Helianthus annuus</i>	303	12' oc	9761	0.22	68
<i>Helenium bolanderi</i>	1210	6' clumped	9761	0.22	271
<i>Helenium puberulum</i>	661	8' oc	9761	0.22	148

Palustrine Scrub-Shrub II - Willow Waddle (PSSII)

Species	Density (# per acre)	On Center Spacing (ft)	Area (sq ft)	Area (acres)	Total
Trees and Shrubs					
<i>Salix lucida ssp. lasiandra</i>	681	8' clumped	3454	0.08	54
Shrubs and Vines					
<i>Salix lasiolepis</i>	681	8' oc	3454	0.08	54
<i>Marah fabaceus</i>	56	28	3454		
<i>Oemleria cerasiformis</i>	76	24' clumped	3454	0.08	6
Graminoids					
<i>Bromus carinatus</i>	10	65	3454	0.08	1
Forbs					
<i>Heracleum lanatum</i>	48	30	3454	0.08	4
<i>Scrophularia californica</i>	109	20	3454	0.08	9

Cmly0476(BW)_wfh.docx (6/3/14)

DESCRIPTION

Bollards are designed for walkways, entranceways, drives and other small-area lighting applications where low mounting heights are desirable.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Construction

TOP: Rugged, minimum 5/32" thick cast aluminum top cap secured via a concealed stainless steel allen screw with twist removal mechanism for lamp access. Flow through ventilation assure cool to the touch top. **LOUVERS:** Cast aluminum louver blades provide sharp cutoff delivering no direct light above 90°. Louvers are secured to the shaft via tamper stainless steel rods and fasteners. **LOWER HOUSING:** Nominal 1/8" thick aluminum extruded housing. Bollard housing is secured to the base with flathead, counter-sunk screws for smooth, uncluttered appearance. **BASE:** Rugged cast aluminum. Completely concealed.

Electrical

BALLAST: HID high power factor ballast for -20°F starting. Product is factory mounted to the base. Quick disconnects provided between lamp and electrical assembly. **LAMP:** Metal Halide and High Pressure Sodium lamp sources up to 100W.

Optical

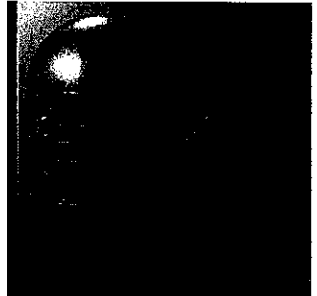
One-piece tempered glass with internal flutes for even disbursement of illumination. Decorative colored glass optional. Globe is fully gasketed via EPDM material.

Mounting

Base mounts onto foundation with three (3) 1/2" x 12-1/2" anchor bolts on a 5" Dia. bolt circle (a centrally located 2-7/8" x 3 1/2" wire entrance opening provided).

Finish

Finished in weather- and abrasion-resistant polyester powder coat. Standard bronze finish. Other finishes available. Consult your Streetworks Representative.



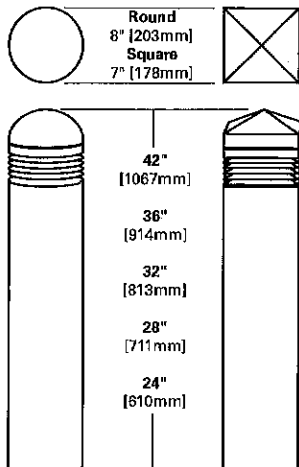
LBS/LBR LOUVERED BOLLARD

35 - 100 W
High Pressure Sodium
Metal Halide

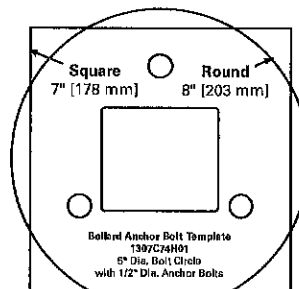
PATHWAY LUMINAIRE

DARK SKY COMPLIANT **CO**
Cutoff

DIMENSIONS



ANCHOR BOLT TEMPLATE (NOT TO SCALE)

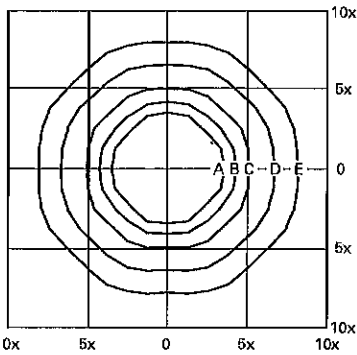


NOTE:
Conduit must be beside of opening with a maximum height of 2 1/4" above concrete. Anchor bolt projection to be 1 1/2" minimum and 2 1/4" maximum above concrete.

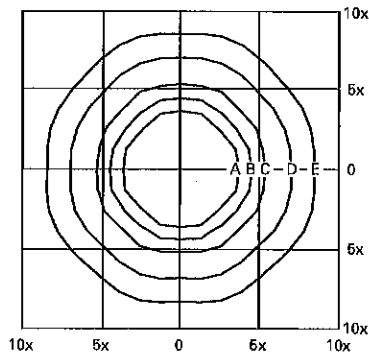
SHIPPING DATA
Approximate Net Weight:
26 lbs. (2 kgs.)



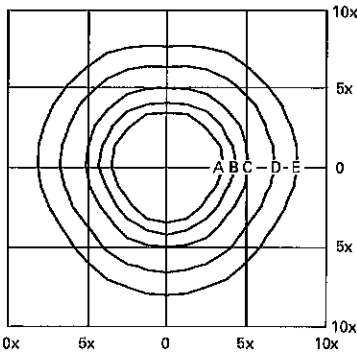
PHOTOMETRICS [Complete IES files available at www.cooperlighting.com]



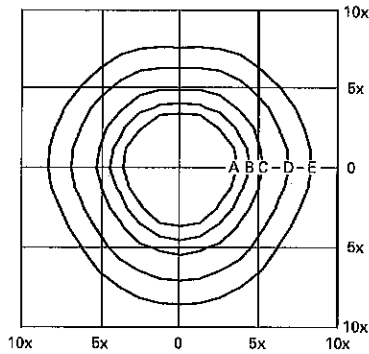
LBS10M11W36
100-Watt MH
7,900-Lumen Lamp (Coated ED-17)



LBSLBS10S11W36
100-Watt HPS
8,800-Lumen Lamp (Coated ED-17)



LBR10M11W36
100-Watt MH
7,900-Lumen Lamp (Coated ED-17)



LBR10211W36
100-Watt HPS
8,800-Lumen Lamp (Coated ED-17)

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

Mounting Height	Footcandle Values for Isofootcandle Lines				
	A	B	C	D	E
42"	1.20	0.60	0.30	0.12	0.06
36"	2.00	1.00	0.50	0.20	0.10
32"	2.40	1.20	0.60	0.24	0.12
28"	3.20	1.60	0.80	0.32	0.16
24"	4.40	2.20	1.10	0.44	0.22

ORDERING INFORMATION

SAMPLE NUMBER: LBS10M12242BZL

Product Family LBS=Square Bollard with Stacked Louvers and Pyramid Top LBR=Round Bollard with Stacked Louvers and Dome Top	Lamp Wattage ¹ 35=35W 50=50W 70=70W 10=100W	Lamp Type M=Metal Halide S=High Pressure Sodium	Socket 1=Medium	Ballast 1=NPF 2=HPF	Voltage ² 2=120V 0=208V 4=240V 7=277V W=Multi-tap wired 120V	Fixture Height 24=24" 28=28" 32=32" 36=36" 42=42"	Colors (add as suffix) AP=Grey BK=Black BZ=Bronze DP=Dark Platinum GM=Graphite Metallic WH=White	Options (add as suffix) 1=Single Fuse (120, 277 or 347V) Specify Voltage 2=Double Fused (208 or 240V) Specify Voltage R1=Provisional Cut for GFI Receptacle ⁴ R2=Installed GFI Receptacle ⁴ L=Lamp Included

NOTES: 1 All lamps are medium-base. 2 35W High Pressure Sodium available in 120V only. 3 Refer to technical section for lamp/ballast/voltage compatibility. 4 Location of R1 and R2 option on housing subject to height of luminaire. 5 Specifications and dimensions subject to change without notice.

NOTE: Specifications and dimensions subject to change without notice.

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2013-00451

Other Permit #: _____

1. Basic Information

Applicant:

Name: Big Wave Group, Big Wave LLC

Address: 40 David J. Byers, Esq

259 W. 3rd Ave SM, CA Zip: 94402

Phone, W: 759-3375 H: _____

Email: dbyers@landuselaw.net

Owner (if different from Applicant):

Name: _____

Address: _____

Zip: _____

Phone, W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: George Meu Associates

Address: 27 Embarcadero Cv Oakland CA Zip: 94606

Phone, W: 510-434-9888 H: _____ Email: Lmeu@geom.eu.com

2. Project Site Information

Project location:

APN: 047-311-060; 047-312-040

Address: 888 Airport Street

Zip: _____

Zoning (311): M-1/A0/DR/CD; (312): W/A0/DR/CD

Parcel/lot size: 19.5 acres sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe): _____

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Describe Project:

Wellness Center
Commercial Office

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

