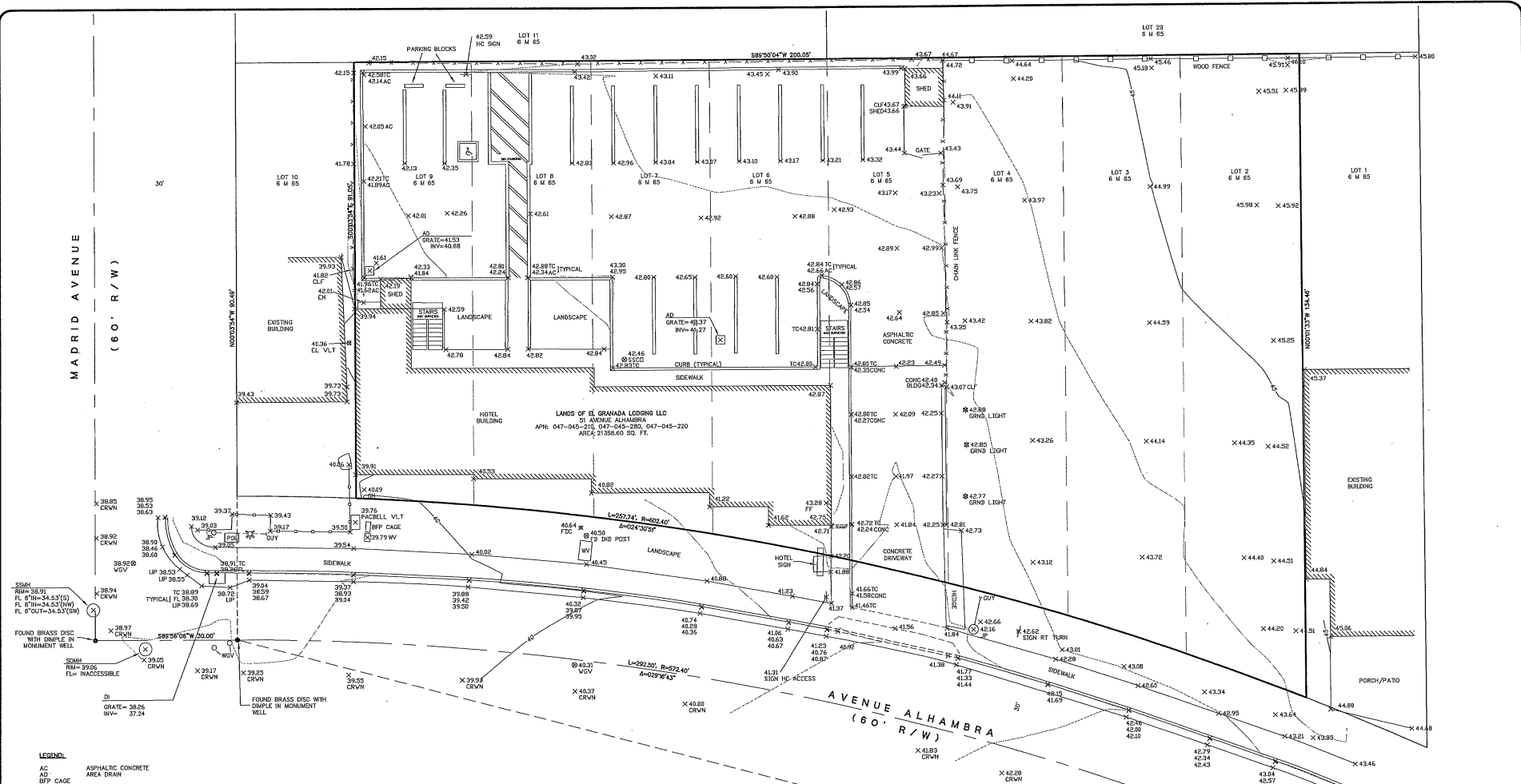


MADRID AVENUE
(60' R/W)



- LEGEND:**
- AC ASPHALTIC CONCRETE
 - AD AREA DRAIN
 - BFP BFP CAGE
 - BILD BUILDING
 - CLF CHAIN LINK FENCE
 - CONC CONCRETE
 - CRWN CROWN
 - DI DROP INLET
 - EM ELECTRICAL METER
 - EL VLT ELECTRICAL VAULT
 - FL FLOWLINE
 - FF FINISHED FLOOR
 - FL FLOWLINE
 - GM GAS METER
 - GRND GROUND
 - HC HANDICAP
 - JF JUNCTION POLE
 - PACBELL PACBELL
 - SDMH STORM DRAIN MAN HOLE
 - SSCO SANITARY SENSER CLEAN OUT
 - SSWH SANITARY SENSER MAN HOLE
 - WV WATER VAULT
 - WV WATER VAULT
 - TC TOP OF CURB

BASIS OF BEARINGS

THE BEARING, SOUTH 72°35'34" EAST, BETWEEN THE TWO FOUND IRON PIPE MONUMENTS ON THE CENTERLINE OF AVENUE ALHAMBRA AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON APRIL 23, 1933 IN BOOK 14 PAGE 122 IN THE OFFICE OF THE RECORDER, SAN MATEO COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

TITLE REPORT NOTE.

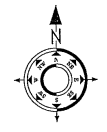
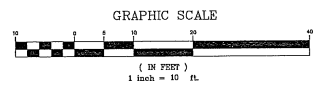
NO ABSTRACT OF TITLE NOR COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE.

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.

CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

TREE NOTE.



SURVIVOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

Jack W. Smith
JACK W. SMITH, 72.5, 87539

DATE _____

- NOTES:**
1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
 2. THE DATE OF THE FIELD SURVEY WAS JUNE 22, 2016.
 3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.

BENCHMARK.

MUIR CONSULTING, INC.
139 CHURCH AVENUE
OAKDALE, CA 95361
PH: 415-351-1111 FAX: 415-351-1110



TOPOGRAPHIC SURVEY
51 AVENUE ALHAMBRA

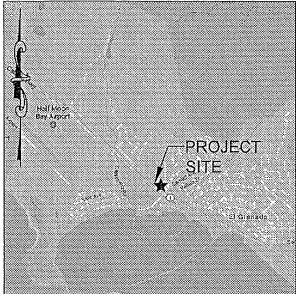
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DRAWN BY: [Signature]
DATE: 1/8/24
PLD



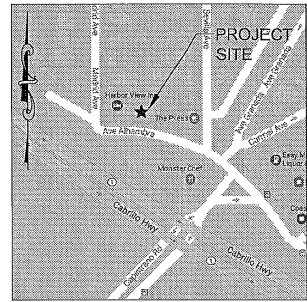
HARBOR VIEW HOTEL ADDITION

51 ALHAMBRA AVENUE

HALF MOON BAY, CA 94019



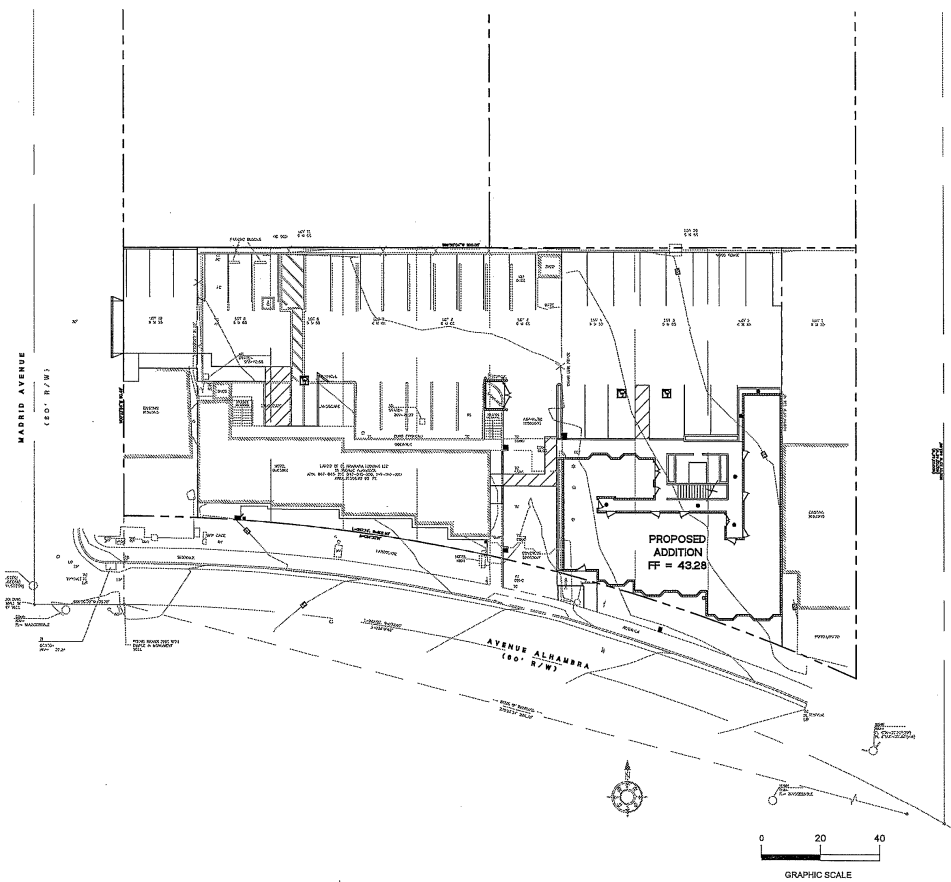
VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DD	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
HW	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PV	POST INDICATOR VALVE
PDC	POINT OF CONNECTION
RM	RM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SOR	SEE GEOTECHNICAL REPORT
SIBS	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SFP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



LEGEND

EXISTING	PROPOSED	LEGEND
---	---	SANITARY SEWER
---	---	STORM DRAIN
---	---	STORM SUB-DRAIN (PERFORATED PIPE)
---	---	TRANSITION FROM PERF. PIPE TO SOLID PIPE
---	---	FORCE MAIN
---	---	FIRE WATER LINE
---	---	DOMESTIC WATER SERVICE
---	---	IRRIGATION SERVICE
---	---	NATURAL GAS
---	---	ELECTRIC
---	---	JOINT TRENCH
---	---	FENCE
---	---	CLEAN OUT
---	---	DOUBLE DETECTOR CHECK VALVE
---	---	POST INDICATOR VALVE
---	---	VALVE
---	---	METER BOX
---	---	STREET LIGHT
---	---	AREA DRAIN
---	---	CATCH BASIN
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BENCHMARK
---	---	MANHOLE
---	---	SIGN
---	---	DOWNSPOUT
---	---	SPLASH BLOCK
---	---	CONTOURS
---	---	PROPERTY LINE
---	---	SETBACK

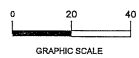
SHEET INDEX

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-2	GRADING PLAN
C-3	UTILITY PLAN
C-4	EROSION AND SEDIMENT CONTROL PLAN
C-4-1	BEST MANAGEMENT PRACTICES (BMPs)

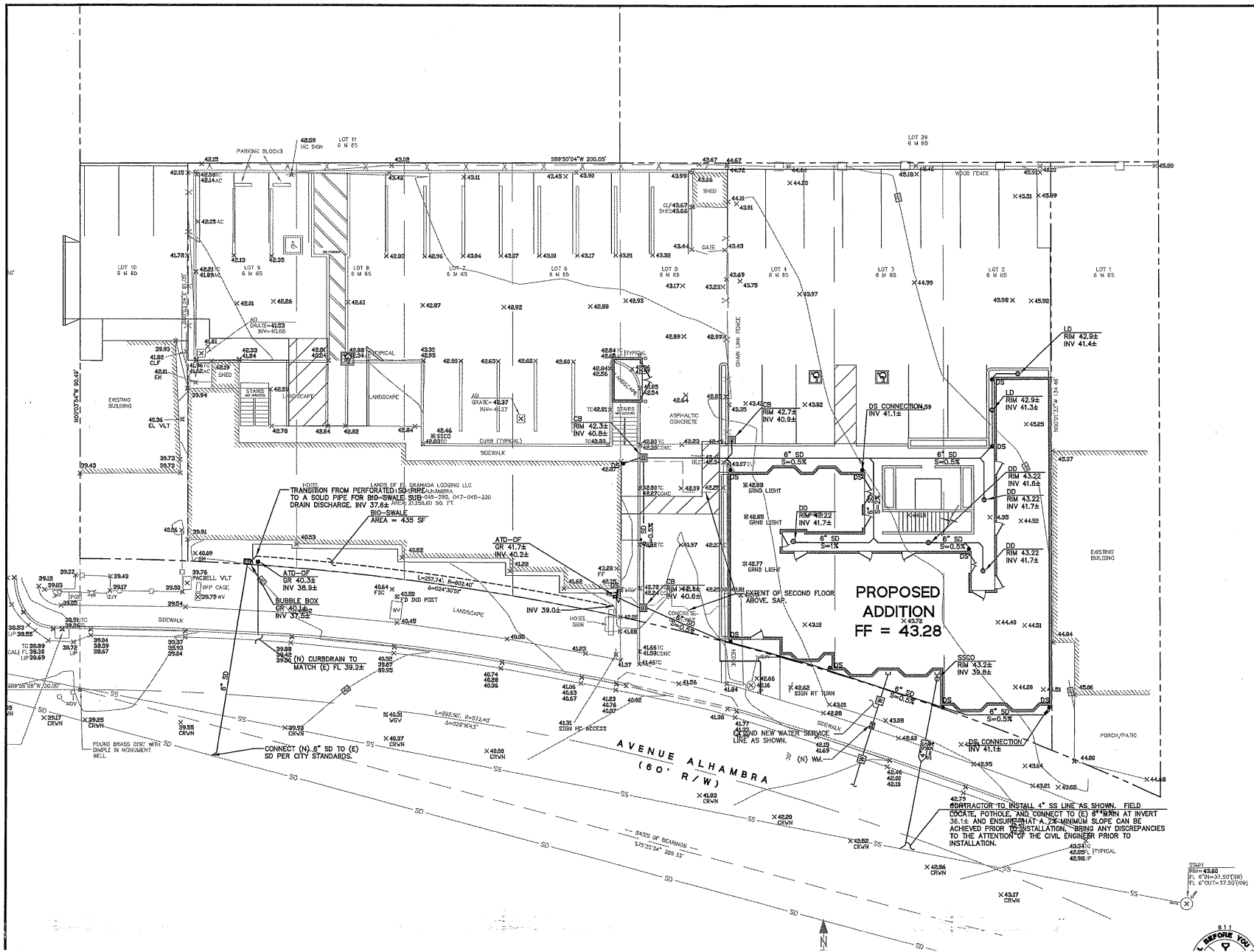
EARTHWORK QUANTITIES

CUT	480 C.Y.
FILL	0 C.Y.
TOTAL TO BE MOVED	480 C.Y.
BALANCE	480 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE APPROXIMATE AND SUBJECT TO FIELD VERIFICATION.



WEST PLUMBING DESIGN, INC. 12700 130th Ave. N., Suite 100, Minneapolis, MN 55428



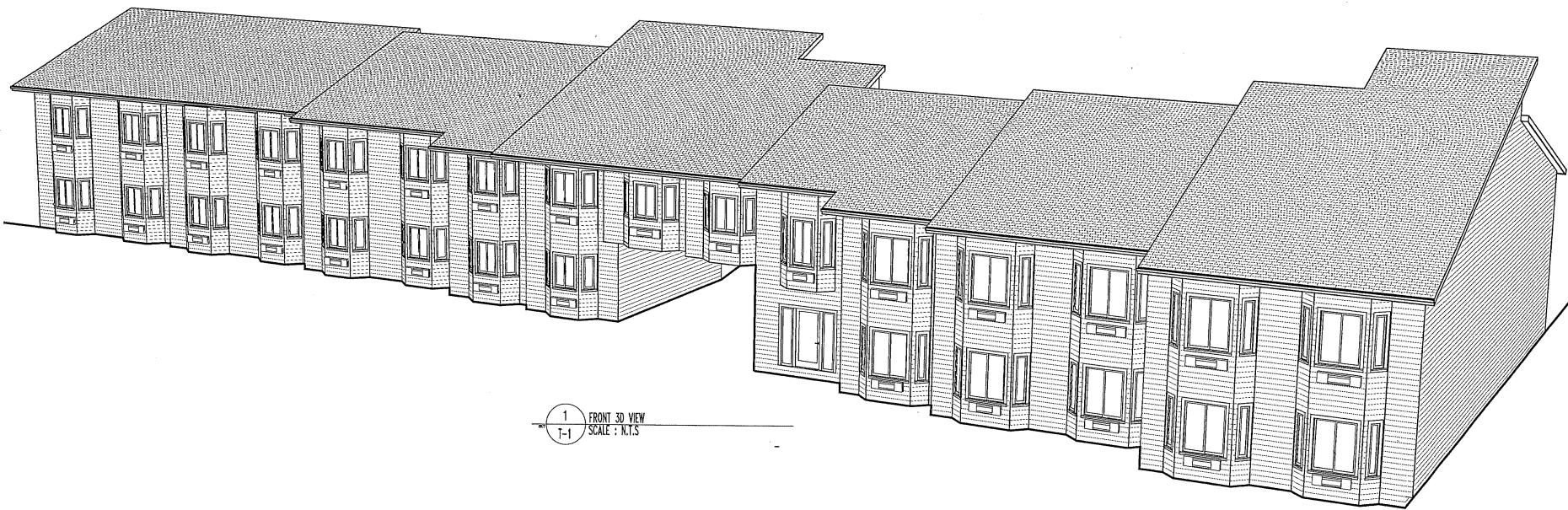
PROPERTY OWNER: UNIVERSITY OF MINNESOTA

Sheet: 11/1
Date: 1/11
Scale: 1" = 30'-0" (30')
Design: [Signature]
Check: [Signature]



Harbor View Inn

51 & 11 Avenue Alhambra
El Granda, CA.



1 FRONT 3D VIEW
1-1 SCALE : N.T.S

SHEET TITLE:
TITLE SHEET

APPROVED BY:
DATE: 10.18.15

DRAWN BY:
Deilly E
CHECKED BY:
DE

THE HARBOR VIEW INN
TWO STORY ADDITION
51 AVENUE ALHAMBRA



PROJECT NO
S.D.2682.11.

Keynotes

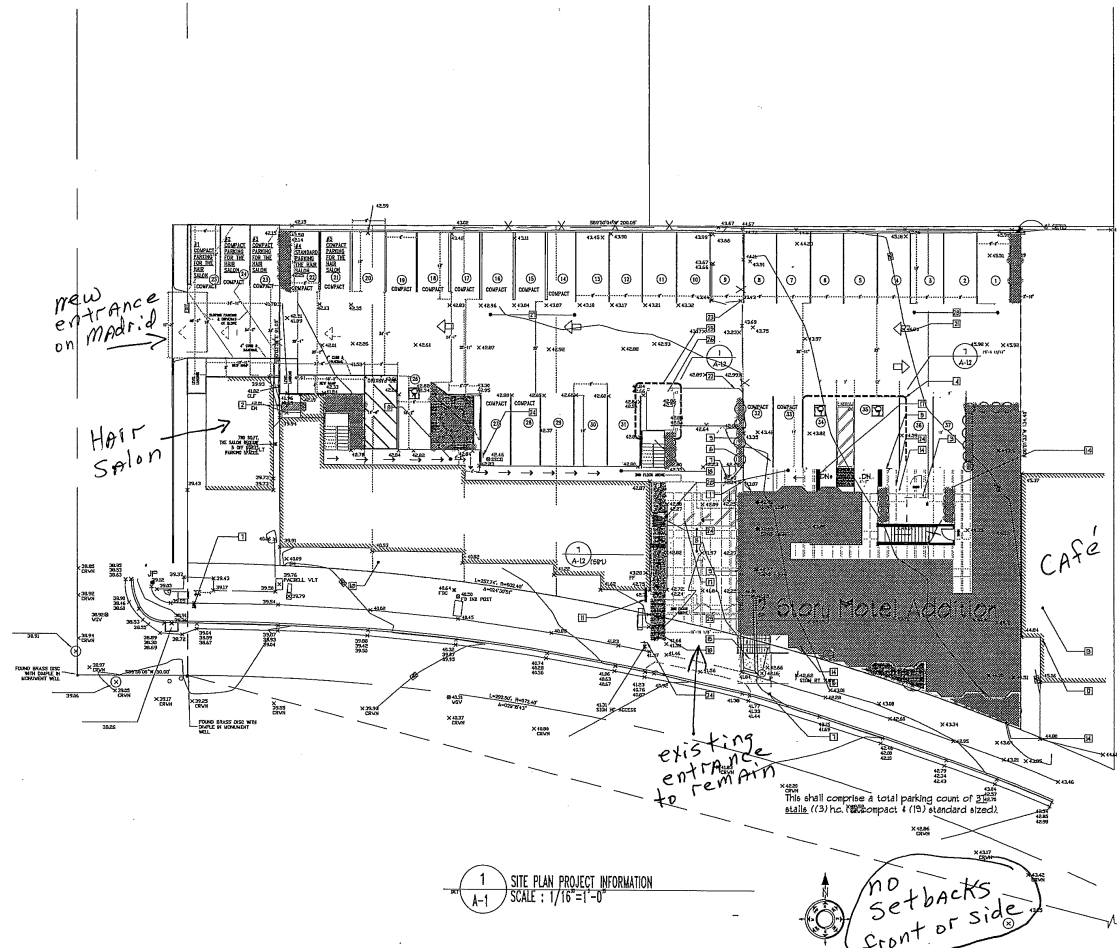
- 1 NEW SWITCH GEAR
- 2 EXISTING SWITCH GEAR
- 3 NEW OUTDOOR SPA
- 4 (N) 4' WIDE STRIPPING w/ (2) COATS HIGHWAY GRADE WHITE PAINT.
- 5 (N) A.D.A. PARKING SIGN REF: / A-12
- 6 (N) A.D.A. ENTRANCE SIGN REF: / A-12
- 7 (E) SIDEWALK AND GUTTER
- 8 (E) THRU- DRIVEWAY PASSING UNDER THE (E) 2nd GUEST SUITES ABOVE TO REMAIN.
- 9 (N) PASS- THRU NIGHT WINDOW. REF: 1/ A-8) 2nd GUEST SUITES ABOVE.
- 10 (E) LANDSCAPED AREA
- 11 (E) MONUMENT SIGN SHALL REMAIN.
- 12 (E) OFFSITE ELECTRICAL PANEL SHALL BE RELOCATED AS SHOWN PER OWNER AGREEMENT.
- 13 (E) ADJACENT BUILDING (N.A.P.).
- 14 (N) LANDSCAPING
- 15 (N) TRANSFORMER SEE ELECTRICAL DIAG'S.
- 16 (N) 48' X 36' TRUNCATED DOME TACTILE WARNING.
- 17 (N) 48' WIDE A.D.A. PATH OF TRAVEL w/ MAX. SIDE SLOPE OF 2% (TYP.).
- 18 (E) 48' WIDE A.D.A. PATH OF TRAVEL
- 19 (N) 48' WIDE X 6'-0" LONG CONC. RAMP @ 8% SLOPE (MAX).
- 20 (N) 48' X 48' LEVEL CONC. LANDING w/ SMOOTH FINISH.
- 21 (N) PAINTED DRIVING DIRECTIONAL ARROW. REF: 19/ A-12
- 22 (N) 6' CONCRETE APRON AT (N) TRASH ENCLOSURE.
- 23 REMOVE (E) FENCE AND RELOCATE (E) DUMPSTER TO (N) TRASH ENCLOSURE. REPAIR (E) AC. PAVING AS REQ'D.
- 24 (N) A.D.A. PATH OF TRAVEL DIRECTIONAL SIGN. REF: 23/ A-12.
- 25 (N) 1'-0" X 10'-0" CMU. TRASH ENCLOSURE w/ ROOF. REF: 1/ A-12 RELOCATE (E) TRASH DUMPSTER TO HERE.
- 26 (E) 6' CONC. CURB TO BE REMOVED. REPAIR (E) AC. PAVING AS REQ'D.
- 27 (E) PAVED PARKING AREA
- 28 (N) PAVED PARKING AREA
- 29 EMERGENCY KNOX BOX' SHALL BE INSTALLED PER FIRE MARSHALL'S DETERMINATION & AUTHORIZED ORDER FORM. CONTRACTOR CONT. THE FIRE PREVENTION BUREAU FOR SPECIFICATIONS AND APPROV. PRIOR TO INSTALLATION.

Parking

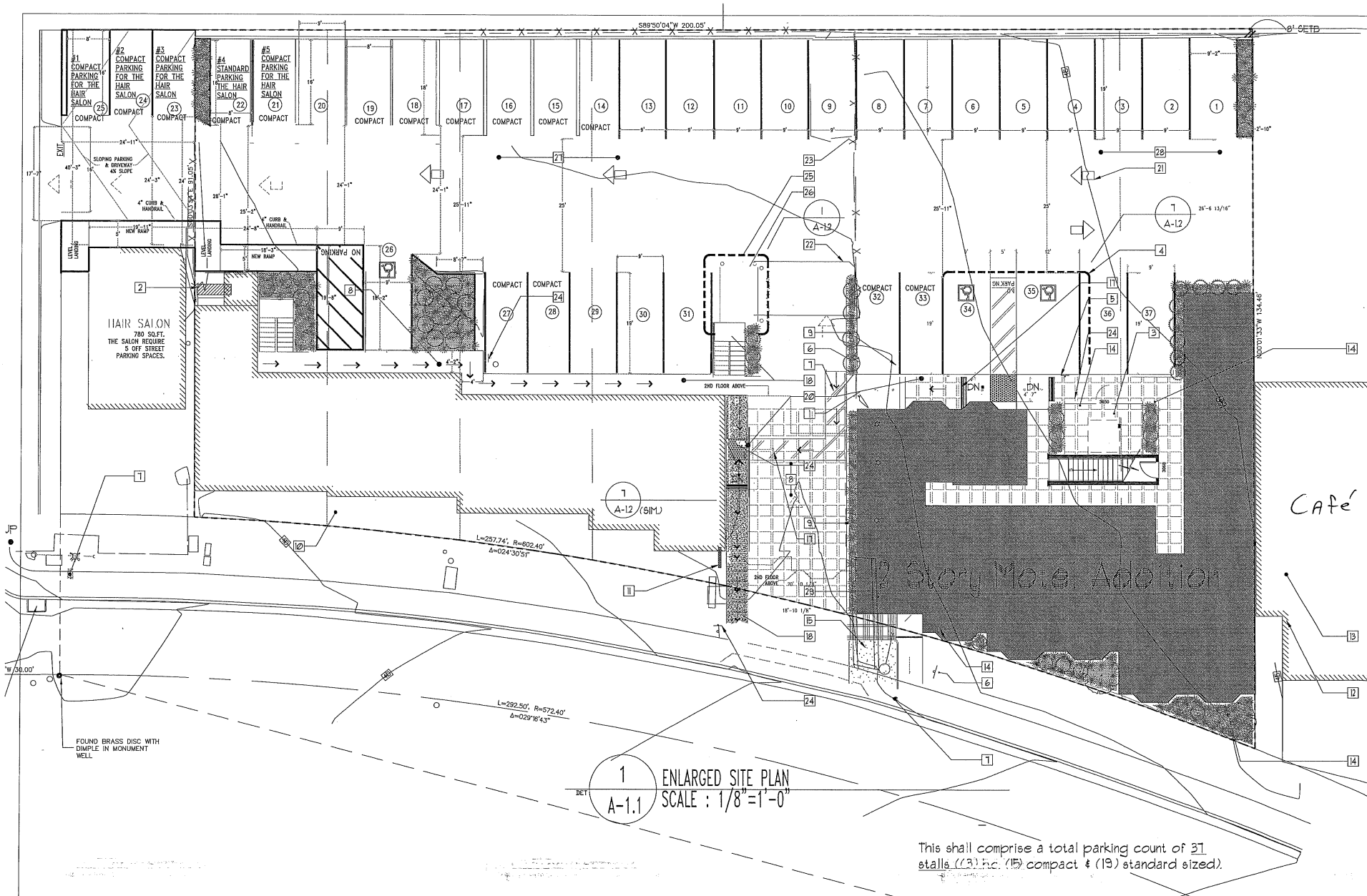
This shall comprise a total parking count of 31 stalls ((3) h.c. (15) compact & (19) standard sized).

TOTAL PARKING SPACES PROVIDED:

31 SPACES



SHEET TITLE: **SITE PLAN PROJECT INFORMATION**
 APPROVED BY: **DE** DATE: **10.18.15**
 DRAWN BY: **Daily E** CHECKED BY: **DE**
 THE HARBOR VIEW INN TWO STORY ADDITION 51 AVENUE ALHAMBRA
 PROJECT N S.D.268.2.11.

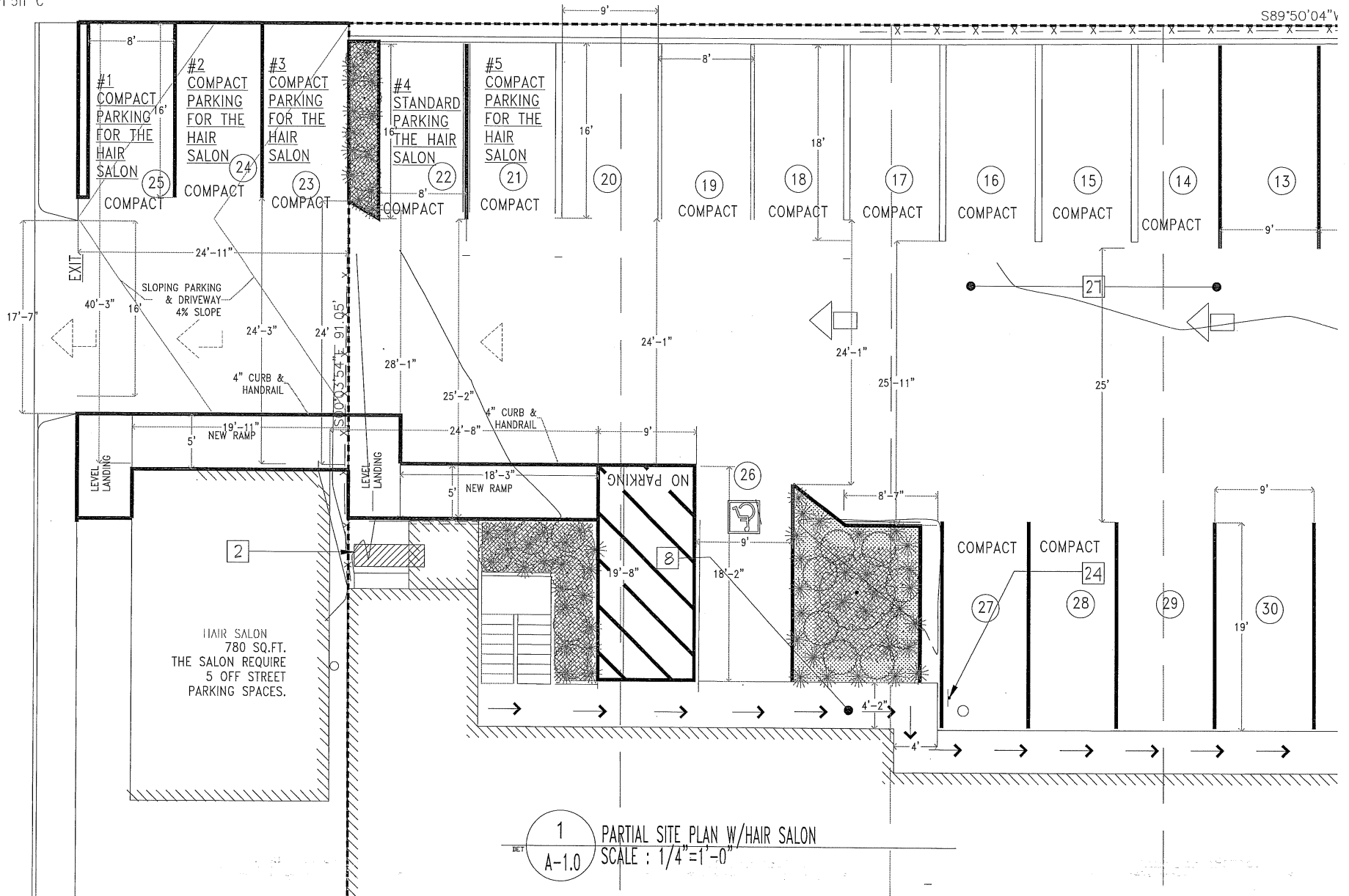


1
A-1.1 ENLARGED SITE PLAN
SCALE: 1/8"=1'-0"

This shall comprise a total parking count of 37 stalls ((3) inc. (15) compact & (19) standard sized).

SHEET TITLE: ENLARGED SITE PLAN
 DRAWN BY: Deilly E
 APPROVED BY: DE
 DATE: 4-24-2018
 CHECKED BY: DE
 THE HARBOR VIEW INN
 TWO-STORY ADDITION
 51 AVENUE ALHAMBRA
 PROFESSIONAL SEAL
 EXP. 3/19
 PROJECT NO. 11
 S.U. 268.2.11
 SHEET

Exhibit C



1 PARTIAL SITE PLAN W/HAIR SALON
 SCALE : 1/4" = 1'-0"

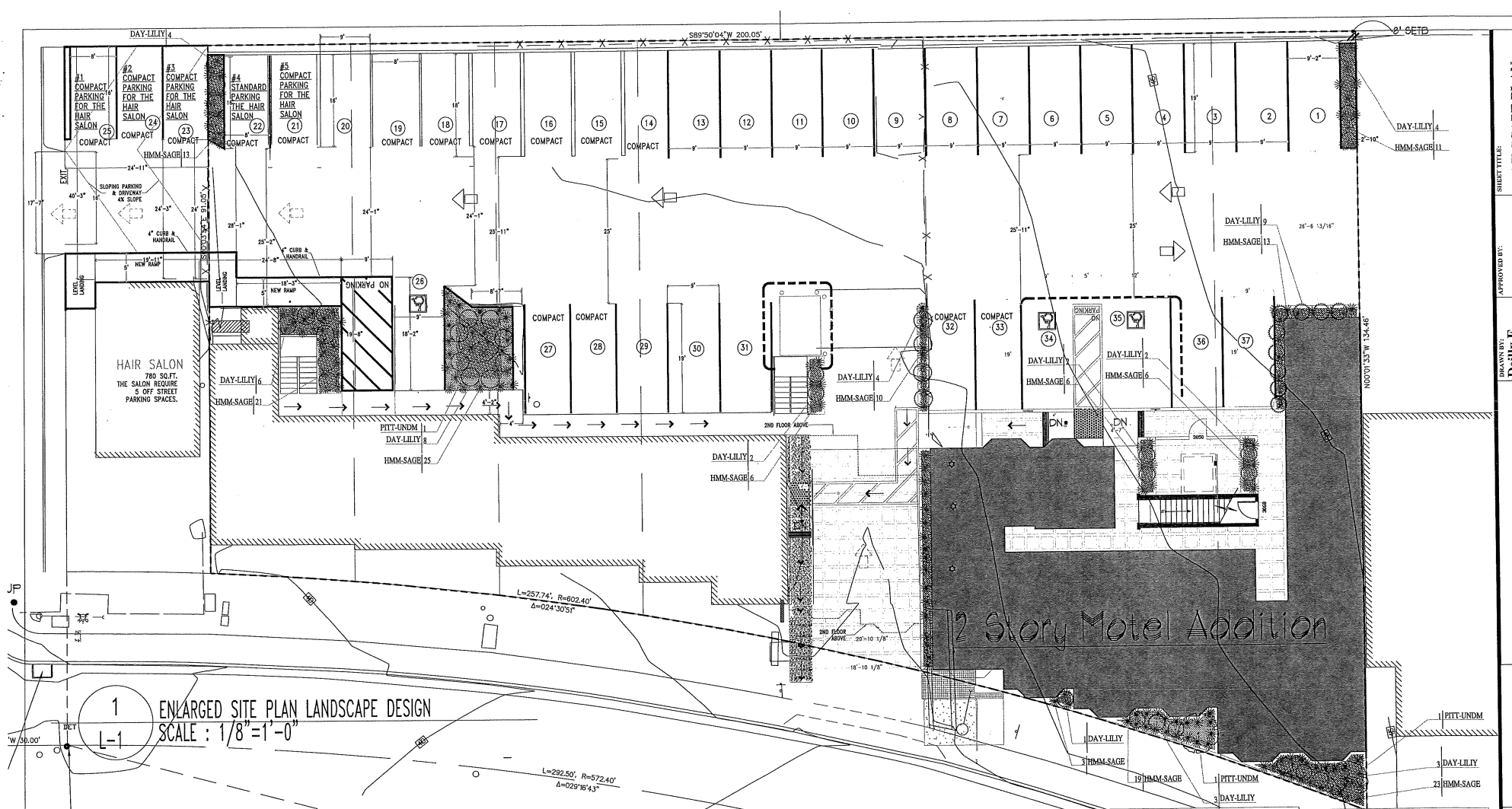
S89°50'04"v

DRAWN BY: Delly E	APPROVED BY:	SHEET TITLE: PARTIAL SITE PLAN W/HAIR SALON
CHECKED BY: DE	DATE: 4-24-2018	

THE HARBOR VIEW INN
 TWO STORY ADDITION
 51 AVENUE ALHAMBRA

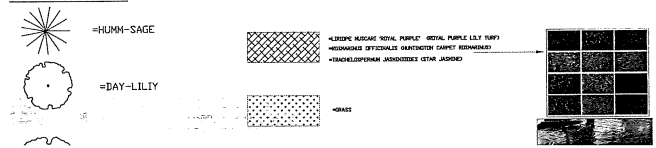
SUTHERS
 ARCHITECTURE & PLANNING
 1000 S. GATEWAY AVENUE
 SUITE 100
 ALHAMBRA, CA 91801
 (626) 444-1111

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 STATE OF CALIFORNIA
 PROJECT N
 S.D.2682.11.
 SHEET 1



1 ENLARGED SITE PLAN LANDSCAPE DESIGN
SCALE: 1/8" = 1'-0"

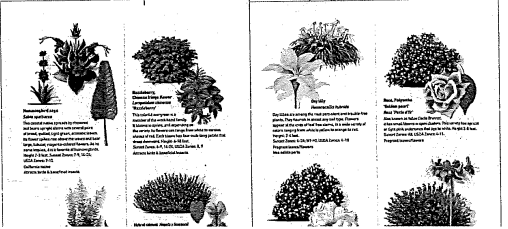
CONCEPTUAL SHRUBS



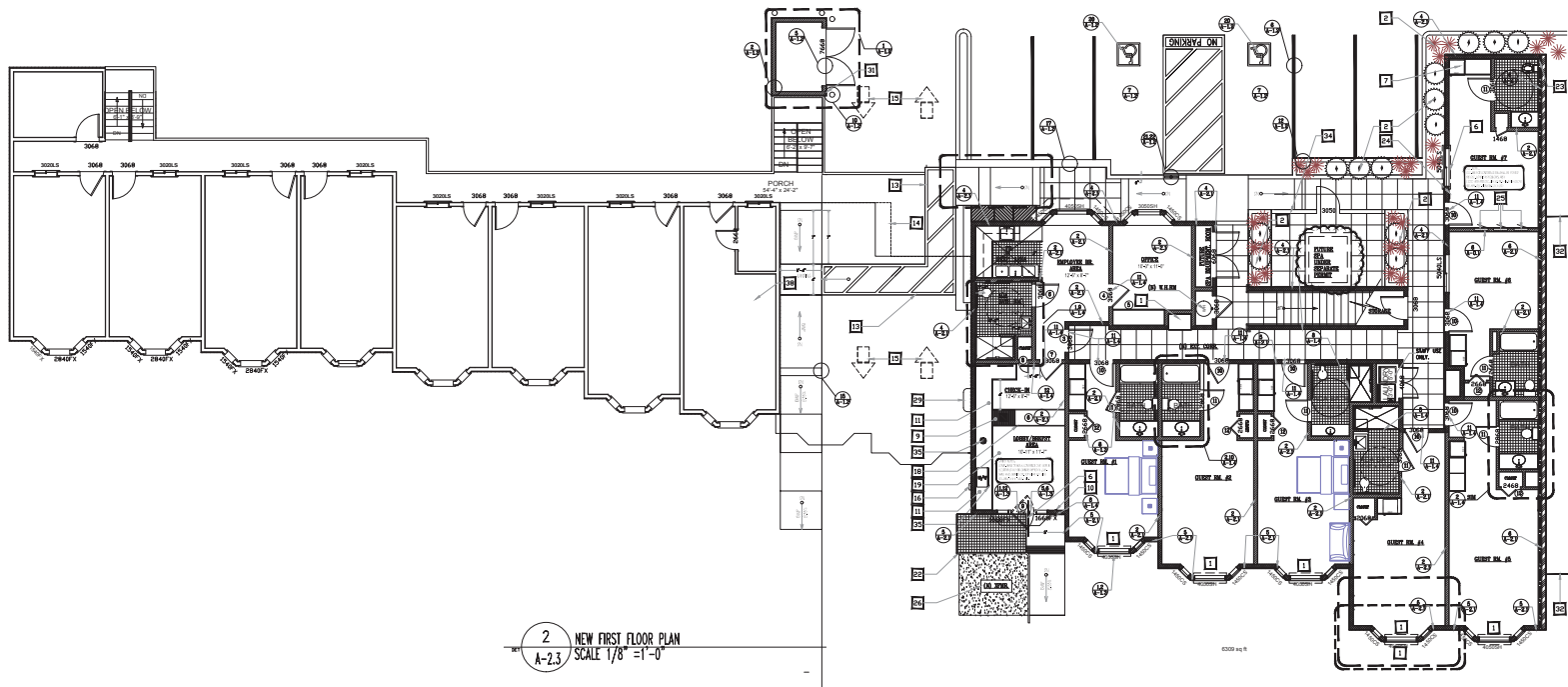
PLANTING AND TREE PROTECTION NOTES

1. Use 3" deep mulch in all planting areas. A 3" dia. bark free area is to be maintained around the base of each plant.
 2. The plan is schematic. Don't install plants too close to edges of paving or buildings.
 3. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of naturalized redwood sawdust and 16 pounds of 12-12-12 fertilizer tilled into the top 6" to 8" of soil after ripping soil to 12" depth, except under existing trees.
 4. Install protective fencing around all heritage trees as close to the drip line as possible before construction begins and remove at the conclusion of construction.
- Total new landscape area around= 1,991 Sq. Ft. Grass area= 135 Sq. Ft. Mulch area @ planters= 3384 Sq. Ft.
Concrete area at the front driveway & rear area= 1,454 sq. ft.

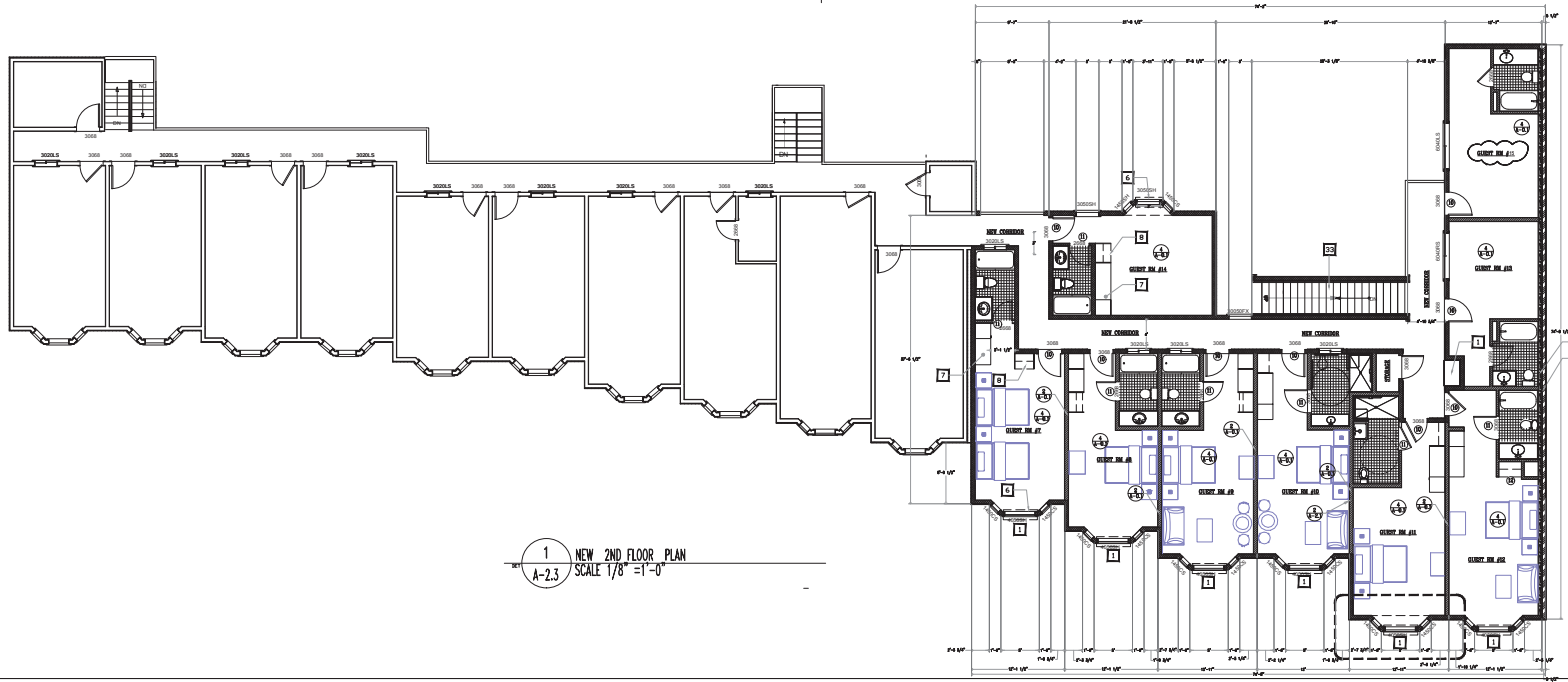
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE	BOX SIZE
TREES				



SHEET TITLE: LANDSCAPE PLAN
 APPROVED BY: [Signature]
 DRAWN BY: Deily E. [Signature]
 THE HARBOR VIEW INN



2 NEW FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



1 NEW 2ND FLOOR PLAN
SCALE 1/8" = 1'-0"

SHEET TITLE
NEW FIRST FLOOR
PLAN

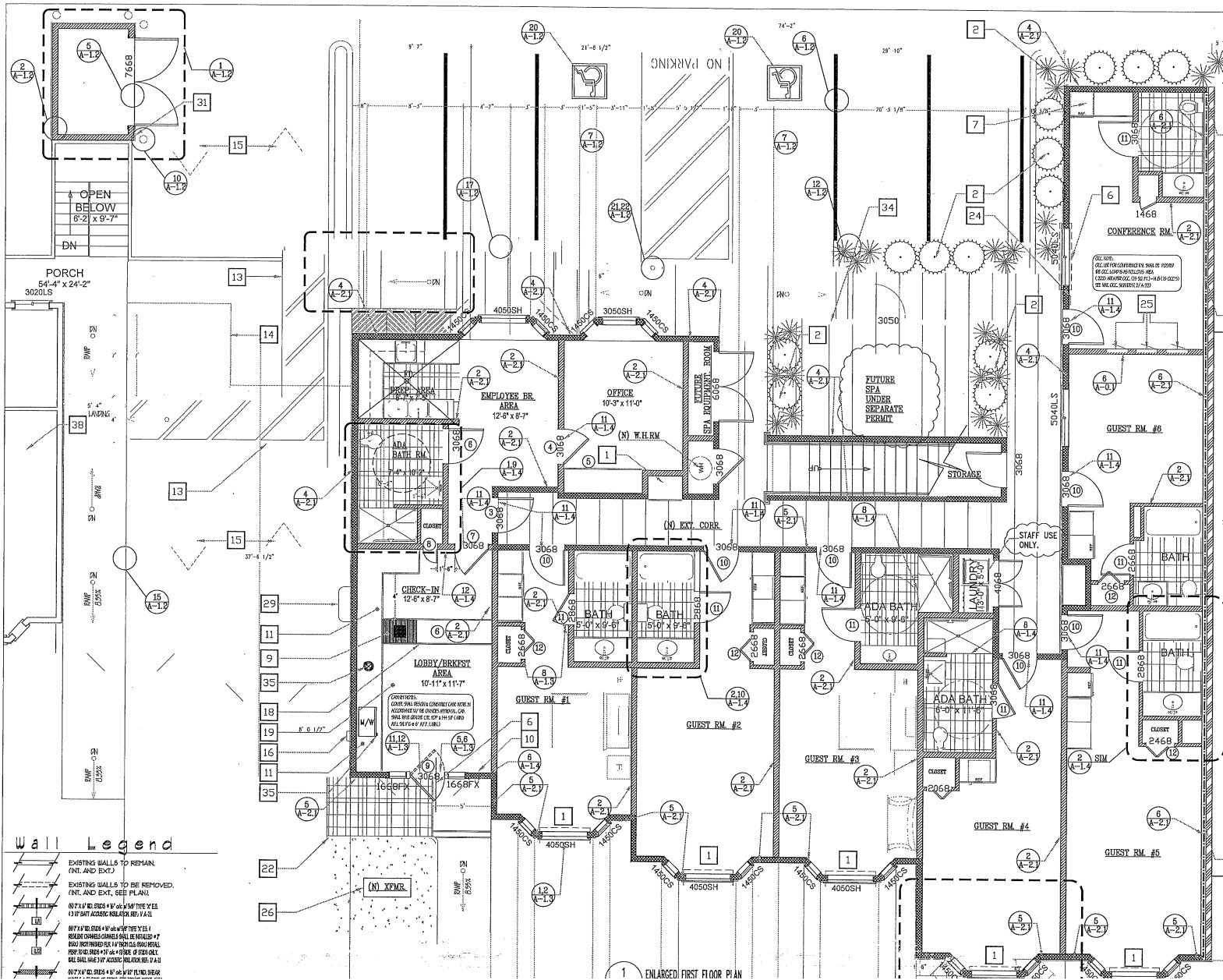
DRAWN BY: Deilly E.
CHECKED BY: BJ
IN CHARGE: Deilly E.
APPROVED BY:
DATE: 6.12.2015
REV.:

THE HARBOR VIEW INN
THE HARBOR VIEW INN
51 AVENUE LA HABRA
EL GRANADA CA.



PROJECT NO.
S.D. 310-4-14-14
SHEET 2

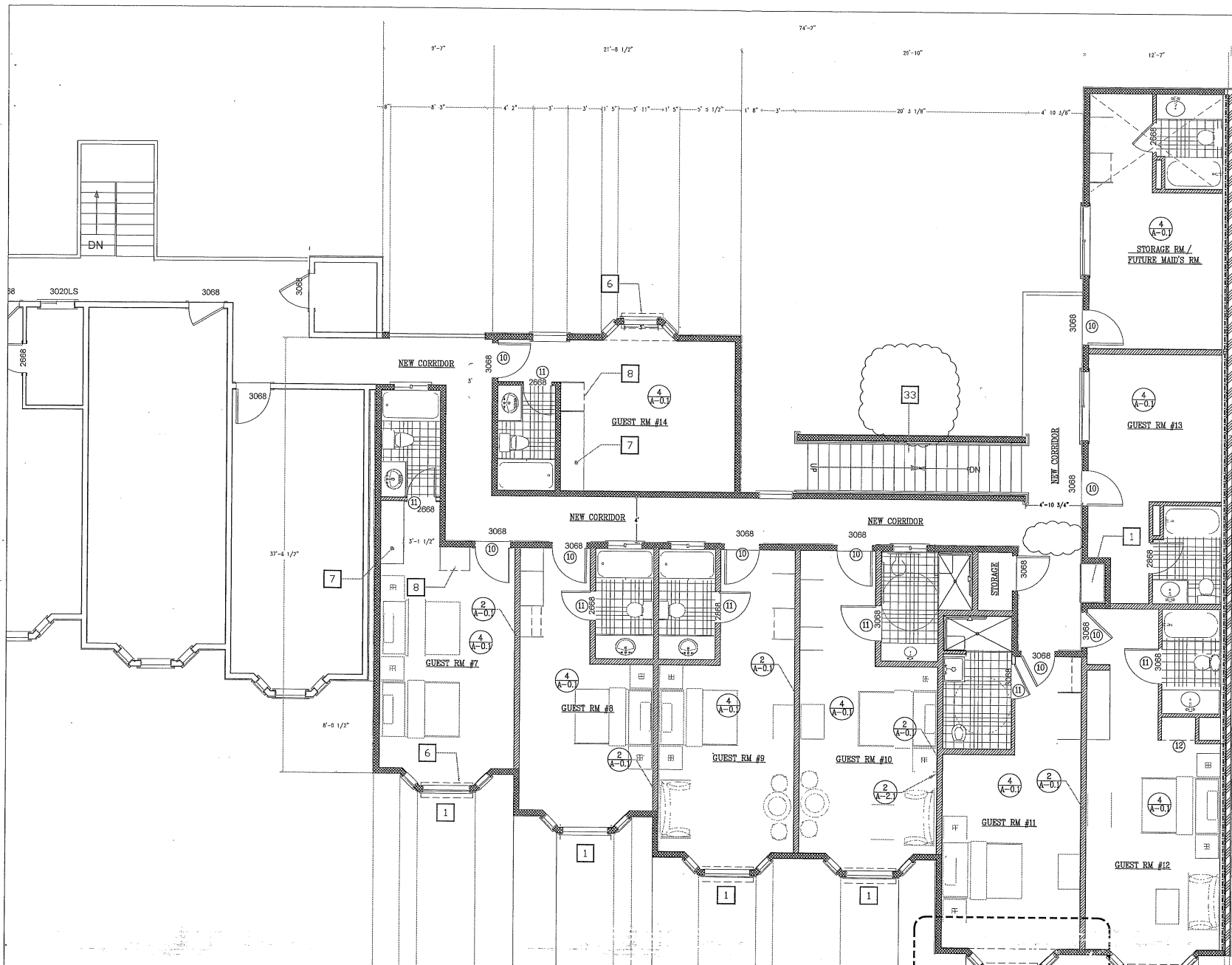
A-2.3



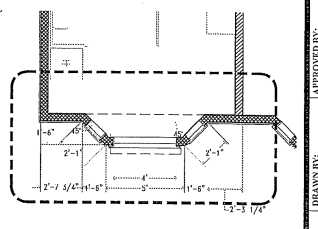
- KEY NOTES**
- 1 = VARIOUS WOODS IN THESE ROOMS SHALL CONTAIN
 - 2 = LAMINATE AREA
 - 3 = NEW SHOWER ENCLOSURE
 - 4 = 1/4" FLOOR ROOF LINE OF 2ND FLOOR
 - 5 = 2ND FLOOR CONCRETE/CONCRETE FILL
 - 6 = FLOOR FINISH (SEE SPECIFICATIONS)
 - 7 = 5/8" HOLLOW CORE/1/4" 2x4" OPENING FOR HANGERS WITH FINISH OF BASE CABINET & COUNTER TOP TO MATCH E.D. REF.
 - 8 = CLOSET W/ SHIRT RAILS
 - 9 = ACCESSIBLE 3" O.C. WIDE @ 24" HIGH SEGMENT OF CHECK-IN COUNTER
 - 10 = 5/8" 2x2" SQUARE EDGE SOUNDFIELD PANEL
 - 11 = CRANE COUNTERS LOCATED IN THE RECEPTION/RECEIPT AREA SHALL BE @ 24" AFF. FINISH TO MATCH E.D.
 - 12 = 2" SHIRT RAILS LOCATED 1" (MIN.) FROM FRONT MIRROR (SPEC. @ 24" AFF. FROM HEADS OF SEATS)
 - 13 = (1) 4" WIDE PAIR OF BRUSH FINISHED OUPPING W/ 4" HIGH W/ 4" HIGH WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 14 = (1) 2ND FLOOR GUESTS' SIGNAGE W/ LED CONC. SIGNAGE
 - 15 = (1) 6" DIAGONAL FINISH PAINTED OUTLINE W/ 1/2" COAT OF "HARBOUR" GLOSS PAINT. FINISHING TO MATCH ROOM'S FINISHING PER THE HARBOUR'S SPECIFICATIONS & APPROVALS PRIOR TO INSTALLATION.
 - 16 = (1) 4" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 17 = (1) 4" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 18 = ADA COMPLIANT W/ THE FRONT OF THE CHECK-IN COUNTER
 - 19 = WAREHOUSE FLOORING IN THE RECEPTION/RECEIPT AREA
 - 20 = (1) CONC. 48" WIDE LONG ADA COMPLIANT W/ MIN. SLOPE OF 2% & 1/4" WIDE SLOPE OF 2% PER SPEC. PLAN
 - 21 = (1) CONC. 60" WIDE LONG ADA COMPLIANT W/ MIN. SLOPE OF 2% PER SPEC. PLAN
 - 22 = 2" SWANER GROUND RAIL @ 42" AFF. @ 1/2" SWANER
 - 23 = 2" SWANER GROUND RAIL @ 42" AFF. @ 1/2" SWANER
 - 24 = OCCUPANT LOCK SIGN
 - 25 = (1) (1) 6" ELECTRICAL PANELS SEE ELECTRICAL ENGINEERING DRAWINGS
 - 26 = FINISH OF BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 27 = (1) TRANSFORMER AND CONCRETE FOR SEE ELECTRICAL DRAWINGS
 - 28 = 5/8" WIDE HORIZONTAL ACCESS PANEL. CONNECT TO COUNTER TO W/ FINISHING.
 - 29 = (1) COUNTER @ NEW HONEY WOOD PERFECT 4"
 - 30 = (1) 100 GALLONS GAS FRESH WAREHOUSE SEE DRAWING PER SPEC.
 - 31 = (1) 6" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 32 = (1) 4" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 33 = (1) 4" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 34 = (1) 6" 6" HIGH HORIZONTAL FINISH SHALL BE LOCATED AROUND THE SIDE OF THE FINISHING SPEC.
 - 35 = (1) 6" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 36 = (1) 6" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 37 = (1) 6" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 38 = (1) 6" WIDE BRUSH FINISHED OUPPING (CONCRETE) TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
 - 39 =
 - 40 =

Wall Legend

	EXISTING WALLS TO REMAIN (INT. AND EXT.)
	EXISTING WALLS TO BE REMOVED (INT. AND EXT.)
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).
	1/2" W/ 1/2" BRUSH FINISH TO BE SET IN PLACE OF BRUSH FINISH W/ SLOPE OF 2% FOR THE ENTIRE PAIR OF BRUSH. SEE SPEC. PLAN (A-1-D).



- 1 VENDING MACHINE @ HEADER ABOVE WALL OPENING.
 - 2 FTAC UNIT (TYPICAL) SEE MECH. DIAG'S.
 - 3 36" HIGH BASE CABINET w/ 24" X 34" OPENING FOR FOR MINIATURE REFR. FINISH OF BASE CABINET 4' COUNTER TOP TO MATCH (EL. REF. V A-92).
 - 4 CLOSET w/ SHELF AND POLE. V A-51.
 - 5 8' X 8' X 16" CHLD. 10 HOUR RATED AREA SEPARATION WALL w/ PARAPET EXTENDING 30" ABOVE ROOF LINE (CONT.)
 - 6 FRNK. CUT FROM CHLD. FIRE SEPARATION WALL w/ 2" X 6" UD. STUDS @ 16" o/c & 5/8" TYPE GYP. BD. WALL FINISHING SHALL BE CONTINUOUS ALONG THE ENTIRE AREA SEPARATION WALL.
 - 7 IFR 200 C.B.C. 1004-4. EXTERIOR STAIRS SHALL HAVE THE UPPER APPROACH AND ALL TREADS MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST.
- THE STRIPE SHALL BE A MINIMUM OF 2" (608.11) WIDE TO A MAXIMUM OF 4" (1016.11) WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1/4" (25.4) FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXCEED THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE.



2 BAY WINDOW
SCALE 1/4" = 1'-0"

Wall Legend

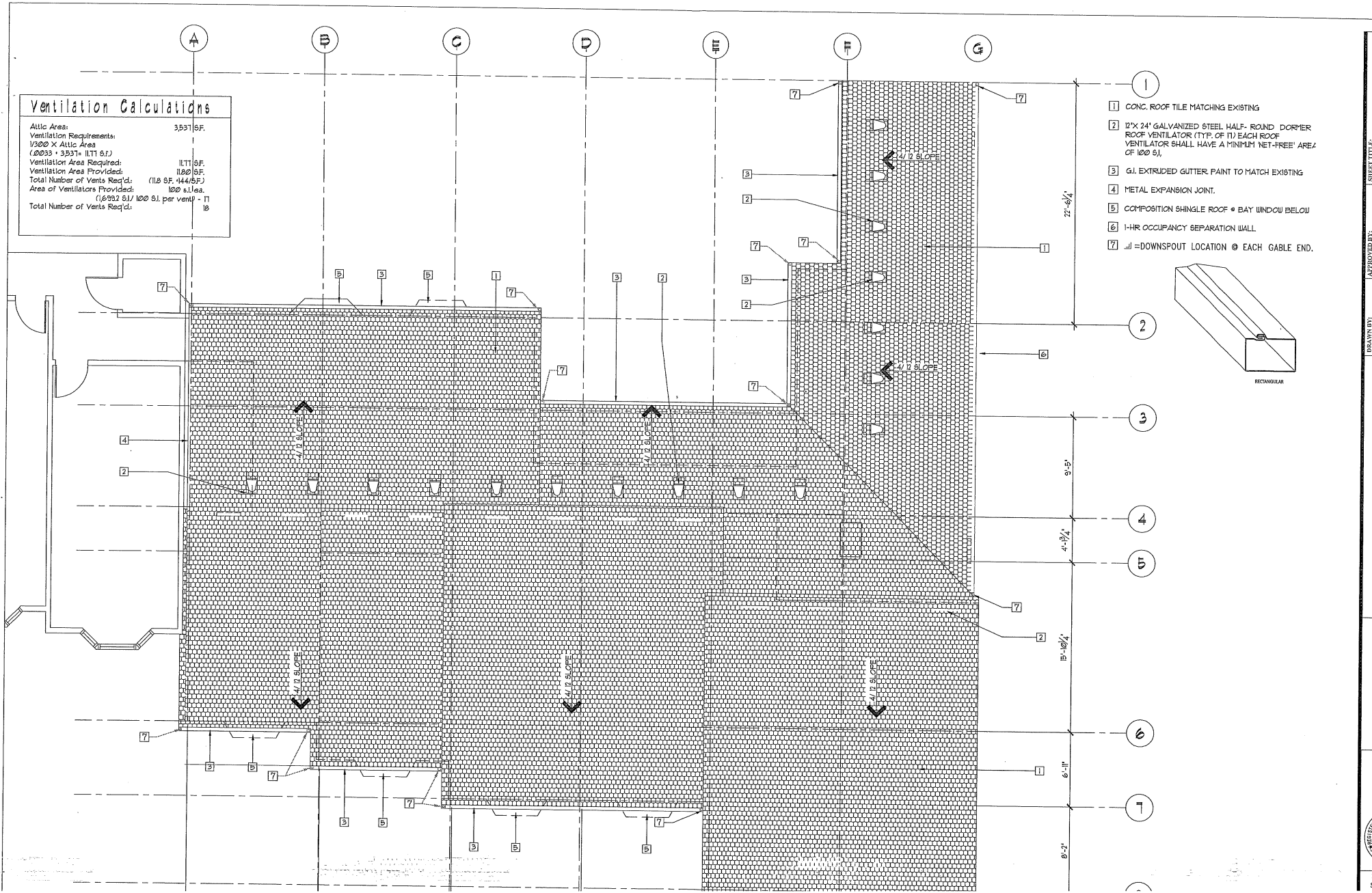
- 1 EXISTING WALLS TO REMAIN (INT. AND EXT.)
- 2 EXISTING WALLS TO BE REMOVED (INT. AND EXT. SEE PLAN)
- 3 8" X 8" UD. STUDS @ 16" o/c @ 5/8" TYPE X ES. 13 W/ 5/8" BATT ACoustic INSULATION REF. V A-11
- 4 8" X 8" UD. STUDS @ 16" o/c @ 5/8" TYPE X ES. 13 RESIST. CHANNEL CHANNELS SHALL BE INSTALLED @ 2" FROM FROM FINISHED PLR. 4" FROM GLE. (W/ GYP. BOARD) FROM TO INS. STUDS @ 16" o/c @ 10" SIDE OF STUDS ONLY. GY. BOARD SHALL HAVE 3/8" ACoustic INSULATION REF. V A-21
- 5 8" X 8" UD. STUDS @ 16" o/c @ 5/8" TYPE X ES. 13 RESIST. CHANNEL CHANNELS SHALL BE INSTALLED @ 2" FROM FROM FINISHED PLR. 4" FROM GLE. (W/ GYP. BOARD) FROM TO INS. STUDS @ 16" o/c @ 10" SIDE OF STUDS ONLY. GY. BOARD SHALL HAVE 3/8" ACoustic INSULATION REF. V A-21
- 6 8" X 8" UD. STUDS @ 16" o/c @ 10" LATER 5/8" TYPE X ES. 13 AND 1/2" FIN. UD. BEARING, 5/8" TYPE X BATT RESISTANT GY. BOARD LAYERS OF THE 1/2" BLDG. PAPER AND LAP BOARD BENDS @ EXTERIOR EDGE OF STUDS. WALL SHALL HAVE 3/8" BATT REF. V A-21
- 7 8" X 8" UD. STUDS @ 16" o/c @ 10" LATER 1/2" FIN. UD. BEARING, 5/8" TYPE X BATT RESISTANT GY. BOARD LAYERS OF THE 1/2" BLDG. PAPER AND LAP BOARD BENDS @ EXTERIOR EDGE OF STUDS. WALL SHALL HAVE 3/8" BATT REF. V A-21

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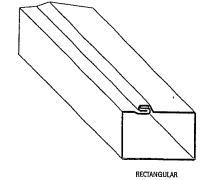
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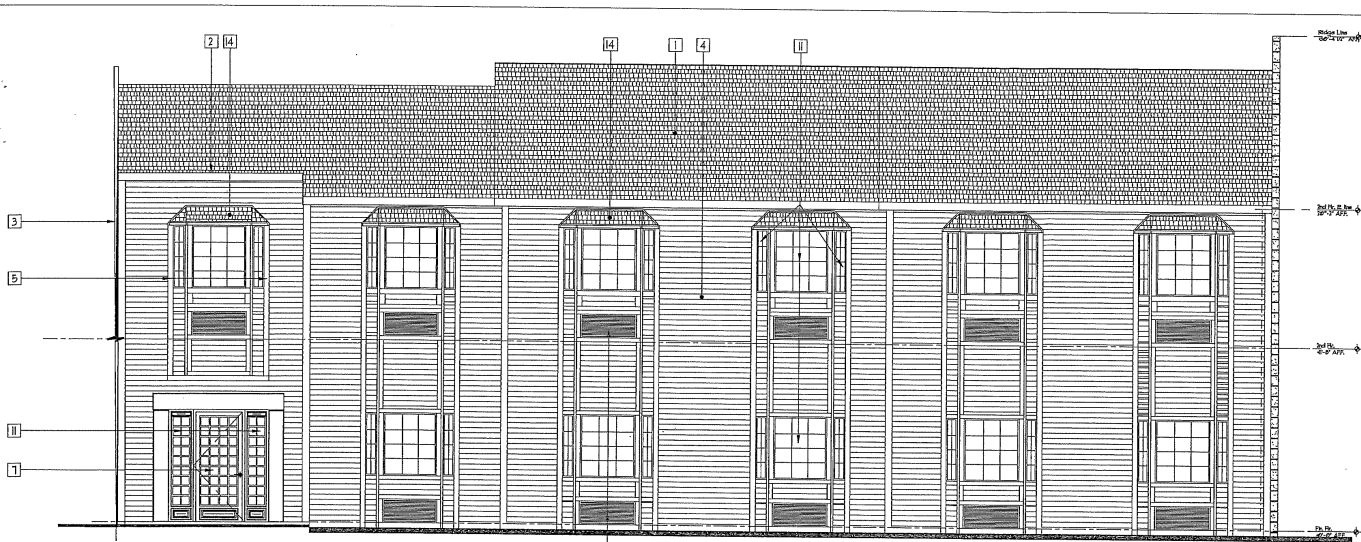
Ventilation Calculations

Attic Area: 3537.9 SF.
 Ventilation Requirements:
 1/300 X Attic Area
 (12033 ÷ 3537) = 11.11 S.F.
 Ventilation Area Required:
 Ventilation Area Provided: 1120 S.F.
 Total Number of Vents Req'd: (11.8 S.F. / 44.4 S.F.)
 Area of Ventilators Provided: 120 S.I. ea.
 (16932 S.I. / 120 S.I. per vent) = 17
 Total Number of Vents Req'd: 18



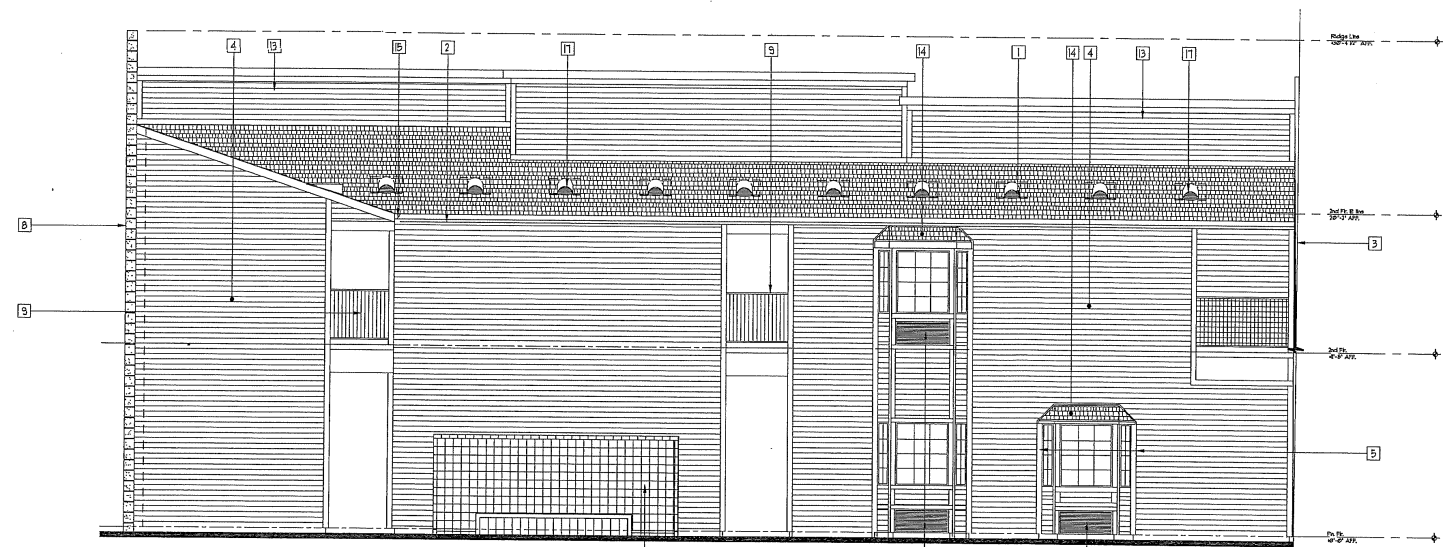
- 1 CONC. ROOF TILE MATCHING EXISTING
- 2 12" X 24" GALVANIZED STEEL HALF-ROUND DORMER ROOF VENTILATOR (TYP. OF 17) EACH ROOF VENTILATOR SHALL HAVE A MINIMUM NET-FREE AREA OF 120 S.I.
- 3 G.I. EXTRUDED GUTTER PAINT TO MATCH EXISTING
- 4 METAL EXPANSION JOINT.
- 5 COMPOSITION SHINGLE ROOF @ BAY WINDOW BELOW
- 6 1-HR OCCUPANCY SEPARATION WALL
- 7 = DOWNSPOUT LOCATION @ EACH GABLE END.





1
A-3
NEW SOUTH ELEVATION
SCALE 1/4" = 1'-0"

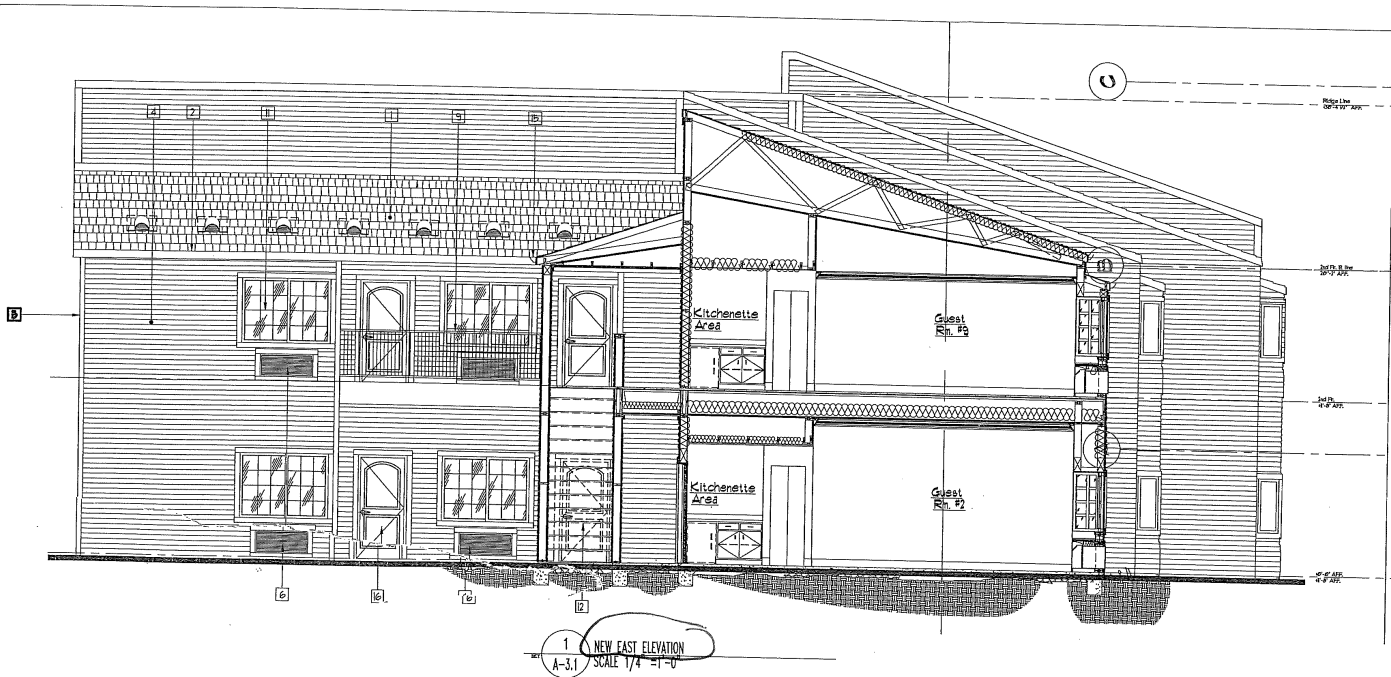
- 1 CONG. ROOF TILE MATCHING EXISTING
- 2 ACCENT FASCIA. COLOR: S02391 FALLING WATER, SUPER PAINT GLOSS. (TYP)
- 3 METAL FLASHING BETWEEN NEW AND EXISTING BUILDING AS REQ'D.
- 4 WD. SIDING MATCHING EXISTING. COLOR: S02812 ROCKWOOD JADE, SUPER PAINT STAIN. (TYP. - INCLUDING EXISTING STRUCTURE.
- 5 WD. TRIM. COLOR: S02834 BIRDBEYE MAPLE, SUPER PAINT GLOSS. (TYP.)
- 6 ROOM A.C. UNIT GRILLE. COLOR TO MATCH SIDING.
- 7 ACCENT DOOR (TYP.) COLOR: S02811 ROCKWOOD BLUE GREEN, SUPER PAINT GLOSS.
- 8 I-HR WALL
- 9 MTL. RAILING TO MATCH EXISTING
- 10 TILE WAINSCOTING
- 11 WINDOW TO MATCH EXISTING
- 12 STAIR, SEE FLOOR PLAN
- 13 6' X 18' ROOF ATTIC VENT, TO MATCH EXISTING. (TYP.)
- 14 COMPOSITION SHINGLE ROOF • BAY WINDOW O/ 2-LAYERS OF #5 FELT O/ CDX FLY DECK (CLASS 'B' RR. MIN.) TO MATCH EXISTING
- 15 G.I. EXTRUDED GUTTER/PAINT TO MATCH EXISTING
- 16 EXTERIOR DOOR SHALL MATCH EXISTING
- 17 12' X 24' METAL ROOF VENTILATOR (TYP. OF 11).



2
A-3
NEW NORTH ELEVATION
SCALE 1/4" = 1'-0"

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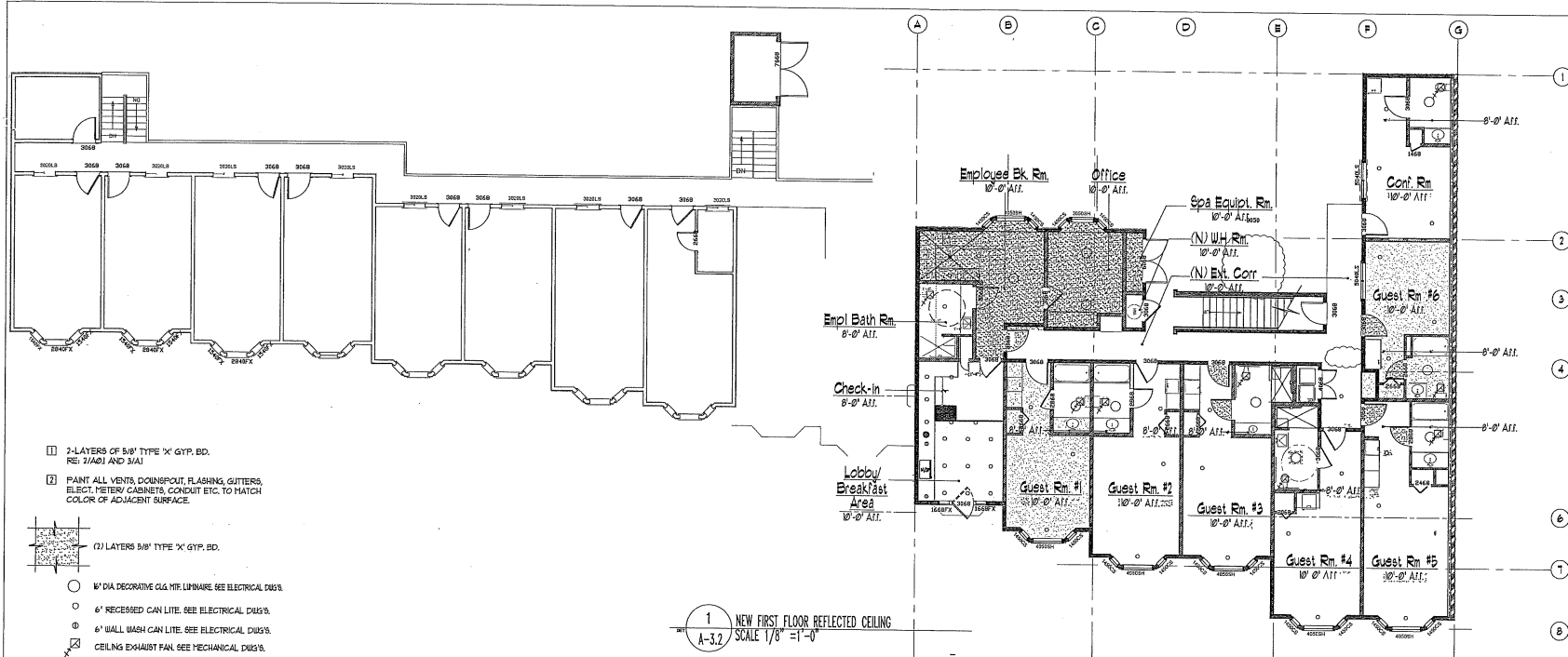
SCALE: 1/4" = 1'-0"



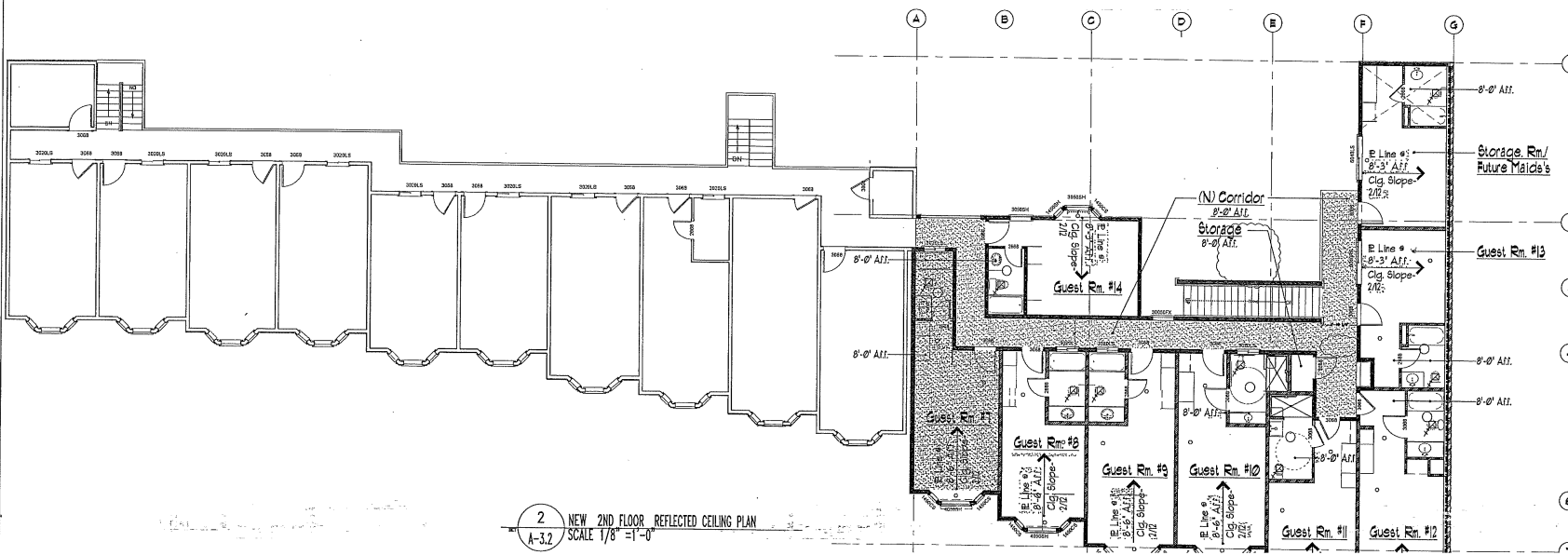
- 1 CONC. ROOF TILE MATCHING EXISTING
- 2 ACCENT FASCIA. COLOR: S02391 FALLING WATER, SUPER PAINT GLOSS. (TYP)
- 3 METAL FLASHING BETWEEN NEW AND EXISTING BUILDING AS REQ'D.
- 4 UD. SIDING MATCHING EXISTING. COLOR: S02812 ROCKWOOD JADE, SUPER PAINT STAIN. (TYP. - INCLUDING EXISTING STRUCTURE)
- 5 UD. TRIM. COLOR: S02834 BIRDBEYE MAPLE, SUPER PAINT GLOSS. (TYP.)
- 6 ROOM A.C. UNIT GRILLE. COLOR TO MATCH SIDING.
- 7 ACCENT DOOR (TYP.) COLOR: S02811 ROCKWOOD BLUE GREEN, SUPER PAINT GLOSS.
- 8 1-HR. WALL
- 9 MTL. RAILING TO MATCH EXISTING
- 10 TILE WAINSCOTING
- 11 WINDOW TO MATCH EXISTING
- 12 STAIR. SEE FLOOR PLAN
- 13 6' X 18' ROOF ATTIC VENT. TO MATCH EXISTING. (TYP.)
- 14 COMPOSITION SHINGLE ROOF @ BAY WINDOW OR 2-LAYERS OF 1/2 FELT / CDX FLY DECK (CLASS 'B' RF. MIN.) TO MATCH EXISTING
- 15 G.I. EXTRUDED GUTTER/PAIN TO MATCH EXISTING
- 16 EXTERIOR DOOR SHALL MATCH EXISTING
- 17 12' X 24' METAL ROOF VENTILATOR (TYP. OF IT.)

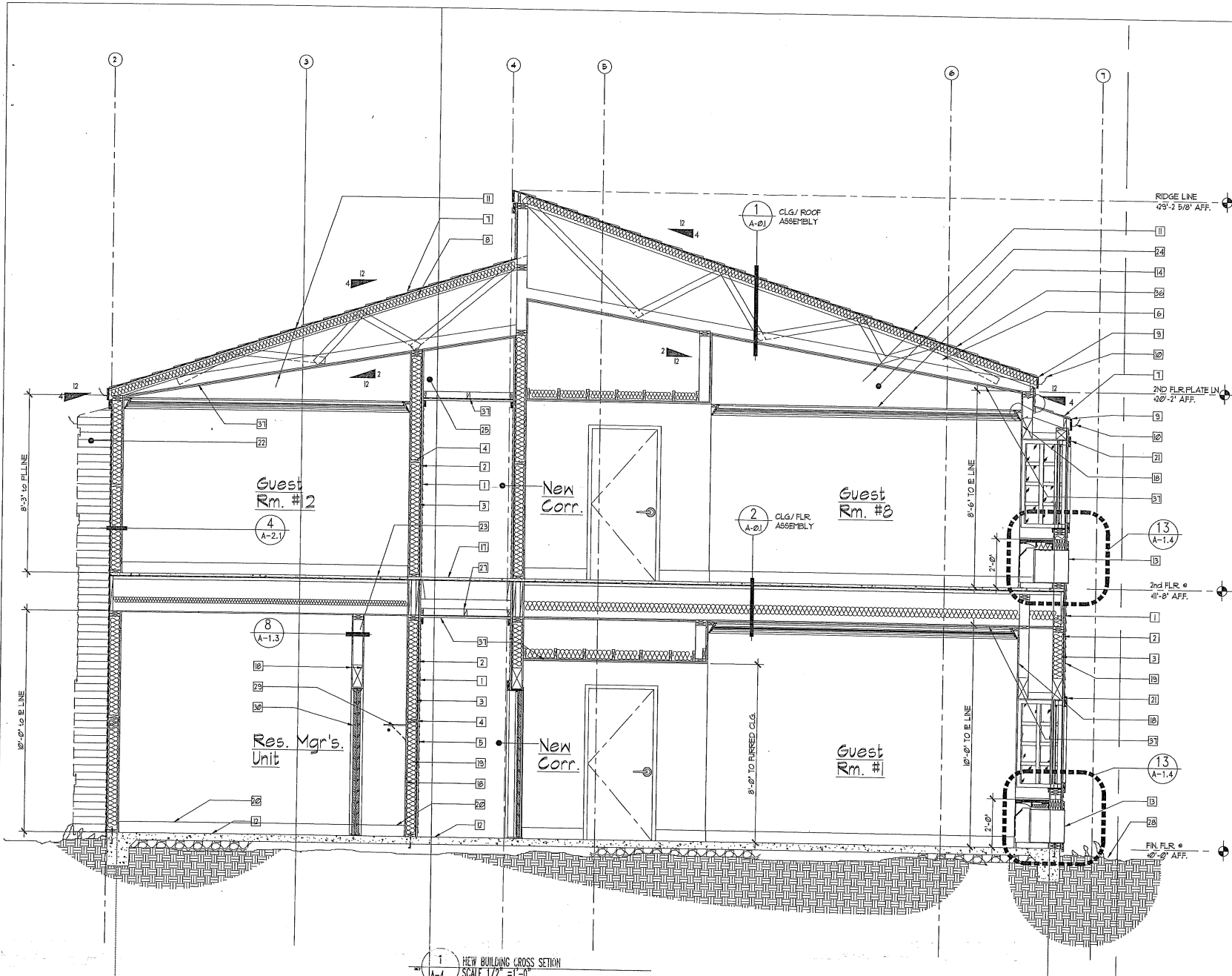
not east
 this is west - at attachment to existing bldg.





- 1 2-LAYERS OF 5/8" TYPE 'X' GYP. BD.
RE: 2/A&I AND 3/AI
- 2 PAINT ALL VENTS, DOWNSPOUT, FLASHING, GUTTERS,
ELECT. METERS/ CABINETS, CONDUIT ETC. TO MATCH
COLOR OF ADJACENT SURFACE.
- 3 2 LAYERS 5/8" TYPE 'X' GYP. BD.
- 4 1/2" DIA. DECORATIVE CLG. MF. LINNARE. SEE ELECTRICAL DWS'S.
- 5 6" RECESSED CAN LITE. SEE ELECTRICAL DWS'S.
- 6 6" WALL WASH CAN LITE. SEE ELECTRICAL DWS'S.
- 7 CEILING EXHAUST FAN. SEE MECHANICAL DWS'S.
- 8 6" X 12" WD. HEADER. SEE STRUCT. DWS'S.



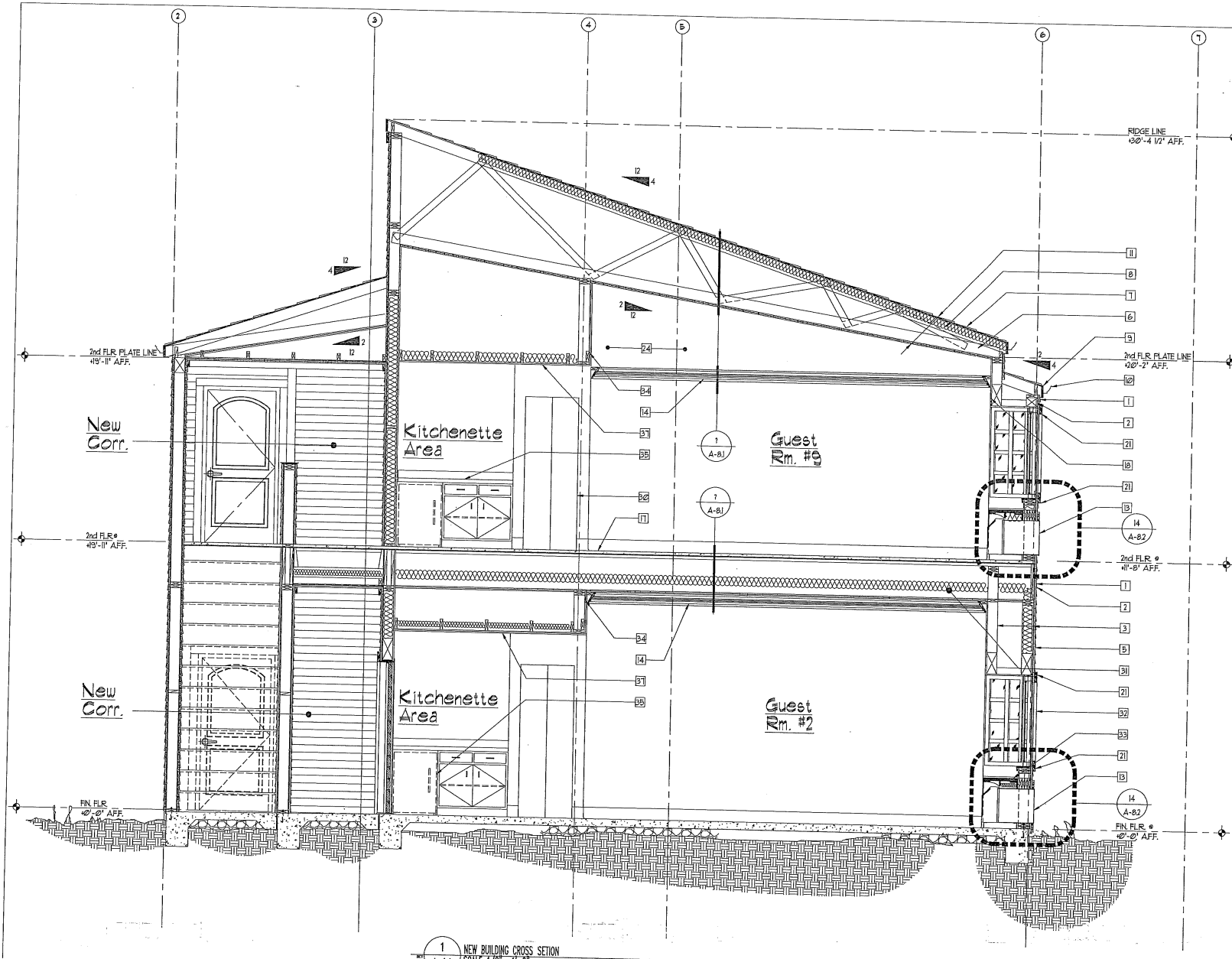


Keynotes

- 1 LAP BOARD SIDING (MATCH EXISTING SIDING).
- 2 1/2" PLYUD. SHEATH'G. (SEE STRUCT. DIAG.)
- 3 2 X 6 STUDS @ 16" O.C. (SEE STRUCT. DIAG.)
- 4 2 X 6 FIRE BLKG. @ 10'-0" O.C. HORIZ. & VERT.
- 5 5/8" TYPE 'X' WATER RESISTANT GYP. BD.
- 6 PRE-ENGINEERED SCISSOR TRUSS. SEE STRUCT. DIAG'S.
- 7 COMPOSITION SHINGLE or 2 PLY 15 BLDG. PAPER & CDX PLYUD. CLASS 'B' RF. MIN.
- 8 R-30 INSULATION @ ATTIC SPACE.
- 9 2' X WD. FASCIA (TYPICAL)
- 10 G. I. EXTRUDED GUTTER (TYPICAL)
- 11 1 HOUR RF./CLG. ASSEMBLY, REF. 2/ A-01.
- 12 CONC. FLR. SLAB (SEE STRUCT. DIAG.)
- 13 F.T.A.C./WINDOW SEAT ASSEMBLY.
- 14 CROWN MOLDING (MATCH EXISTING)
- 15 4 1/2 SLOPE RF. SLOPE
- 16 2 1/2 SLOPE AT CEILING
- 17 1" GYPCRETE' O/ 3/4" T. & G. FLOOR @ 2nd FLR.
- 18 5/8" TYPE 'X' GYP. BD.
- 19 R-15 INSULATION @ WALLS (TYPICAL)
- 20 6" WD. BASE (MATCH EXISTING)
- 21 2" X WOOD TRIM (MATCH EXISTING)
- 22 NEW WINDOW SEAT BAY BEYOND.
- 23 1 HOUR FLOOR/CEILING ASSEMBLY, REF. 1/ A-01
- 24 FURR OUT WALL TO ABOVE TO ALIGN w/ MOLDING (TYPICAL @ 2nd FLR.)
- 25 ATTIC SPACE ABOVE (TYPICAL @ 2nd FLR.)
- 26 NOT USED.
- 27 2" X 4" WD. BLKG. SEE STRUCT. DIAG'S.
- 28 FINISHED GRADE.
- 29 12" WD. SHELF AND 1 1/2" POLE IN CLOSET (TYPICAL)
- 30 (1) PAIR CLOSET SLIDING DOORS w/ MIRRORS (DR. TYPE 'D', SEE DOOR SCHEDULE), TYPICAL @ GUEST ROOM CLOSETS.
- 31 3 1/2" BATT SOUND INSULATION
- 32 'BAY WINDOW' ASSEMBLY
- 33 WINDOW SEAT
- 34 RESILIENT CHANNEL
- 35 Kitchenette Area w/ 'MINI' REFR. BELOW BASE CABINET (w/ ADJ. SHELVES)
- 36 CONC. ROOF TILE TO MATCH EXISTING
- 37 (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. AT UNDERSIDE OF FLR. OF CLG. TRUSSES. (WATER-PROOF AS OCCURS) REF. 345/ A-10.

1 NEW BUILDING CROSS SECTION
SCALE 1/8" = 1'-0"

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- 1 LAP BOARD SIDING (MATCH EXISTING SIDING).
- 2 1/2" PLYM. SHEATHG. (SEE STRUCT. DIAG.)
- 3 2 X 6 STUDS @ 16" O.C. (SEE STRUCT. DIAG.)
- 4 2 X 6 FIRE BLKG. @ 10'-0" O.C. HORIZ. & VERT.
- 5 5/8" TYPE 'X' WATER RESISTANT GYP. BD.
- 6 PRE-ENGINEERED SCISSOR TRUSS SEE STRUCT. DIAG'S
- 7 COMPOSITION SHINGLE o/2 PLY #5 BLDG. PAPER & CDX PLYUD. CLASS 'B' RF. MIN.
- 8 R-30 INSULATION @ ATTIC SPACE.
- 9 2" X WD. FASCIA (TYPICAL).
- 10 G. I. EXTRUDED GUTTER (TYPICAL).
- 11 1 HOUR REF/ CLG. ASSEMBLY.
- 12 CONC. FLR. SLAB (SEE STRUCT. DIAG.)
- 13 P.T.A.C./ WINDOW SEAT ASSEMBLY.
- 14 CROWN MOLDING (MATCH EXISTING).
- 15 4/2 SLOPE RF. SLOPE
- 16 2/12 SLOPE AT CEILING.
- 17 1" GYPCRETE' O/ 3/4" T. & G. FLOOR @ 2nd FLR.
- 18 5/8" TYPE 'X' GYP. BD.
- 19 R-19 INSULATION @ WALLS (TYPICAL).
- 20 6" WD. BASE (MATCH EXISTING).
- 21 2" X WOOD TRIM (MATCH EXISTING).
- 22 NEW WINDOW SEAT BAY BEYOND.
- 23 1 HOUR FLOOR/ CEILING ASSEMBLY. REF: 1/ A-01
- 24 RIPP OUT WALL TO ADJUST TO ALIGN w/ MOLDING (TYPICAL @ 2nd FLR.)
- 25 ATTIC SPACE ABOVE (TYPICAL @ 2nd FLR.)
- 26 NOT USED.
- 27 2" X 4" WD. BLKG. SEE STRUCT. DIAG'S.
- 28 FINISHED GRADE.
- 29 12" WD. SHELF AND 1 1/2" POLE IN CLOSET (TYPICAL).
- 30 (1) PAIR CLOSET SLIDING DOORS w/ MIRRORS (DR. TYPE 'D', SEE DOOR SCHEDULE) TYPICAL @ GUEST ROOM CLOSETS.
- 31 3 1/2" BATT SOUND INSULATION.
- 32 'BAY WINDOW' ASSEMBLY
- 33 WINDOW SEAT
- 34 RESILIENT CHANNEL.
- 35 Kitchenette Area w/ 'MINI' REFR. BELOW BASE CABINET (w/ ADJ. SHELVES).
- 36 CONC. ROOF TILE TO MATCH EXISTING
- 37 (2) LAYERS OF 5/8" TYPE 'X' GYP. BD. AT UNDERSIDE OF FLR. OF CLG. TRUSSES. (WATER- PROOF AS OCCURS) REF: 345

1 NEW BUILDING CROSS SECTION

APPROVED BY: [Signature] DATE: [Date]
 DRAWN BY: [Signature]