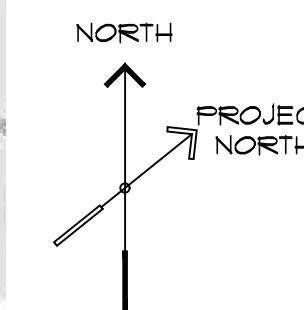


# INDEX OF DRAWINGS

## ARCHITECTURAL

- COVER VICINITY MAP & PROPERTY SUMMARY
- A01 AREA PLAN CALCULATIONS
- A11 SITE PLAN
- A21 LOWER LEVEL PLAN
- A22 MAIN LEVEL PLAN
- A23 COURTYARD PLAN
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- A25 MEZZANINE & ROOF PLAN
- A31 EXTERIOR ELEVATIONS
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- A33 EXTERIOR ELEVATIONS
- A34 EXTERIOR ELEVATIONS
- A41 BUILDING CROSS-SECTION
- A42 BUILDING CROSS-SECTION



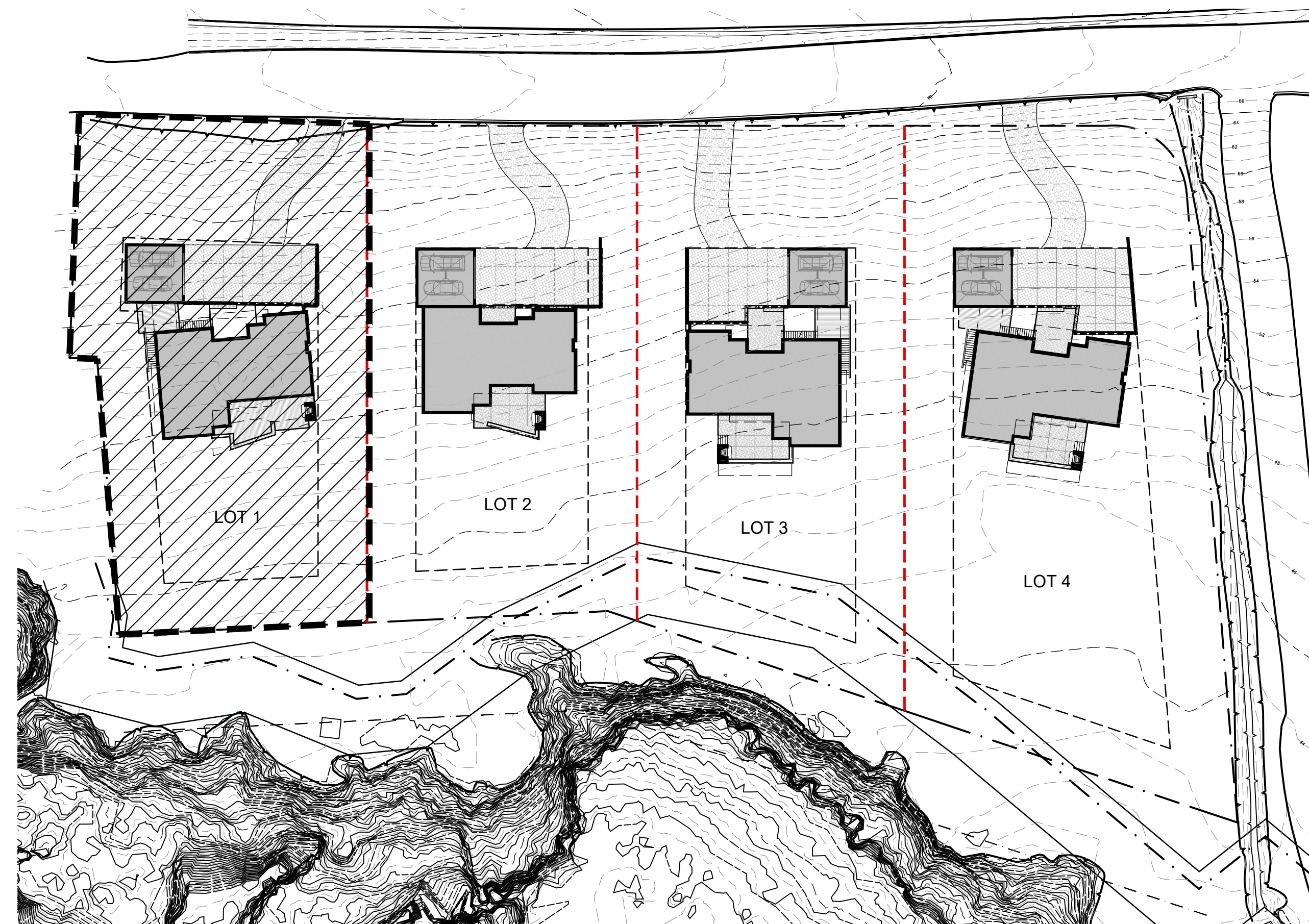
# LOT 1

# MOSS BEACH - LOT 1

## VALLEMAR ST. & JULIANNA AVE.

### GENERAL NOTES

1. DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THIS ARCHITECT. WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED AND CONSTRUCTED OR NOT, THESE DOCUMENTS ARE NOT TO BE REPRODUCED IN ANY FORM AND THEY ARE NOT TO BE USED BY THE PROJECT OWNER NOR ANY OTHER ENTITY ON ANY OTHER PROJECTS OR FOR ANY EXTENSIONS OR ADDITIONS OR ALTERATIONS TO THE ORIGINAL PROJECT EXCEPT BY WRITTEN AUTHORIZATION AND PERMISSION FROM AND AGREEMENT WITH THIS ARCHITECT.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
3. CONTRACTOR MUST COMPLY WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES, ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THOSE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
5. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
6. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS AND/OR SPECIFICATIONS TO THE TRADES UNDER THEIR JURISDICTION.
7. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
8. ALL MATERIALS SHALL BE NEW UNLESS NOTED OTHERWISE. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
9. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO", "EQUIVALENT" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
10. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR THEIR WORK.
12. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEPT CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
13. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.
14. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.
15. TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.
16. UPON COMPLETION OF THE WORK THE CONTRACTOR SHALL WALK THROUGH WITH THE ARCHITECT AND COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.
17. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION OF THE OWNER AND THE ARCHITECT.
18. THE DESIGN, ADEQUACY, AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR ENGINEER. THE GENERAL CONT. IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE THROUGHOUT CONSTRUCTION.
19. ANY AMBIGUITIES, DISCREPANCIES, OR CONFLICTS DISCOVERED THROUGH THE USE OF THESE DRAWINGS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.



VICINITY MAP  
NTS

### PROPERTY SUMMARY

LOT: 1

APN: 037086230  
 PARCEL ID: T.B.D.  
 CITY NAME: MOSS BEACH (UNINC)  
 ZIP CODE: 94038  
 MITIGATION FEE AREA: MIDCOAST URBAN

ZONING: RM-CZ/DR/CD  
 MIDCOAST LCP

Maximum Building Height: 28'

Parcel SF: 23,473 SF  
 Maximum Floor Building Area: 6,200 SF.

#### SQUARE FOOTAGE SUMMARY

LOWER LEVEL (GROSS)	1,763#
MAIN LEVEL (GROSS)	2,234#
TOTAL FLOOR AREA (GROSS)	3,997#
GARAGE (GROSS)	576#
GARAGE STORAGE (GROSS)	276#
ROOF ACCESS (HABITABLE)	239#
COVERED ENTRY PATIO	168#
COVERED REAR DECK	333#
ELEVATED DECKS	
ENTRY DECK	189#
GARAGE DECK	182#
REAR DECK	410#

### ARCHITECT



102 NORTH BROADWAY AVE.  
 BOZEMAN, MT 59715  
 OFFICE: 406.587.1997 FAX: 406.587.0311  
 WWW.PEARSONDESIGNGROUP.COM

### ISSUE DATE

**COUNTY COASTSIDE  
 DESIGN REVIEW SET**

**JULY 24, 2017**

**REVISION 1 - AUGUST 25, 2017**

**SITE LEGEND**

EXISTING 5 FT. CONTOURS	----- 7565 -----
EXISTING 1 FT. CONTOURS	----- 92'-0" -----
NEW CONTOURS	----- 92'-0" -----
PROPERTY LINE	----- 92'-0" -----
EASEMENT, SETBACK OR ENVELOPE	----- 92'-0" -----
PROPOSED NEW PROPERTY LOT LINE	----- 92'-0" -----
EXISTING PROPERTY LOT LINE	----- 92'-0" -----
EXISTING TREE (TO REMAIN)	----- 92'-0" -----
EXISTING TREE DRIPLINE	----- 92'-0" -----
14'-0" WIDE PERVIOUS PAVING DRIVEWAY (W/ "TWO-TRACK" VEGETATION STRIP)	----- 92'-0" -----
PERVIOUS PAVING COURTYARD (PARKING)	----- 92'-0" -----
RE-VEGETATED NATIVE GRASS MEADOW	----- 92'-0" -----
PROTECTED GRASSLANDS, ZONE A	----- 92'-0" -----
PROTECTED GRASSLANDS, ZONE B	----- 92'-0" -----
100' BUFFER FROM LEPTOSIPHON	----- 92'-0" -----

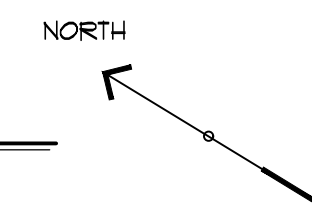
**GENERAL SITE NOTES**

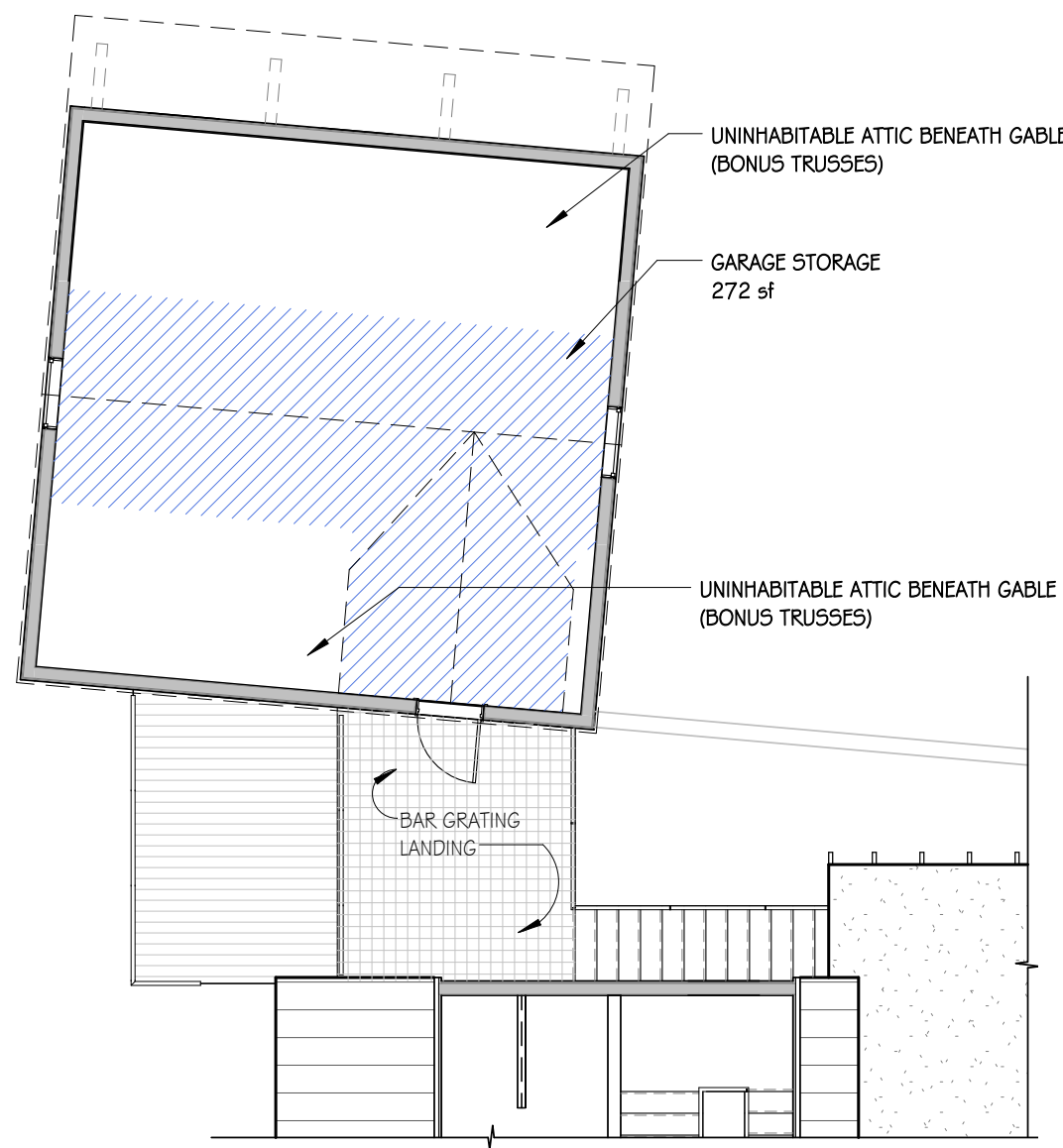
1. GRADING NOTES & SPOT ELEVATIONS, SEE CIVIL DRAWINGS
2. UTILITY AND LOCATION INFORMATION, SEE CIVIL DRAWINGS
3. AREA OF DISTURBANCE TO BE MINIMIZED BY CONTRACTOR
4. SPECIFIC TREE REMOVAL SPECIFICATIONS, SEE LANDSCAPE
5. RETAINING WALLS, TERRACES, AND FENCES, SEE LANDSCAPE FOR LOCATION & APPEARANCE

ELEVATION  
 0'-0" = 54'-9"  
 LOWER LEVEL ELEVATION  
 0'-3" = 55'-0"  
 GARAGE FLOOR ELEVATION  
 11'-3" = 66'-0"  
 MAIN LEVEL ELEVATION  
 11'-3" = 66'-0"



**SITE PLAN - LOT 1**  
 SCALE: 1/8"=1'-0"





**4 GARAGE STORAGE LEVEL AREA PLAN**  
1/8" = 1'-0"

**SQUARE FOOTAGES**

LOWER LEVEL (GROSS)	1,763 sf
MAIN LEVEL (GROSS)	2,234 sf
<b>TOTAL SQ. FT.</b>	<b>3,997 sf</b>

GARAGE (GROSS)	576 sf
GARAGE STORAGE (GROSS)	272 sf

ROOF ACCESS (HABITABLE)	239 sf
-------------------------	--------

COVERED ENTRY PATIO	168 sf
COVERED REAR DECK	333 sf

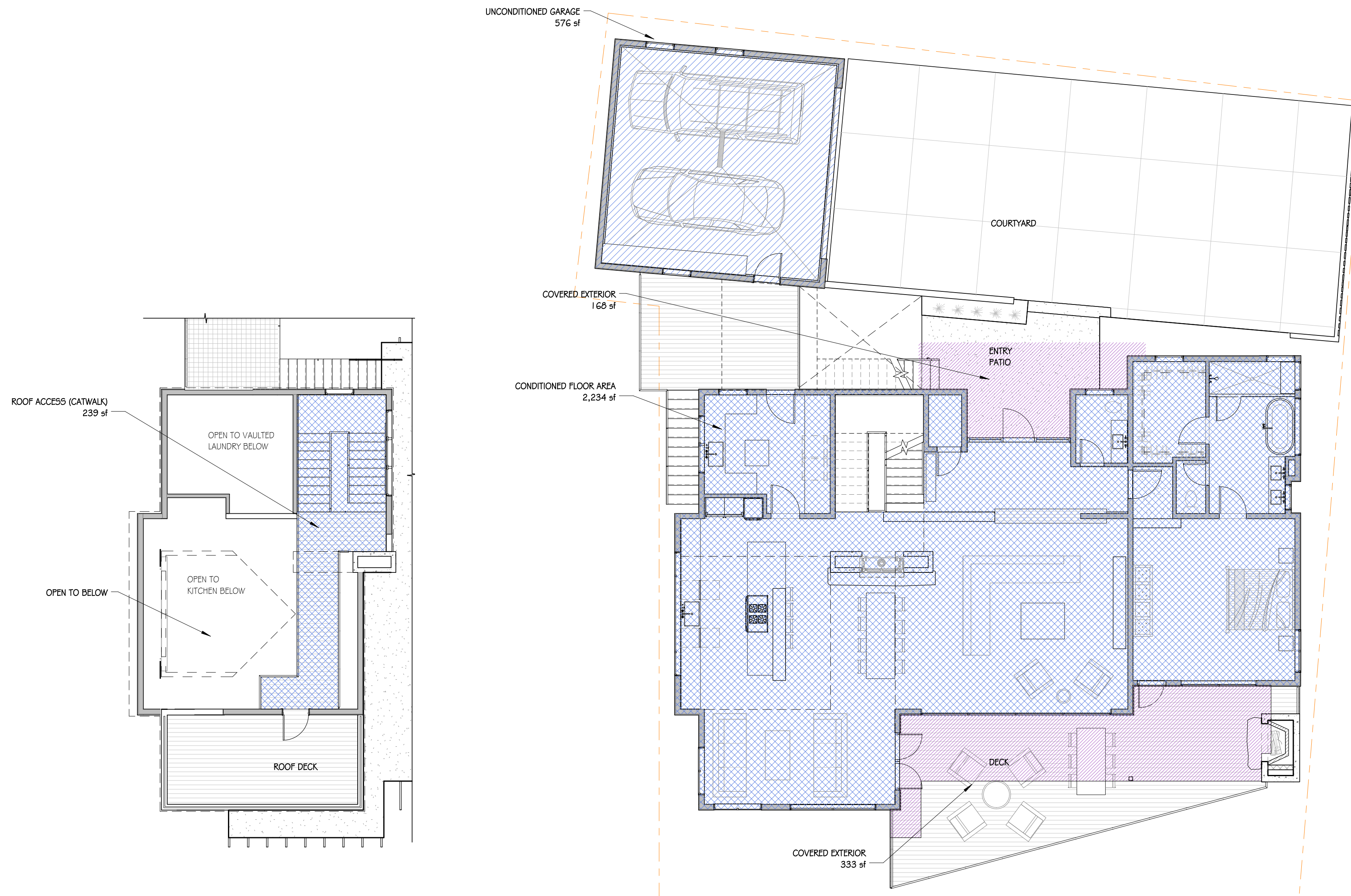
<b>ELEVATED DECKS</b>	
ENTRY DECK	189 sf
GARAGE DECK	182 sf
REAR DECK	410 sf
	<b>781 sf</b>

$(1,763' + 576' + 781') / 23,473' =$	
<b>TOTAL LOT COVERAGE</b>	<b>13.29%</b>

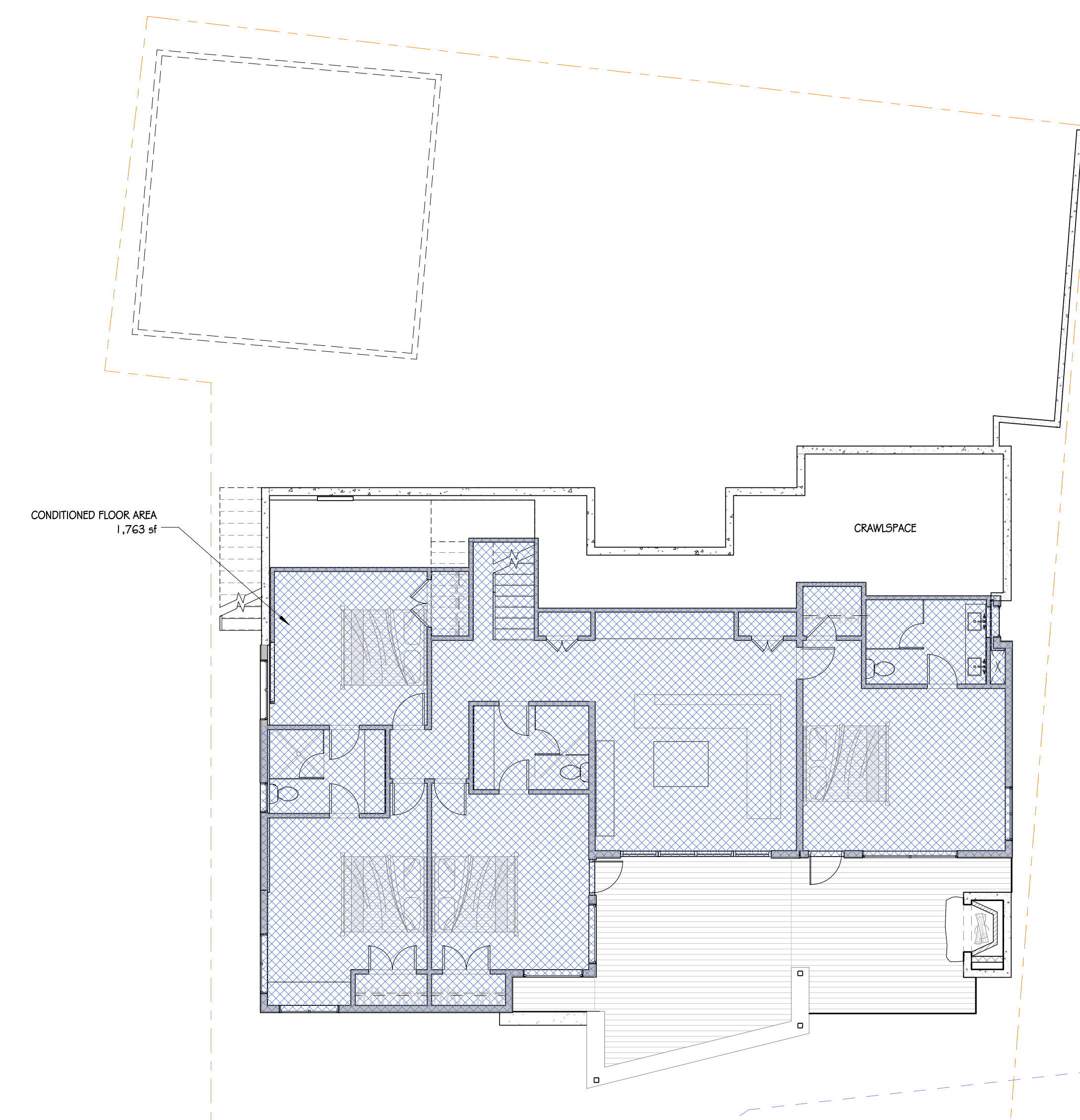
$(5084') / 23,473' =$	
<b>FLOOR AREA RATIO (FAR)</b>	<b>.21</b>

**HATCH LEGEND**

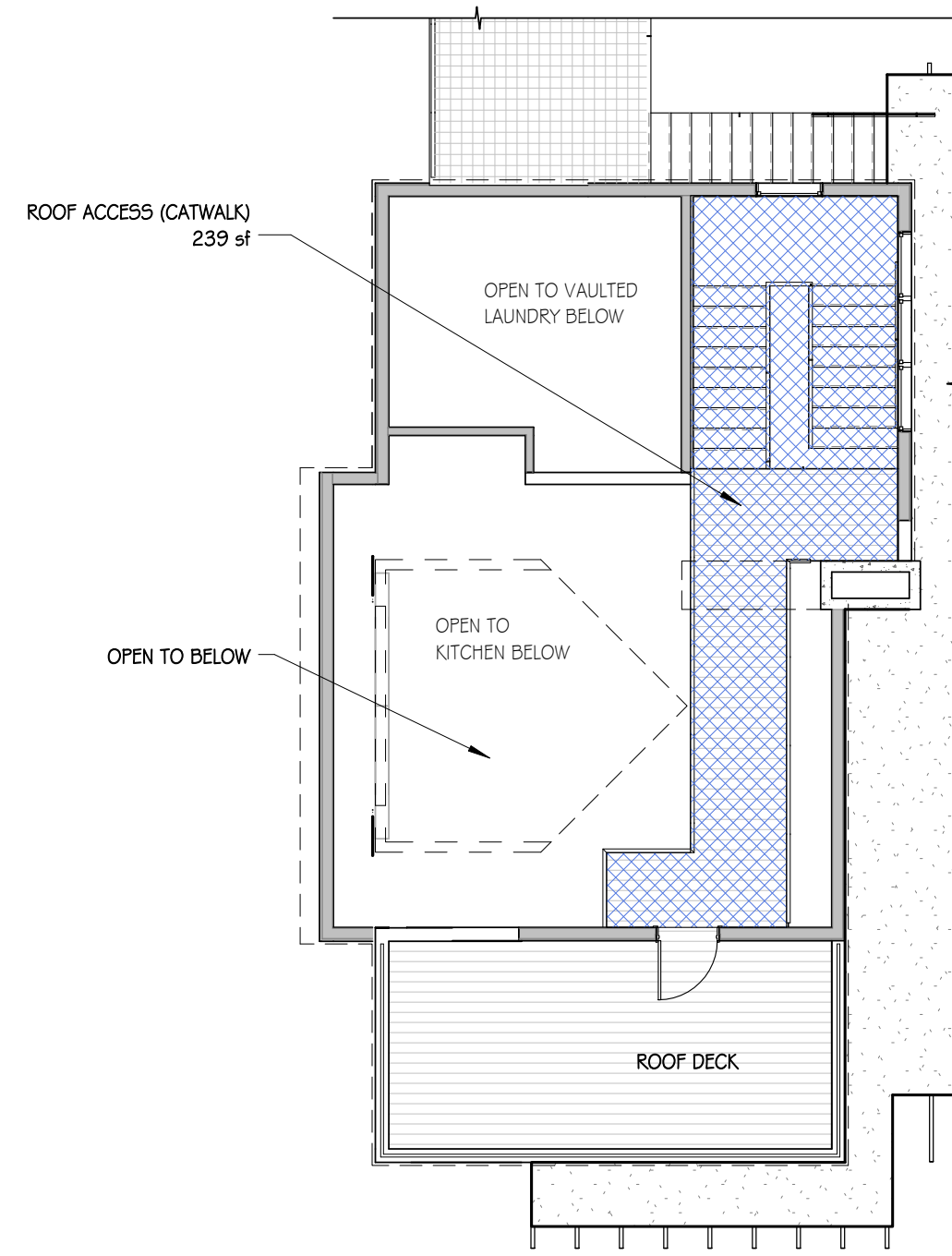
	<b>CONDITIONED FLOOR AREA</b> per SECTION 6908C SUBSECTION a. (1) The floor area of all stories excluding uninhabitable attics as measured from the outside face of all exterior perimeter walls.
	<b>COVERED PATIO OR DECK</b> per SECTION 6908C SUBSECTION a. (2) The area of all decks, porches, balconies or other areas covered by a waterproof roof which extends four (4) or more feet from exterior walls.
	<b>UNCONDITIONED (GARAGE) FLOOR AREA</b> per SECTION 6908C SUBSECTION a. (3) The area of all garages and carports.



**2 MAIN LEVEL - AREA PLAN**  
1/8" = 1'-0"



**1 LOWER LEVEL - AREA PLAN**  
1/8" = 1'-0"

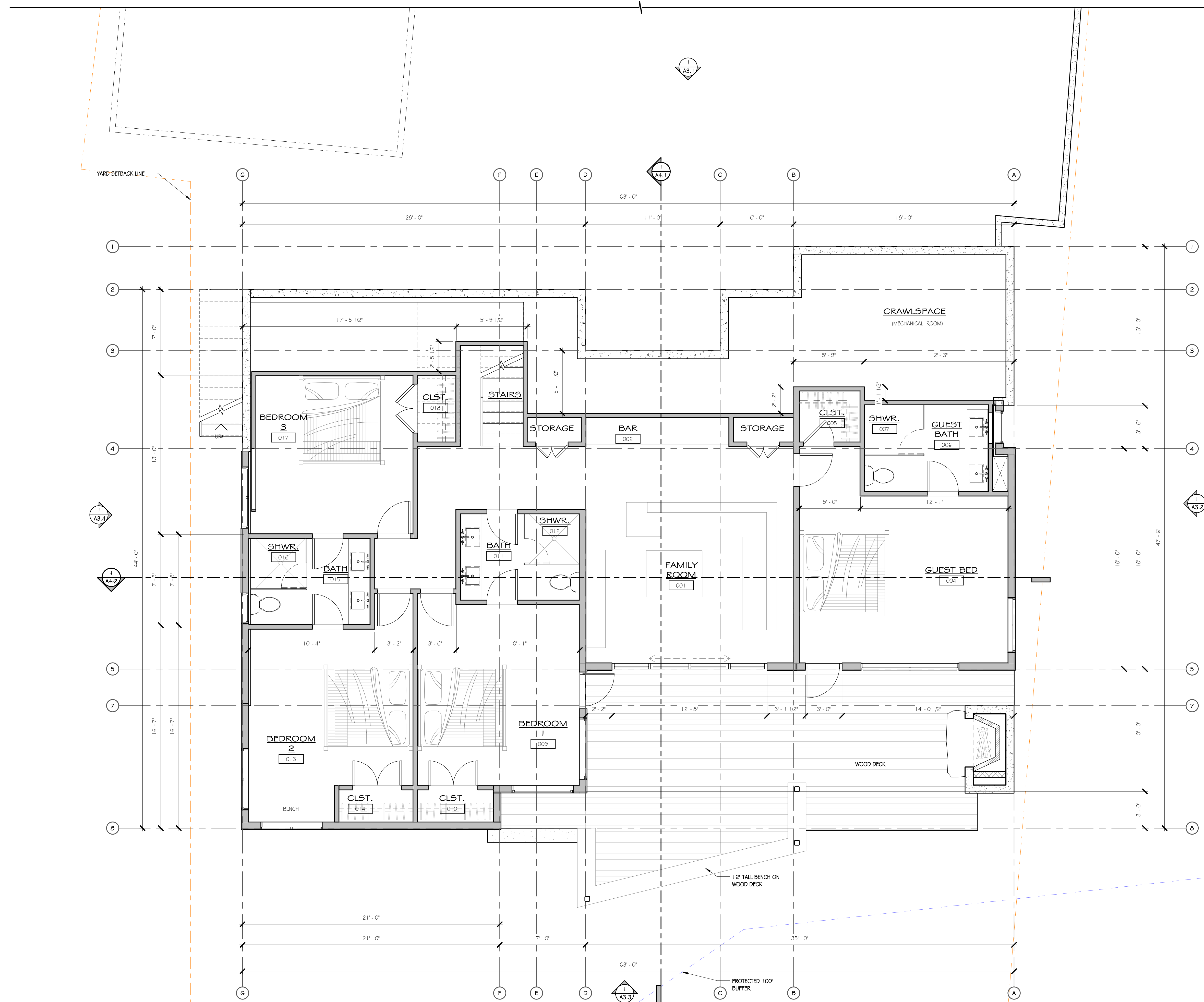


**3 ROOF ACCESS - AREA PLAN**  
1/8" = 1'-0"

REVISION NO.	DATE
COASTSIDE DESIGN REVIEW APPLICATION	
DRAWING AREA PLANS	
PROJECT NUMBER:	1507
DATE:	JULY 24, 2017
REVISION 1	08.25.17
DESIGN REVIEW SET	
SHEET NO.	

FILE PATH: P:\CURRENT\1507 MOSS BEACH, SAN MATEO, CA\1.0 DRAWINGS\_CURRENT SET\_REV\101 LOT\_NEW.rvt

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



**1 LOWER LEVEL**  
1/4" = 1'-0"

**MOSS BEACH - LOT 1**  
 VALLEMAR ST. & JULIANNA AVE.

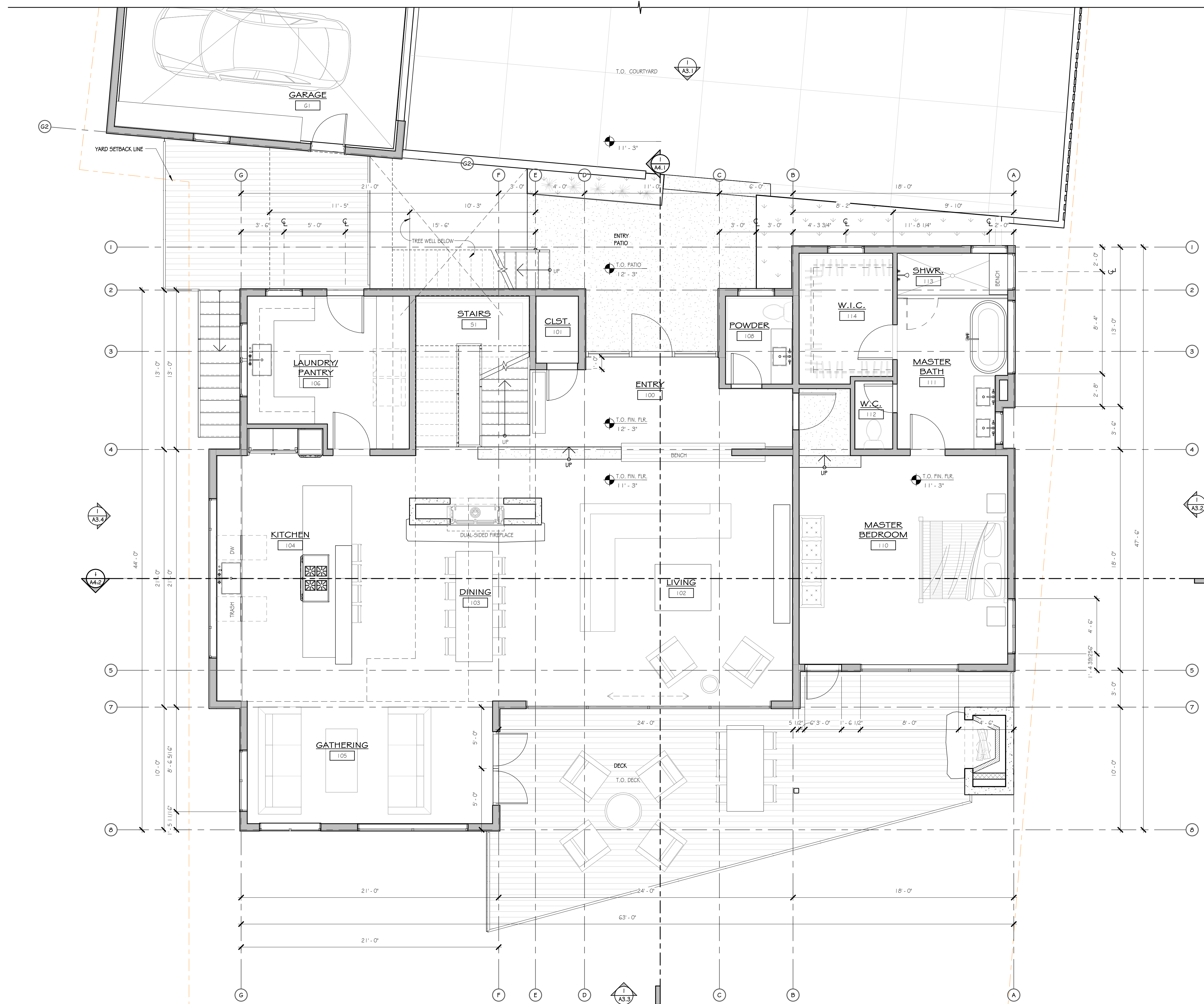
REVISION NO.	DATE

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING:  
 FLOOR PLANS

PROJECT NUMBER: 1507  
 DATE: JULY 24, 2017  
 REVISION 1 08.25.17  
 DESIGN REVIEW SET

SHEET NO.



**1 MAIN LEVEL**  
1/4" = 1'-0"

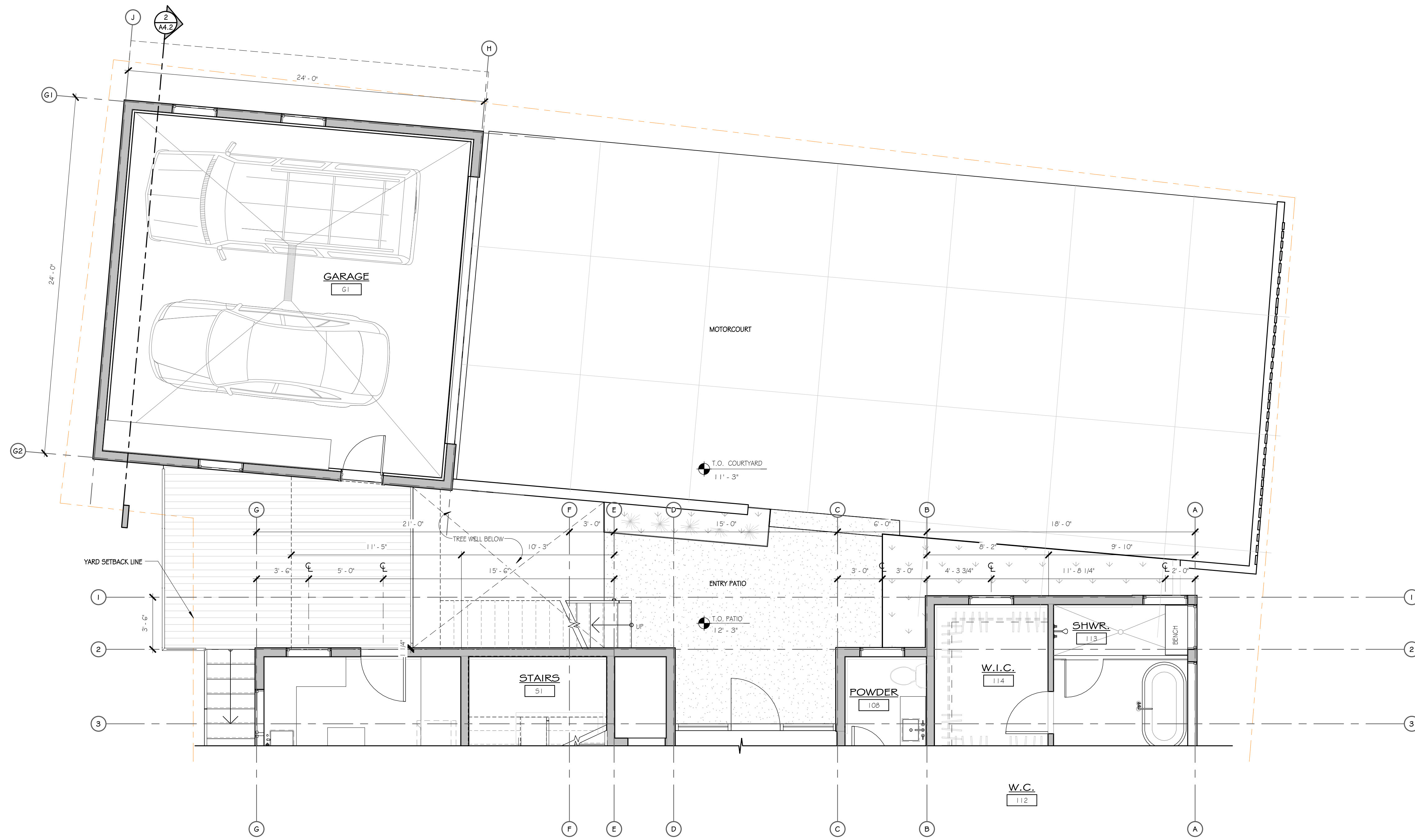
**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
FLOOR PLANS

PROJECT NUMBER: 1507  
DATE: JULY 24, 2017  
REVISION 1 08.25.17  
DESIGN REVIEW SET  
SHEET NO.



**1 COURTYARD**  
1/4" = 1'-0"

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION NO.	DATE

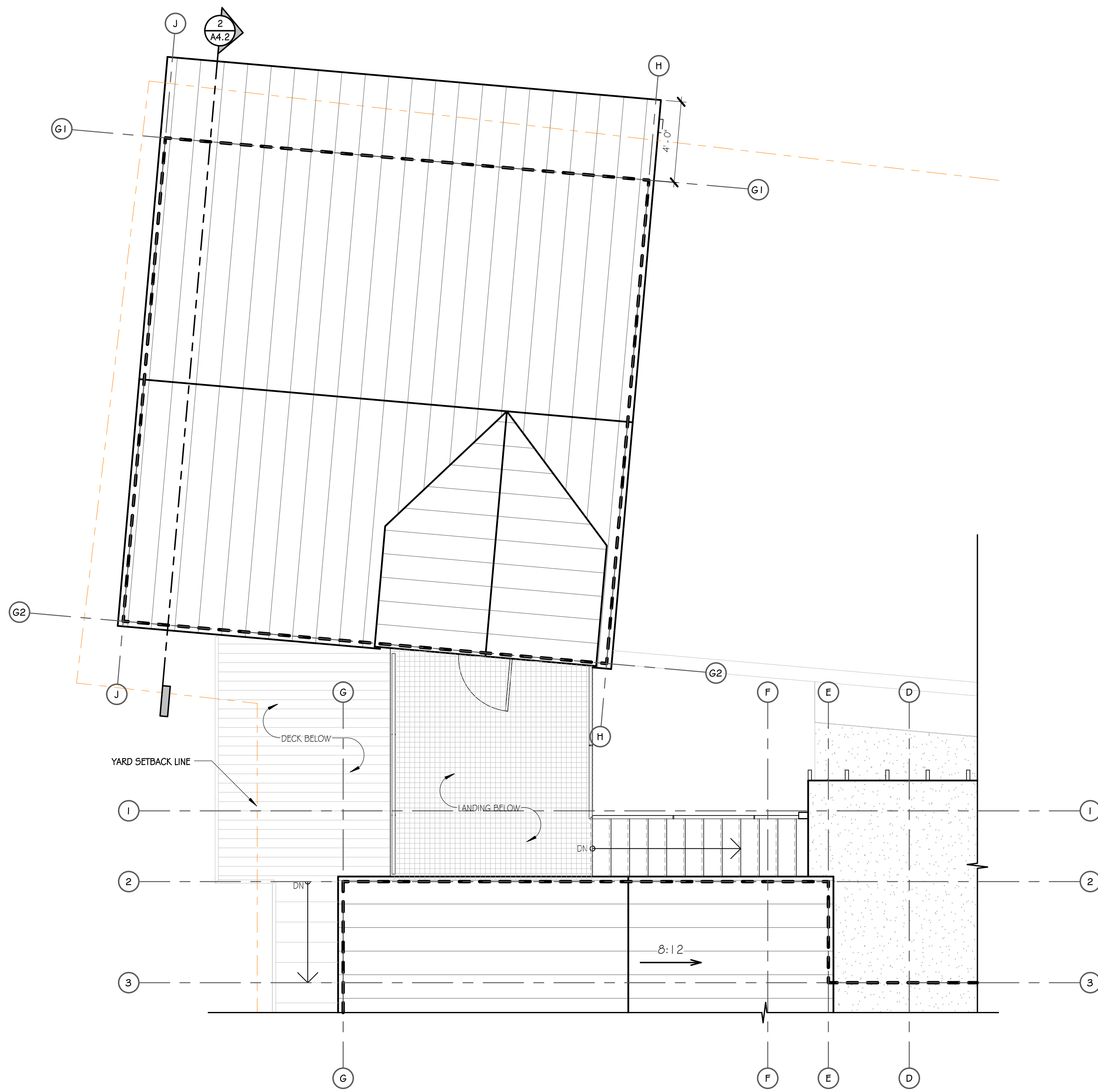
COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
COURTYARD PLAN

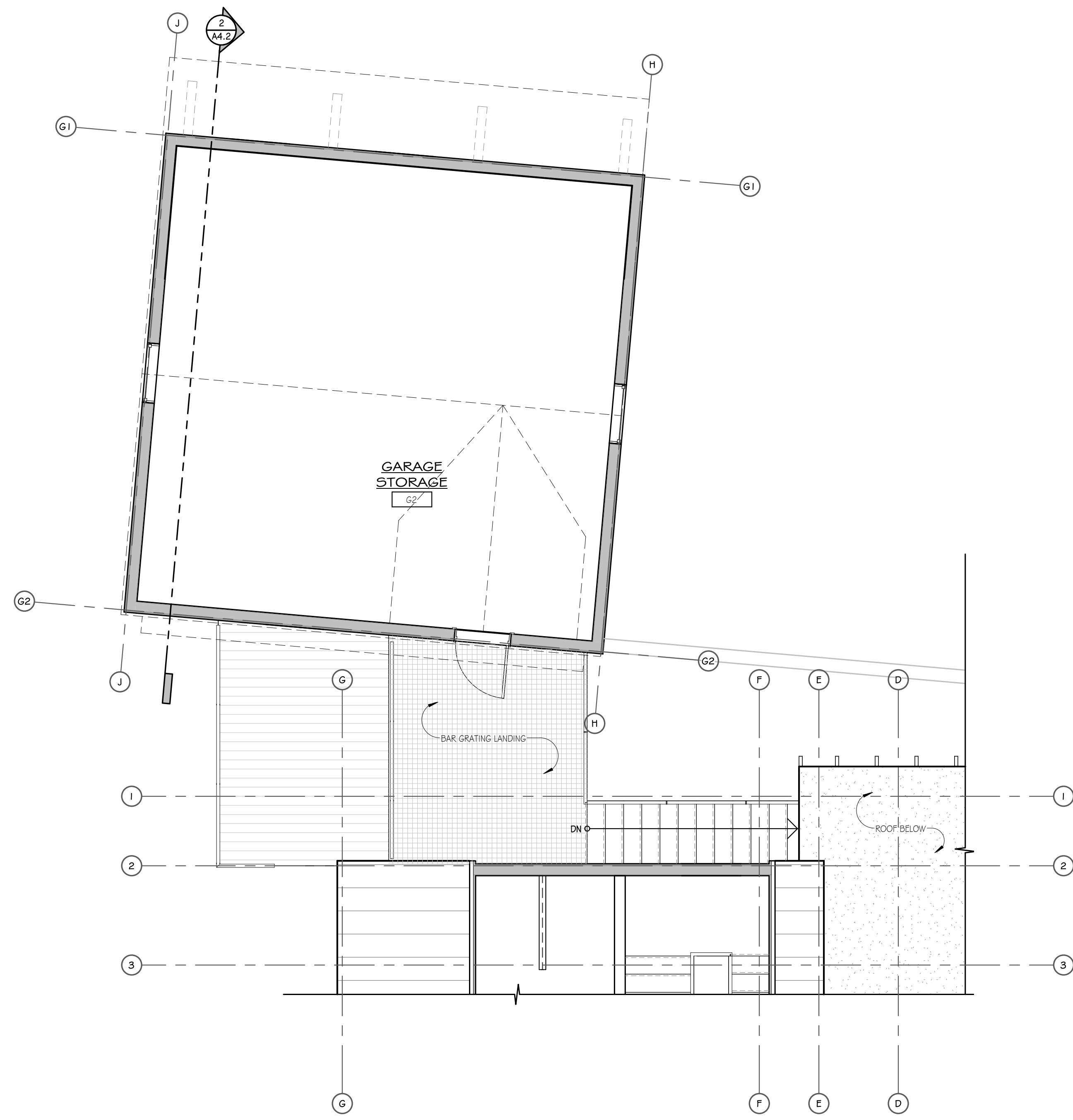
PROJECT NUMBER: 1507  
DATE: JULY 24, 2017  
REVISION 1 08.25.17  
DESIGN REVIEW SET

SHEET NO.

**A2.3**



**2 GARAGE ROOF PLAN**  
1/4" = 1'-0"



**1 GARAGE STORAGE LEVEL**  
1/4" = 1'-0"

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
GARAGE STORAGE PLAN  
& ROOF PLAN

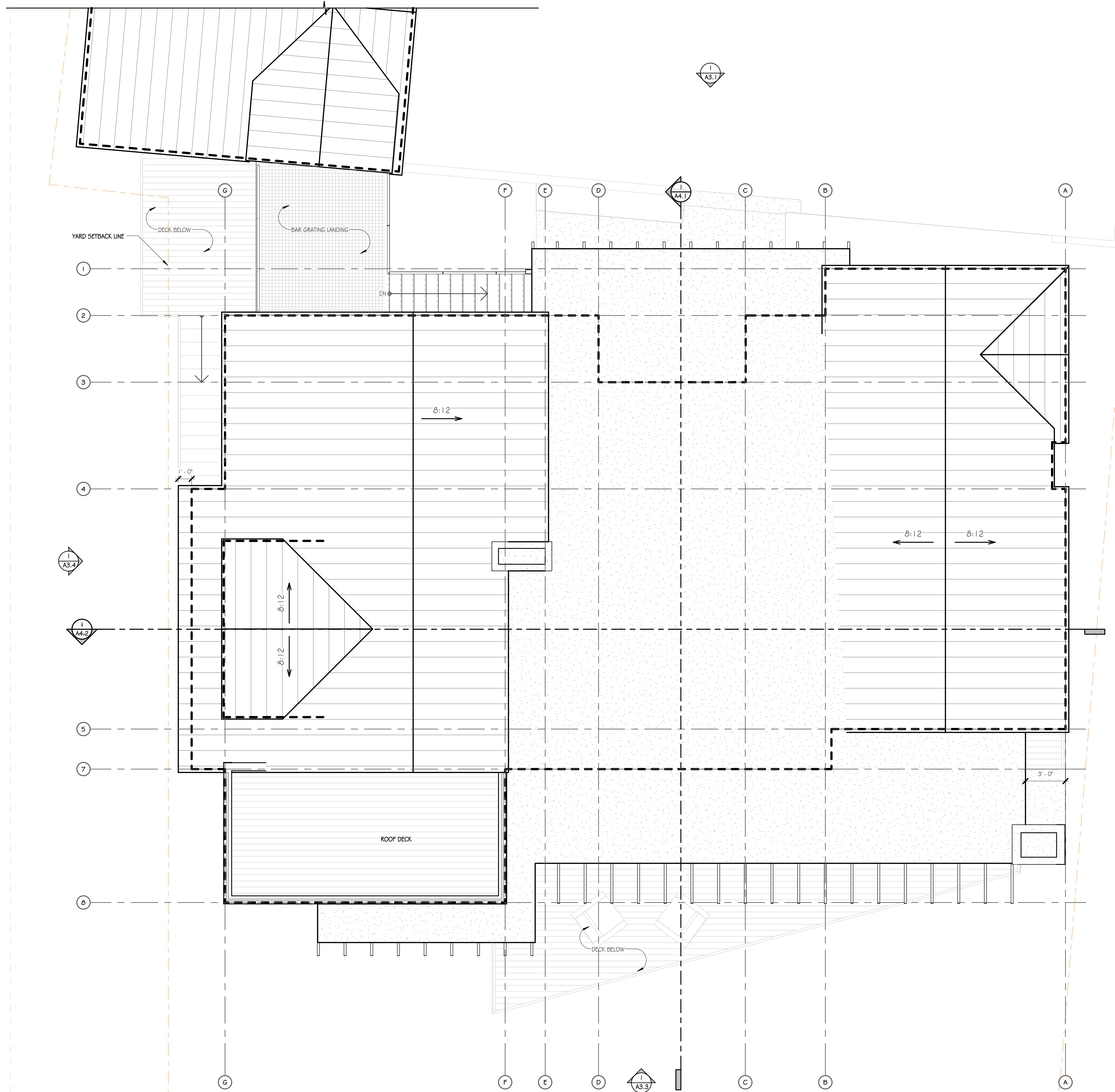
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DATE: JULY 24, 2017  
REVISION 1 08.25.17  
DESIGN REVIEW SET

SHEET NO.

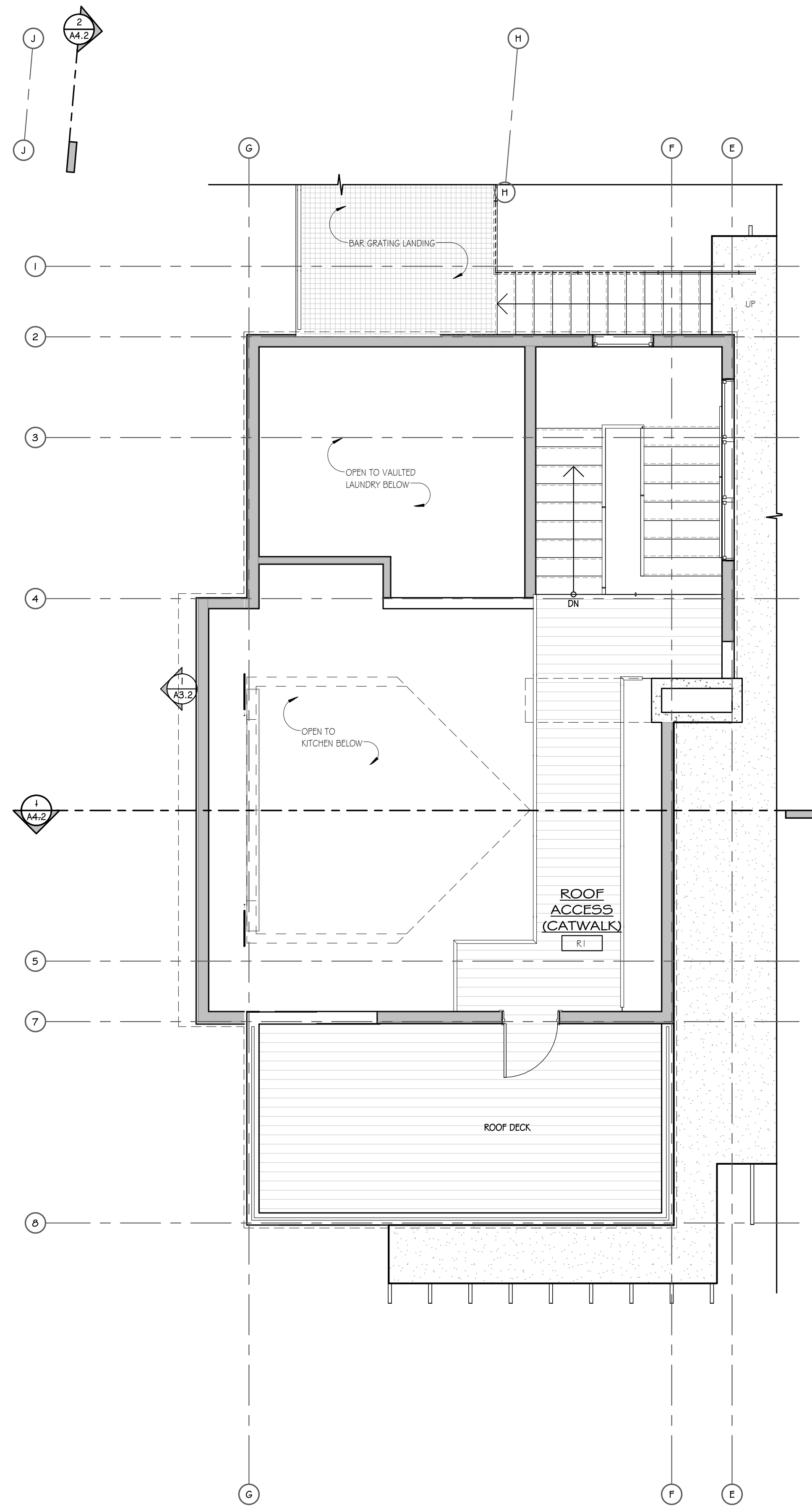
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**2 ROOF PLAN**  
1/4" = 1'-0"



**1 ROOF ACCESS**  
1/4" = 1'-0"

**MOSS BEACH - LOT 1**  
 VALLEMAR ST. & JULIANNA AVE.

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
**ROOF PLAN & ROOF ACCESS**

PROJECT NUMBER: 1507  
 DATE: JULY 24, 2017  
 REVISION 1 08.25.17  
 DESIGN REVIEW SET

SHEET NO.



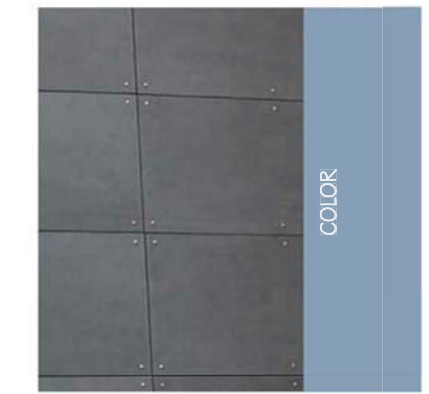


**1 NORTH ELEVATION**  
1/4" = 1'-0"

**MATERIALS**



SIDING  
1X6 ROUGH-SAWN CEDAR, OR REDWOOD  
HORIZONTAL PLANK RAINSCREEN  
W/ REVEAL EVERY THIRD BOARD



SIDING  
CEMENTITIOUS PANELS



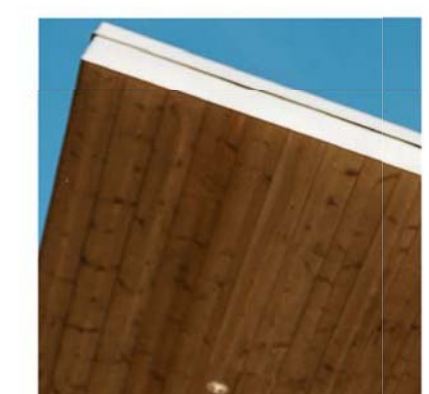
WALLS  
CMU VENEER,  
(OR BOARD-FORMED CONCRETE)



ROOF  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



FLAT ROOF  
EPDM MEMBRANE  
W/ SCKEE BALLAST



SOFFITS  
ROUGH SAWN CEDAR  
(OR REDWOOD)



RAILINGS & TRIM  
STAINLESS STEEL CABLE RAILINGS  
& STAINLESS STEEL TRIM



RAFTERS  
ROUGH SAWN FIR

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: JULY 24, 2017  
REVISION 1 08.25.17  
DESIGN REVIEW SET

SHEET NO.



**1 EAST ELEVATION**  
1/4" = 1'-0"

**MATERIALS**



SIDING  
1X6 ROUGH-SAWN CEDAR, OR REDWOOD  
HORIZONTAL PLANK, W/ REVEAL EVERY THIRD  
BOARD



SIDING  
CEMENTITIOUS PANELS  
COLOR



WALLS  
CMU VENEER,  
(OR BOARD-FORMED CONCRETE)



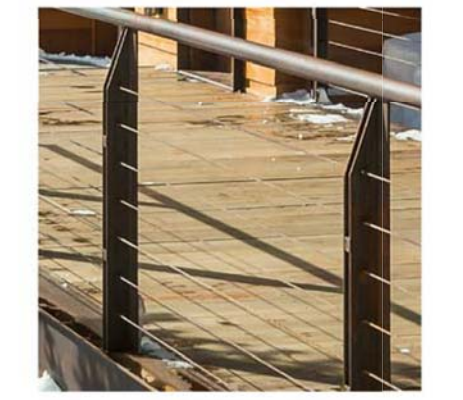
ROOF  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



FLAT ROOF  
EPDM MEMBRANE  
W/ SCREE BALLAST



SOFFITS  
ROUGH SAWN CEDAR  
(OR REDWOOD)



RAILINGS & TRIM  
STAINLESS STEEL CABLE RAILINGS  
& STAINLESS STEEL TRIM



RAFTERS  
ROUGH SAWN FIR

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION	
NO.	DATE

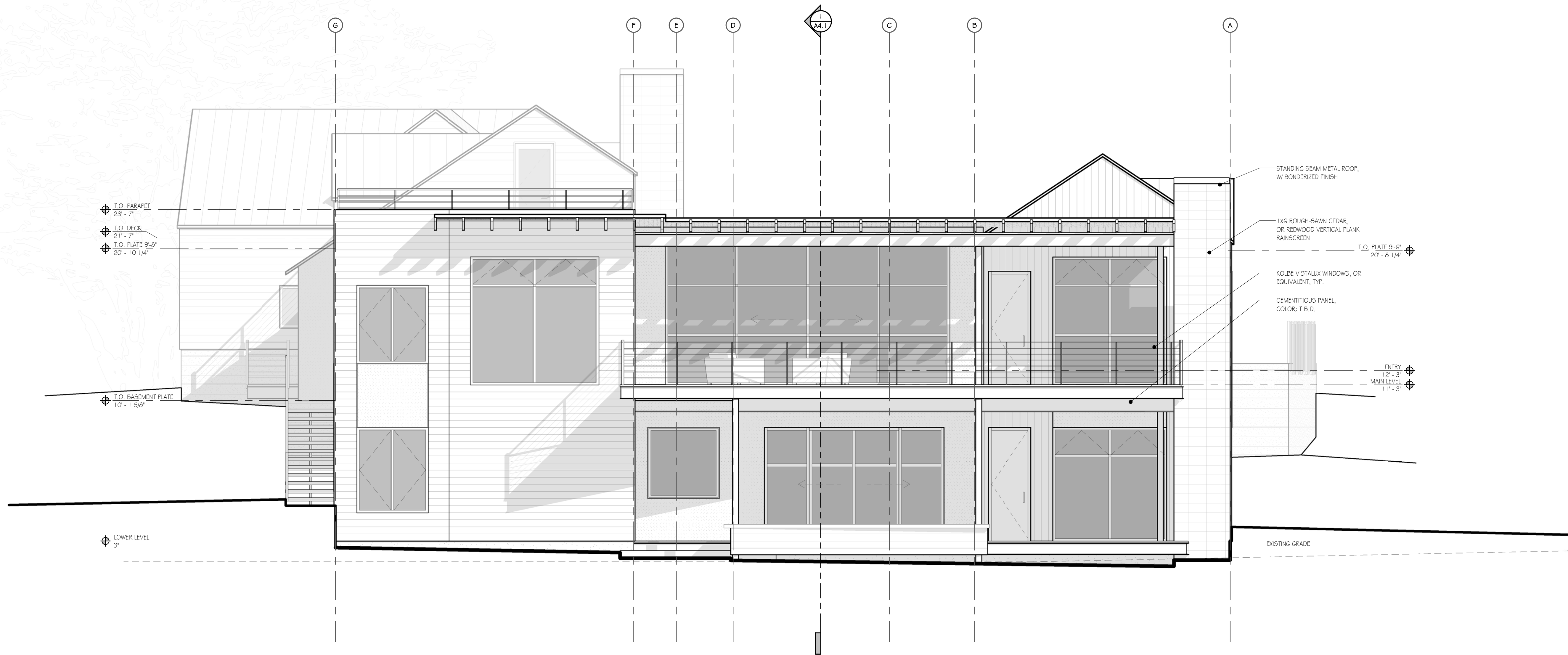
COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: JULY 24, 2017  
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SHEET NO.

FILE PATH: P:\CURRENT\1507 MOSS BEACH, SAN MATEO, CA\1.0 DRAWINGS\_CURRENT SET\_REV\101 LOT\_NEW.rvt

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**1 SOUTH ELEVATION**  
1/4" = 1'-0"

**MATERIALS**



**SIDING**  
1X6 ROUGH-SAWN CEDAR, OR REDWOOD  
HORIZONTAL PLANK, W/ REYZAL EVERY THIRD  
BOARD



**SIDING**  
CEMENTITIOUS PANELS  
COLOR



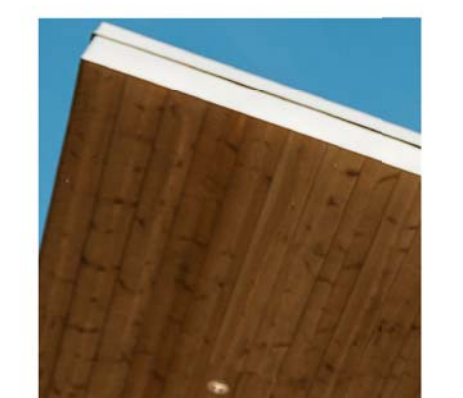
**WALLS**  
CMU VENEER,  
(OR BOARD-FORMED CONCRETE)



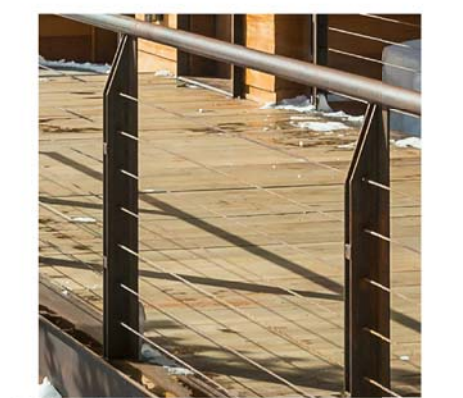
**ROOF**  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



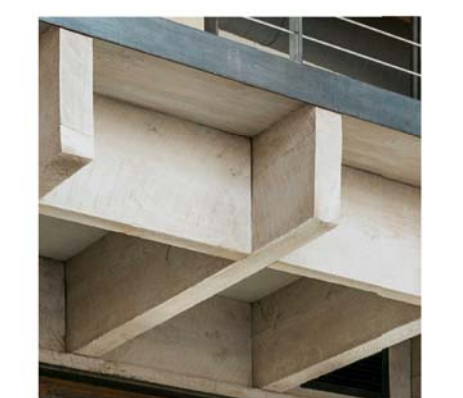
**FLAT ROOF**  
EPDM MEMBRANE  
W/ SCRREE BALLAST



**SOFFITS**  
ROUGH SAWN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAWN FIR

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION	
NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: JULY 24, 2017  
REVISION 1 08.25.17  
DESIGN REVIEW SET

SHEET NO.

**A3.3**

FILE PATH: P:\CURRENT\1507 MOSS BEACH, SAN MATEO, CA\1.0 DRAWINGS\_CURRENT SET\_REVIT\01 LOT\_NEW.rvt



**1 WEST ELEVATION**  
1/4" = 1'-0"

**MATERIALS**



**SIDING**  
1x6 ROUGH SAUN CEDAR, OR REDWOOD  
HORIZONTAL PLANK, W/ REYZAL EVERY THIRD  
BOARD



**SIDING**  
CEMENTITIOUS PANELS



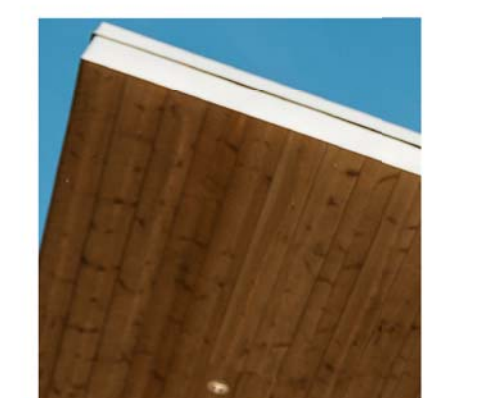
**WALLS**  
CMU VENEER,  
(OR BOARD-FORMED CONCRETE)



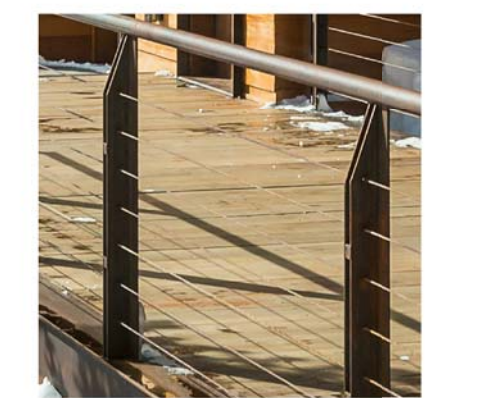
**ROOF**  
STANDING SEAM  
METAL ROOF  
W/ BONDERIZED FINISH



**FLAT ROOF**  
EPDM MEMBRANE  
W/ SCKEE BALLAST



**SOFFITS**  
ROUGH SAUN CEDAR  
(OR REDWOOD)



**RAILINGS & TRIM**  
STAINLESS STEEL CABLE RAILINGS  
& STAINLESS STEEL TRIM



**RAFTERS**  
ROUGH SAUN FIR

**MOSS BEACH - LOT 1**  
VALLEMAR ST. & JULIANNA AVE.

REVISION NO.	DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

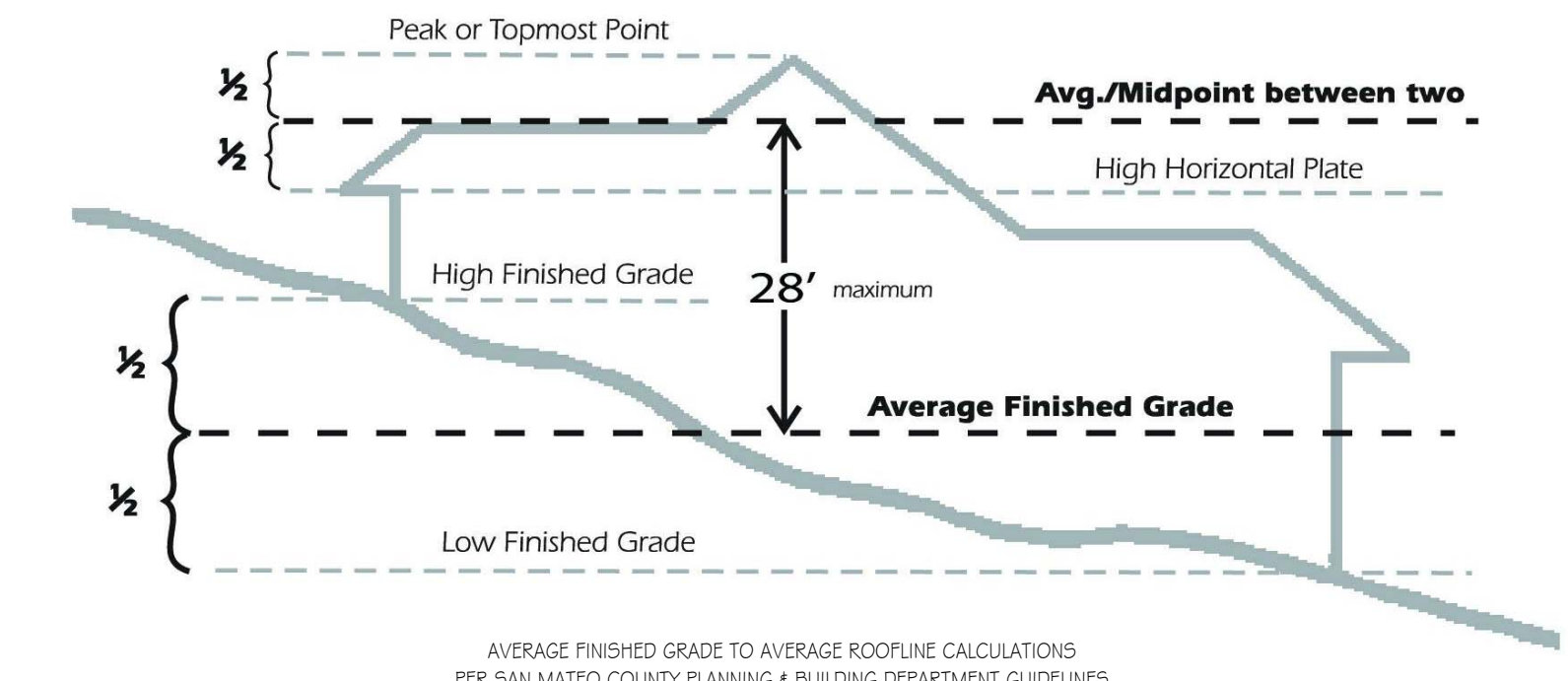
DRAWING:  
ELEVATIONS

PROJECT NUMBER: 1507  
DATE: JULY 24, 2017  
REVISION 1 08.25.17  
DESIGN REVIEW SET  
SHEET NO.

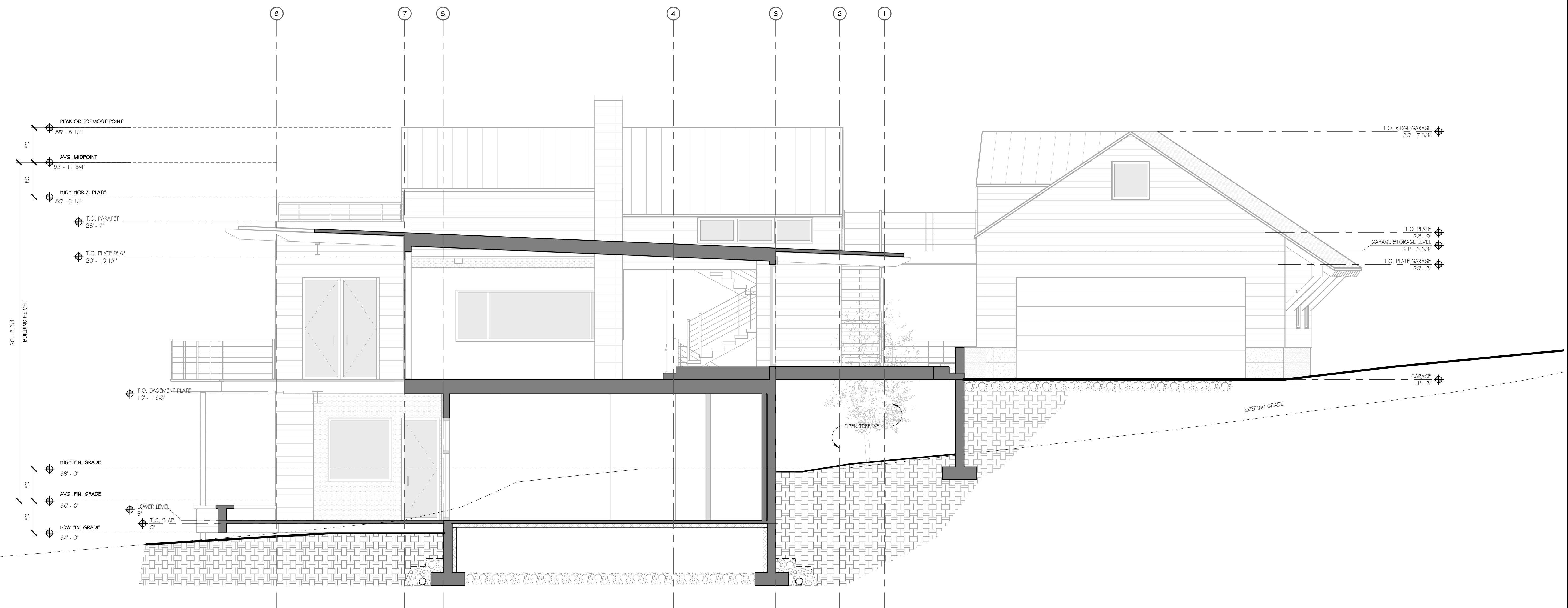
**A3.4**

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**MAXIMUM BUILDING HEIGHT CALCULATIONS**



AVERAGE FINISHED GRADE TO AVERAGE ROOFLINE CALCULATIONS  
 PER SAN MATEO COUNTY PLANNING & BUILDING DEPARTMENT GUIDELINES



**1 SECTION A**  
 1/4" = 1'-0"

THESE DRAWINGS ARE THE ORIGINAL UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

**MOSS BEACH - LOT 1**  
 VALLEMAR ST. & JULIANNA AVE.

REVISION NO.	DATE

COASTSIDE DESIGN  
 REVIEW APPLICATION

DRAWING:  
 SECTIONS

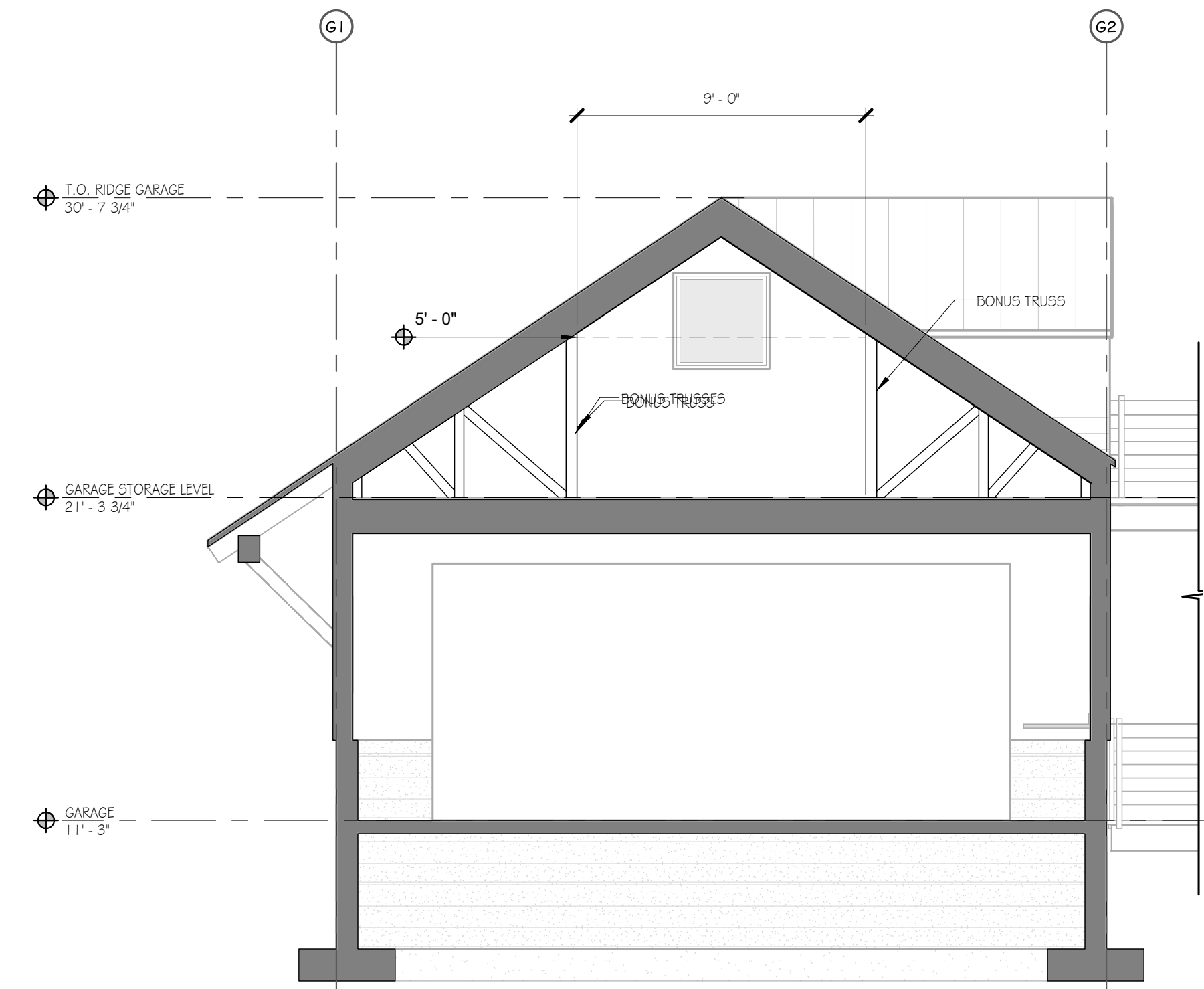
PROJECT NUMBER: 1507  
 DATE: JULY 24, 2017  
 REVISION 1 08.25.17  
 DESIGN REVIEW SET

SHEET NO.

**A4.1**

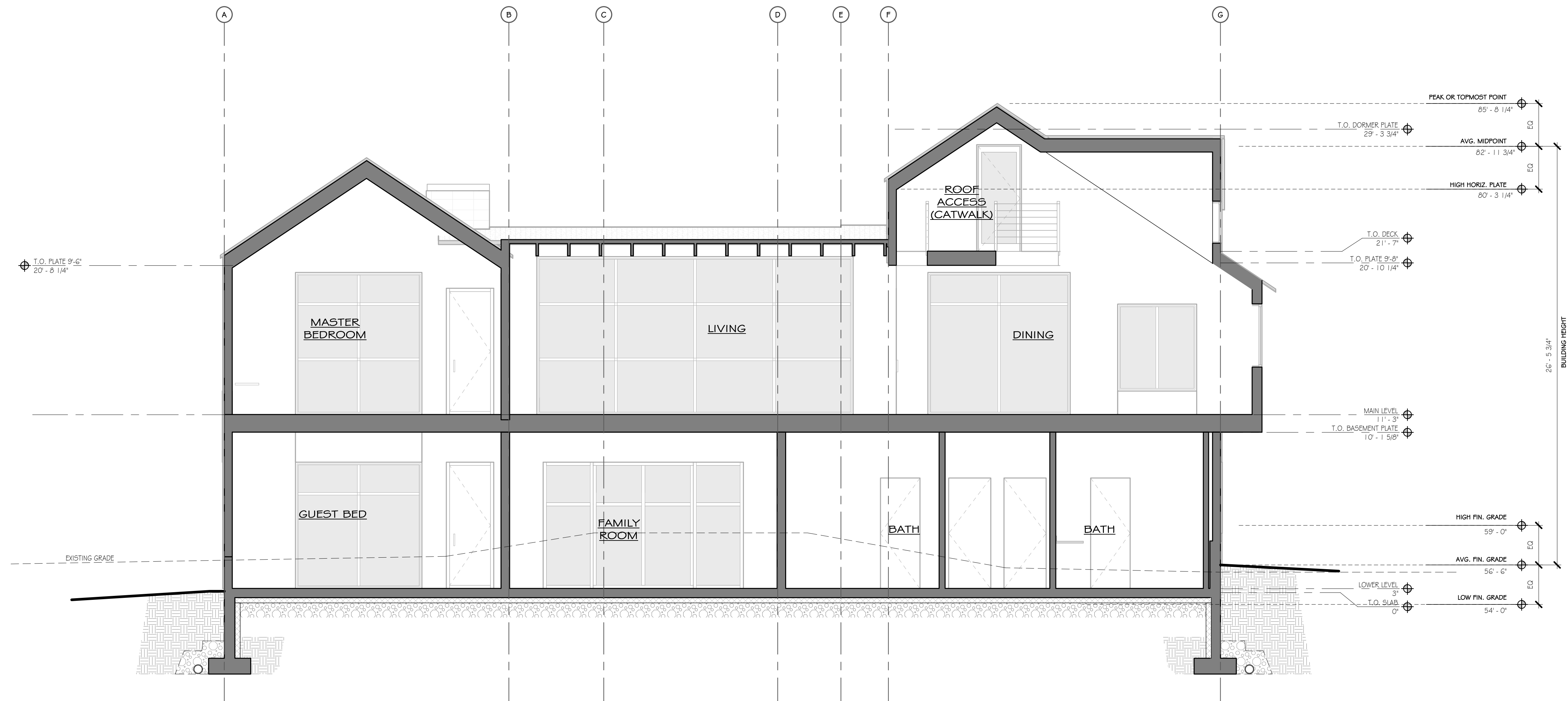
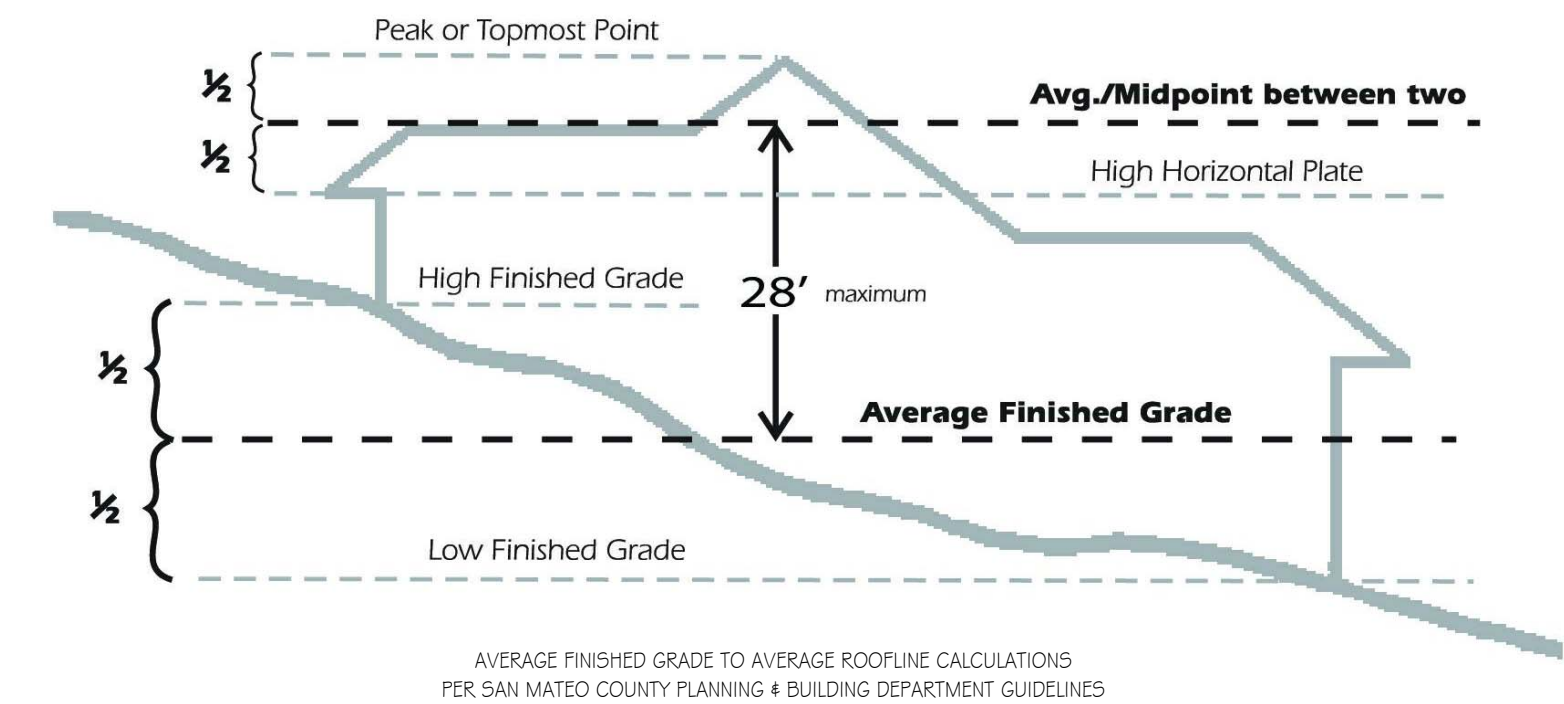
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**2 SECTION C**  
1/4" = 1'-0"

**MAXIMUM BUILDING HEIGHT CALCULATIONS**



**1 SECTION B**  
1/4" = 1'-0"

REVISION  
NO. DATE

COASTSIDE DESIGN  
REVIEW APPLICATION

DRAWING:  
SECTIONS

PROJECT NUMBER: 1507  
DATE: JULY 24, 2017

DESIGN REVIEW SET  
SHEET NO.