Site Plans

Issued for:Preliminary SubdivisionDate Issued:Oct. 28, 2022Latest Issue:Oct. 28, 2022

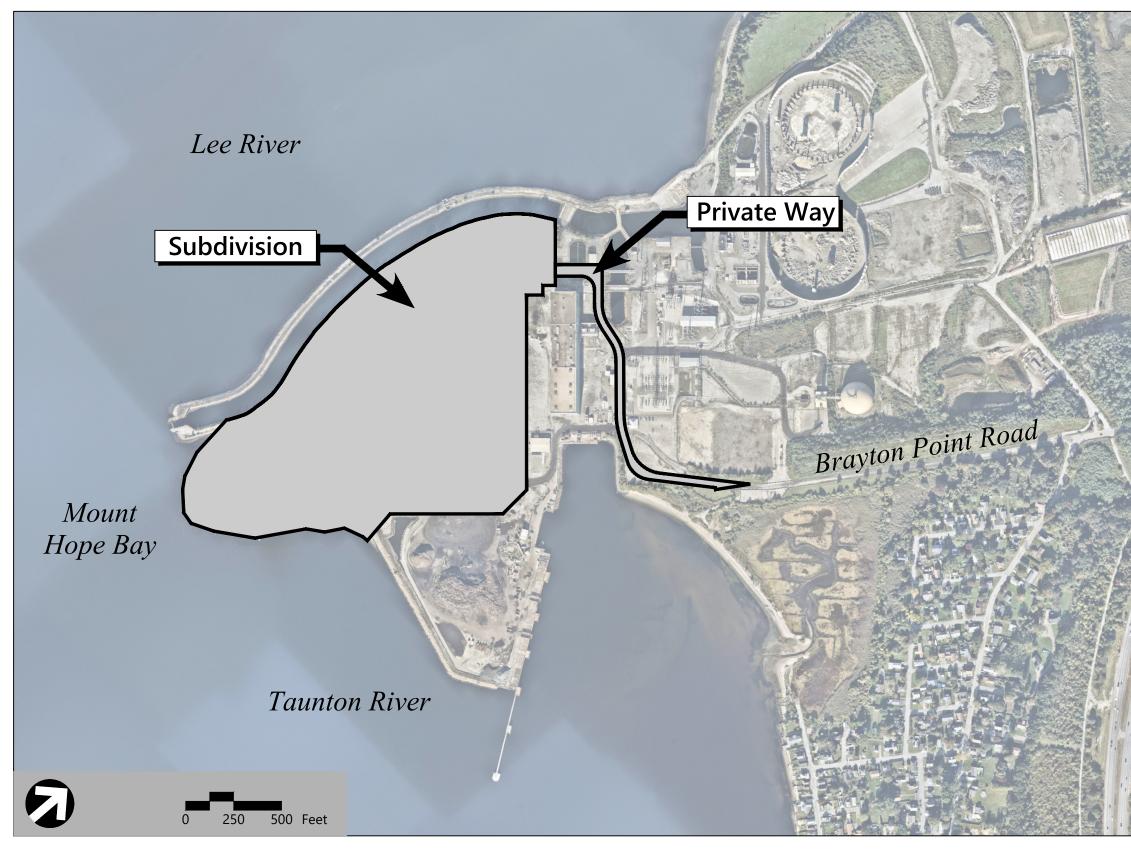
Submarine Cable Factory

Brayton Point Road Somerset, Massachusetts

Applicant

Prysmian Cables and Systems USA, LLC 4 Tesseneer Road Highland Heights, Kentucky 410763

Assessor's Map: A2



Sheet Index				
No.	Drawing Title	Latest Issue		
C-1.00	Legend and General Notes	10/28/2022		
C-2.01 to C-2.02	Layout and Materials Plans	10/28/2022		
C-3.01 to C-3.02	Grading and Drainage Plans	10/28/2022		
C-4.01 to C-4.02	Utility Plans	10/28/2022		
C-5.01	Site Details	10/28/2022		
SV-1 to SV-10	Plan of Land in Somerset Massachussets	Oct. 11, 2022		





401.272.8100

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD





DATE:

Le

10+00			Exist.	Prop.	
10+00		PROPERTY LINE	$ \begin{array}{c} & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & \\ & & & & $	стания и Альания. Спортования и Альания. Спортования и Альания. Спортования и Альания.	CONCRETE
10+00		PROJECT LIMIT LINE	4.5		HEAVY DUTY PAVEMENT
10+00		RIGHT-OF-WAY/PRIVATE WAY			BUILDINGS
10+00		EASEMENT		82072820	RIPRAP
10+00		BUILDING SETBACK			CONSTRUCTION EXIT
10+00		PARKING SETBACK		<u> </u>	
	10+00	BASELINE	27.35 TC \times	27.35 TC \times	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC \times	26.85 BC×	BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 ×	132.75 ×	SPOT ELEVATION
		TOWN LINE	45.0 TW 38.5 BW	45.0 TW 38.5 BW	TOP & BOTTOM OF WALL ELEVATION
			\bullet	\bullet	BORING LOCATION
		LIMIT OF DISTURBANCE			TEST PIT LOCATION
<u> </u>		WETLAND LINE WITH FLAG	€ ^{MW}	€ ^{MW}	MONITORING WELL
		FLOODPLAIN	UD	UD	UNDERDRAIN
		HIGH WATER LINE (MEAN HIGH WATER)	12"D	12"D»	DRAIN
LSCSF	AE/VE ZONE • ——	LAND SUBJECT TO COASTAL STORM FLOWAGE (AE AND/OR VE ZONE)		6"RD»	ROOF DRAIN
	ТСВ	TOP OF COASTAL BANK	12"S	1 <u>2</u> "S	SEWER
	-100'BZ		FM	FM	FORCE MAIN
		100' BUFFER ZONE	OHW	——————————————————————————————————————	OVERHEAD WIRE
	-200'RA	200' RIVERBANK AREA	6"W		WATER
	-CH91 ————	CHAPTER 91 JURISDICTION	4"FP		FIRE PROTECTION
	-MWE ·	MASSGIS WETLAND EDGE		2"DW	DOMESTIC WATER
	WF	FLAGGED WETLAND EDGE	3"G	G	GAS
			F	——Е——	ELECTRIC
			STM		STEAM
		GRAVEL ROAD	T	T	TELEPHONE
EOP	<u> </u>	EDGE OF PAVEMENT	——— FA———	——FA——	FIRE ALARM
BB	BB	BITUMINOUS BERM	CATV	CATV	CABLE TV
BC	<u> </u>	BITUMINOUS CURB			
CC	<u>CC</u>	CONCRETE CURB			CATCH BASIN CONCENTRIC
	CG	CURB AND GUTTER			CATCH BASIN ECCENTRIC
CC	ECC	EXTRUDED CONCRETE CURB			DOUBLE CATCH BASIN CONCENTRIC
CC	MCC	MONOLITHIC CONCRETE CURB			DOUBLE CATCH BASIN ECCENTRIC
CC	PCC	PRECAST CONC. CURB			GUTTER INLET
SGE	SGE	SLOPED GRAN. EDGING	D	$\textcircled{\bullet}$	DRAIN MANHOLE CONCENTRIC
VGC	VGC	VERT. GRAN. CURB	D	$\textcircled{\bullet}$	DRAIN MANHOLE ECCENTRIC
		LIMIT OF CURB TYPE	=TD=		TRENCH DRAIN
		SAWCUT	E CO	E CO	PLUG OR CAP
K			CO	CO •	CLEANOUT
		BUILDING			FLARED END SECTION
		BUILDING ENTRANCE		\checkmark	HEADWALL
		LOADING DOCK	S	\bullet	SEWER MANHOLE CONCENTRIC
	I⊲ RD	ROLL DOOR	S	$\overline{\bullet}$	SEWER MANHOLE ECCENTRIC
0	•	BOLLARD	CS ()		
D	D	DUMPSTER PAD		• WV	CURB STOP & BOX
<u> </u>	-	SIGN	ŴV	۲	WATER VALVE & BOX
0	-	DOUBLE SIGN	TSV	TSV	TAPPING SLEEVE, VALVE & BOX
			م≁» _ HYD	HYD	SIAMESE CONNECTION
<u> </u>	<u> </u>	STEEL GUARDRAIL	¢⊚⊅ WM	© WM	FIRE HYDRANT
<u> </u>	_	WOOD GUARDRAIL	⊡ PIV	⊡ PIV ●	WATER METER
\sim		PATH	۲		POST INDICATOR VALVE
					WATER WELL
X	- <u>× × × </u>		X		BACK FLOW PREVENTOR
	• • •	FENCE STOCKADE FENCE	GG	GG O	GAS GATE
		STORE WALL	GM ⊡	GM ⊡	GAS METER
		RETAINING WALL	Ē	● ^{EMH}	ELECTRIC MANHOLE
0000		STREAM / POND / WATER COURSE	EM	EM	
			¢	*	
	· ·	DETENTION BASIN HAY BALES		▼	LIGHT POLE
	a standar ala ala ala ala al		()		TELEPHONE MANHOLE
- · · ·		SILT FENCE	T	T	TRANSFORMER PAD
- · · ·	—×——×—				UTILITY POLE
X	—×——×—	SILT SOCK	-0-		
×	—×——×— · c:::::> — x:::::x —	SILT SOCK / SILT FENCE		-	
×	—×——×—		-0- 	● 	GUY POLE
×	—×——×— · c:::::> — x:::::x —	SILT SOCK / SILT FENCE	о- 	●- ↓	GUY POLE GUY WIRE & ANCHOR
X X X 	—×——×— · c:::::> — x:::::x —	SILT SOCK / SILT FENCE TURBIDITY CURTAIN	O ↓ HH ⊡ PB	HH ⊡ PB	GUY POLE GUY WIRE & ANCHOR HAND HOLE
 		SILT SOCK / SILT FENCE TURBIDITY CURTAIN MINOR CONTOUR MAJOR CONTOUR	O ↓ HH ⊡	HH ⊡	GUY POLE GUY WIRE & ANCHOR
× · · · · · · · · · · · · · · · · · · ·	xxx	SILT SOCK / SILT FENCE TURBIDITY CURTAIN MINOR CONTOUR	O ↓ HH ⊡ PB	HH ⊡ PB	GUY POLE GUY WIRE & ANCHOR HAND HOLE

STOP LINE

CROSSWALK

ACCESSIBLE CURB RAMP

VAN-ACCESSIBLE PARKING

ACCESSIBLE PARKING

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOW	LIMIT OF WORK
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
ТҮР	TYPICAL

Utility

Othity	
СВ	CATCH BASIN
СМР	CORRUGATED METAL PIPE
со	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
нн	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

General

1.	CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2.	CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES

- SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS. 3. ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
- 4. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.
- 5. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- 6. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
- 7. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- 8. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- 9. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- 10. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- 11. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
- 12. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- 13. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE NPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND EPA JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A CGP NOTICE OF INTENT WITH THE EPA AND PREPARE A STORMWATER POLLUTION PREVENTION PLAN IN ACCORDANCE WITH THE NPDES REGULATIONS. CONTRACTOR SHALL CONFIRM THE OWNER HAS ALSO FILED A NOTICE OF INTENT WITH THE EPA

Utilities

- 1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
- 3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
- 4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - A. PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
- 5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
- 6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
- 7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - A. WATER PIPES SHALL BE DUCTILE IRON
 - B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (HDPE)
 - D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
- 8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEWORK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
- 9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
- 10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4' MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Layout and Materials

- PLANS.

Demolition

- - REPRESENTATIVES.

 - WORK.

Erosion Control

- IN MAY, 2020.

- FEATURES.

DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.

2. CURB RADII ARE THREE (3) FEET UNLESS OTHERWISE NOTED.

CURBING SHALL BE PRECAST CONCRETE (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE

4. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.

5. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.

CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.

2. EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY

CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

4 THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORESEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE

UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.

CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.

CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.

4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.

UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.

Existing Conditions Information

1. BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY VHB IN MAY, 2020, AND FROM DEEDS AND PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY VHB,

A. DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VHB ENVIRONMENTAL DEPARTMENT

B. FLAGS MARKING THE WETLANDS WERE FIELD SURVEYED BY VHB IN MARCH, 2013.

C. WETLANDS LABELED "MASSGIS WETLANDS" WERE DOWNLOADED FROM THE MASSMAPPER INTERACTIVE ON-LINE MAP, ACCESSED ON OCTOBER 12, 2022. THESE WETLANDS WERE NOT SURVEYED IN THE FIELD. RESOURCES AREAS BASED ON MASSGIS WETLANDS ARE APPROXIMATE AND SUBJECT TO CHANGE BASED ON ACTUAL FIELD CONDITIONS.

D. THE 100' BUFFER ZONE, 200' RIVERBANK WETLAND, AND LAND SUBJECT TO COASTAL STORM FLOWAGE DELINEATIONS ARE BASED ON ACTUAL TOPOGRAPHIC SURVEY WHERE AVAILABLE ON EXISTING CONDITIONS PLANS. IN LIMITED AREAS WHERE TOPOGRAPHIC SURVEY IS NOT AVAILABLE, DELINEATIONS ARE INTERPRETED BASED ON BEST AVAILABLE INFORMATION.

2. TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD OF1988.

GEOTECHNICAL DATA INCLUDING TEST PIT AND BORING LOCATIONS AND ELEVATIONS WERE OBTAINED FROM RAMBOLL GROUP.

Document Use

THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.

2. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

3. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT



1 Cedar Street Suite 400 Providence, RI 02903 401.272.8100

Sign Summary

M.U.T.C.D.	Specification		Dess	
Number	Width	Height	Desc.	
R1-1	30"	30"	STOP	
R5-1	30"	30"	DONOT ENTER	
S-3	24"	18"	VISITORS	

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

DATE: _____

Submarine Cable Factory

Brayton Point Road Somerset, Massachusetts

No.	Revision	Date	Appvd.
Design	ied hy	Checked by	
Design	EOB	S	SL

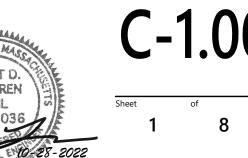
Date

October 28, 2022

Prelim. Subdivision

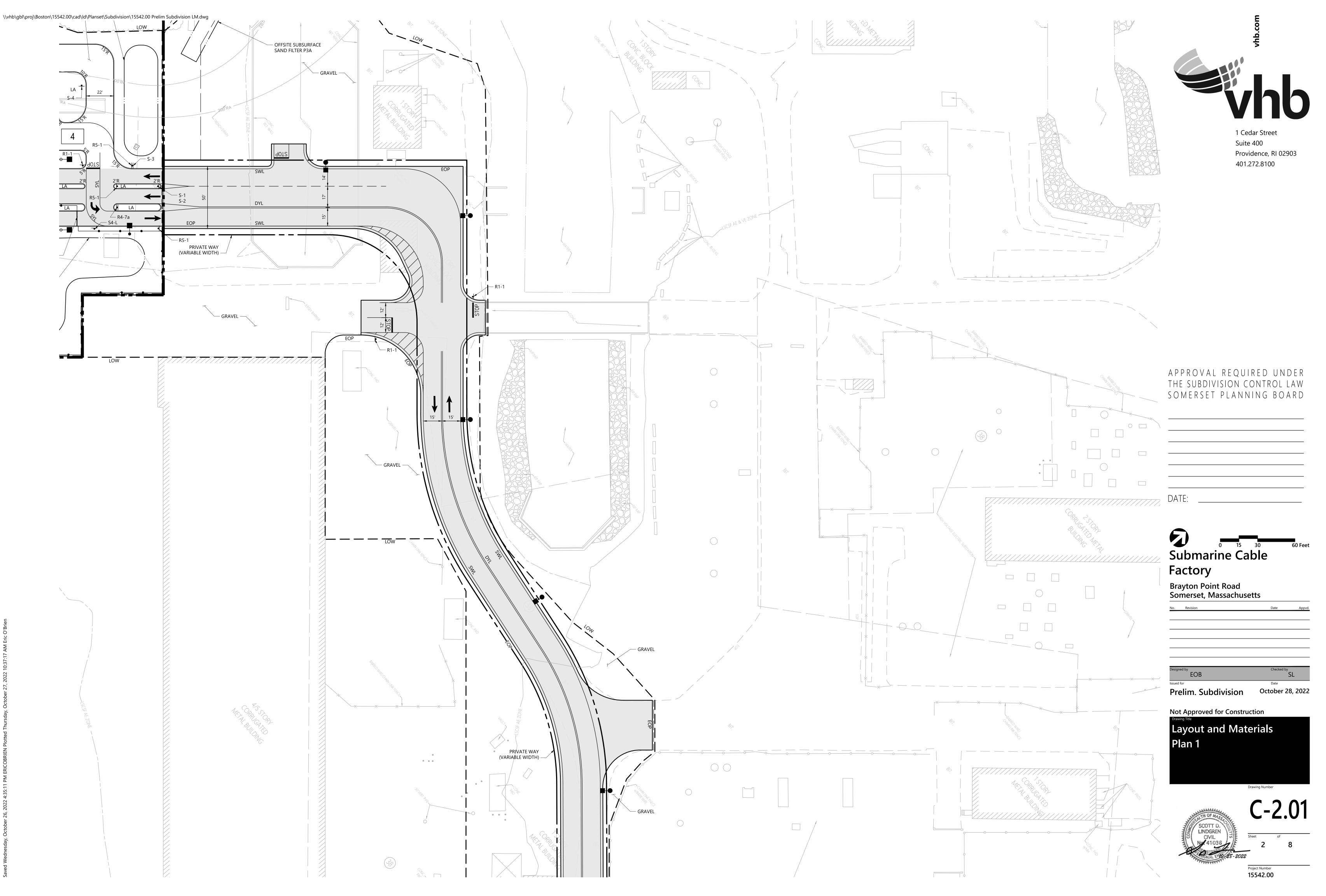
Not Approved for Construction

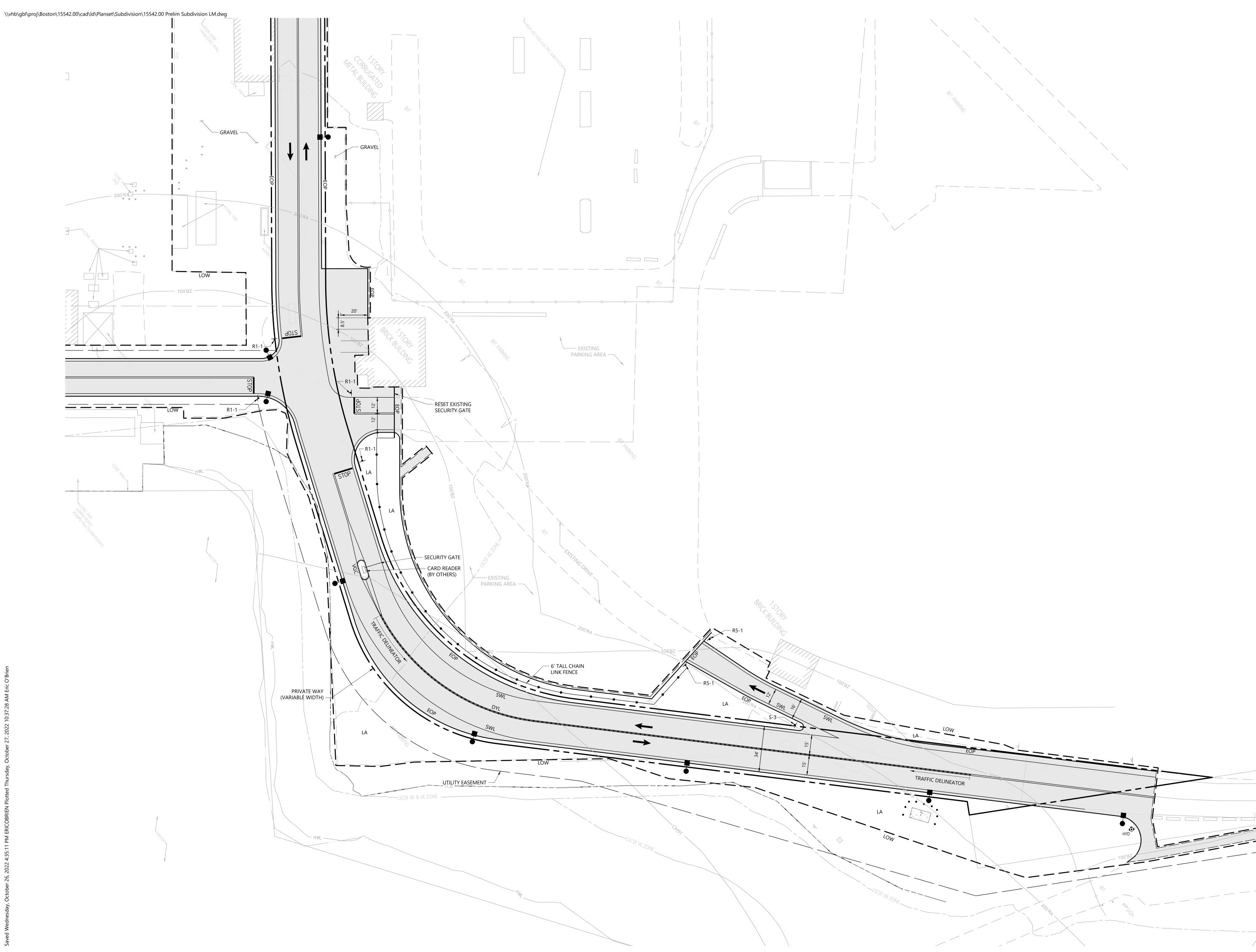
Legend and **General Notes**



Drawing Number

Project Numbe 15542.00





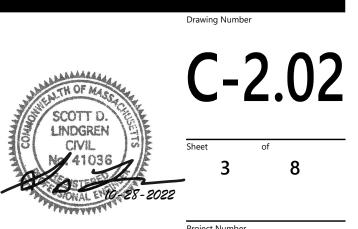


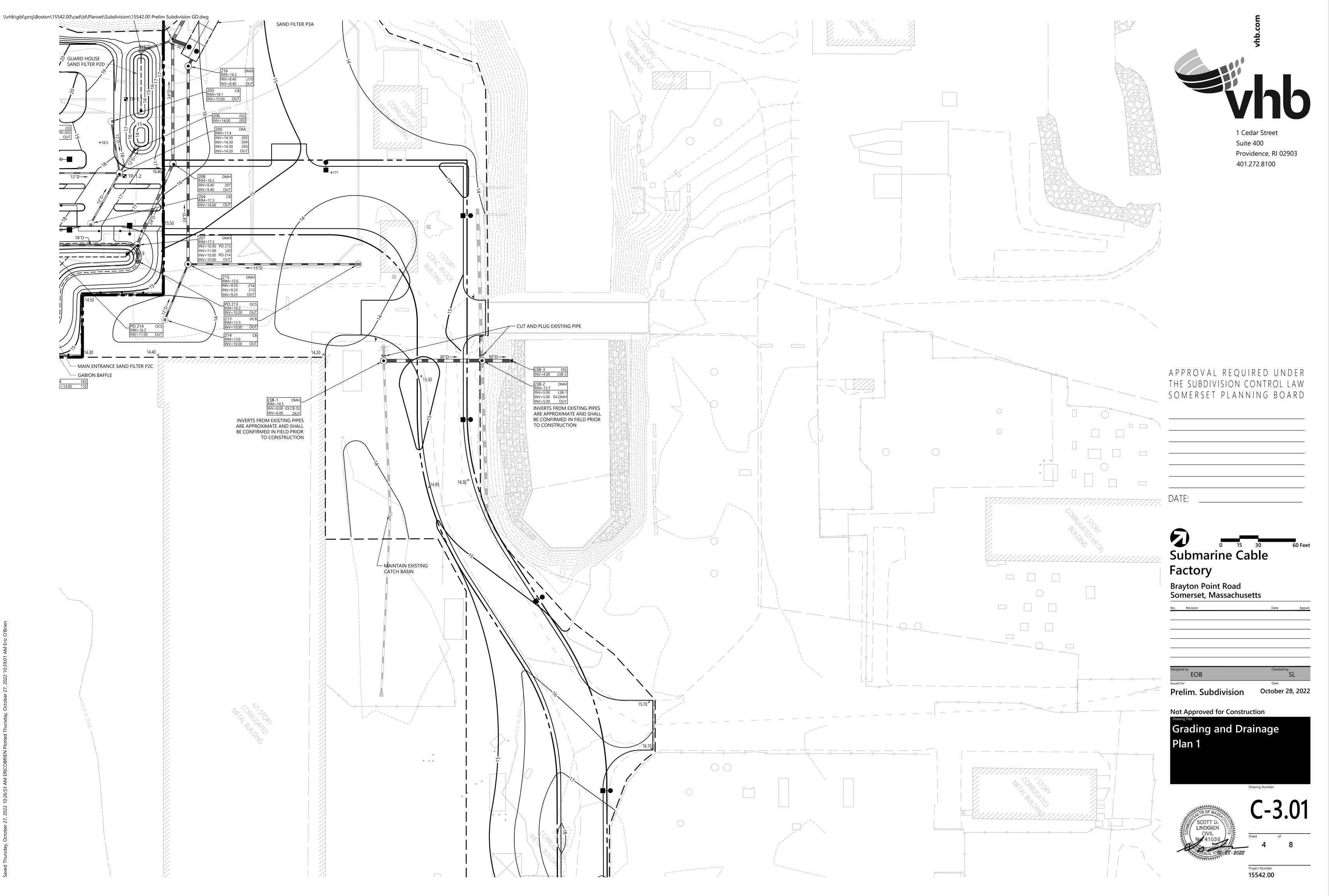
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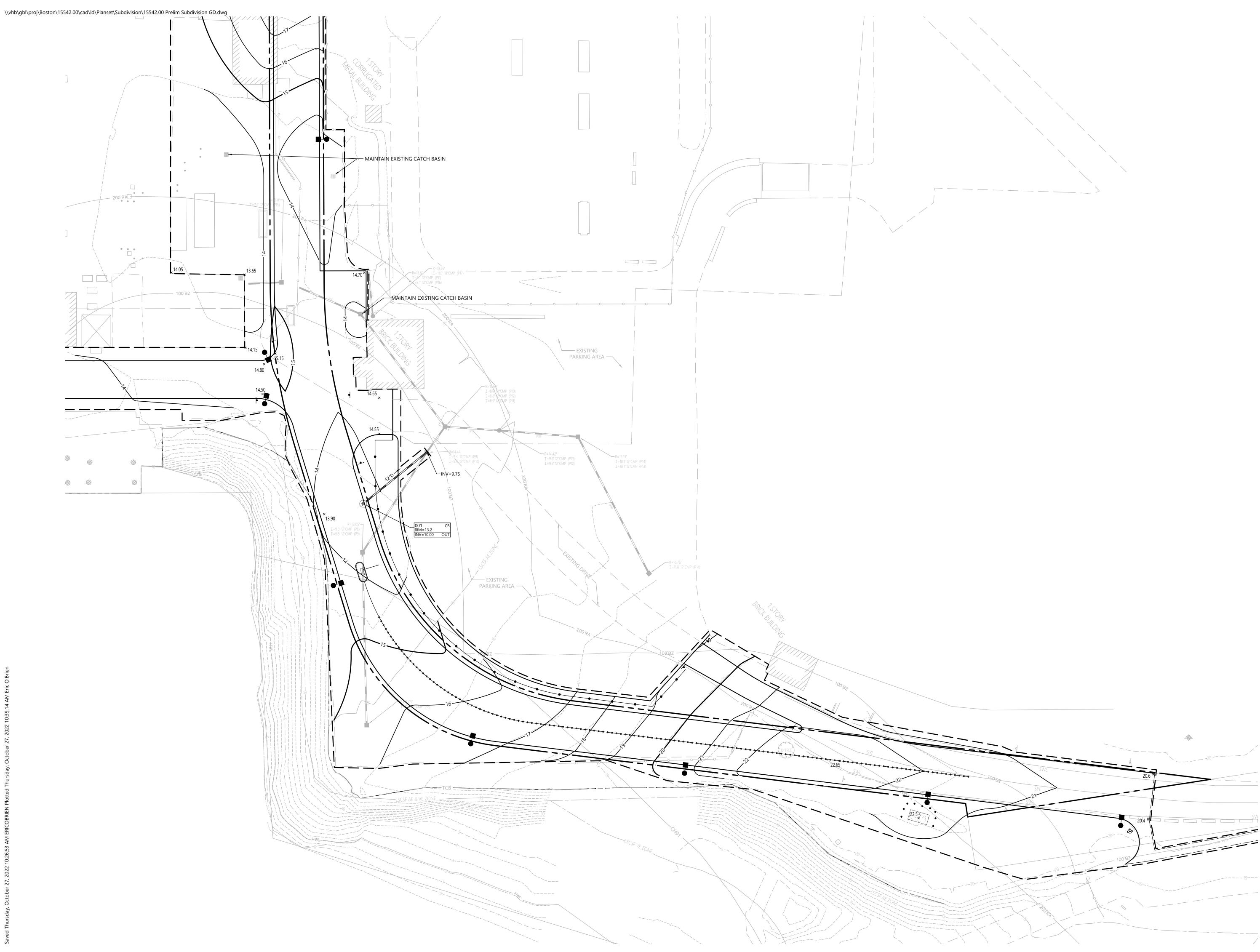
APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

DATE:		
Submarine Cable Factory	е	60 Feet
Brayton Point Road Somerset, Massachusetts		
No. Revision	Date	Appvd

Designed by EOB	Checked by
Issued for	Date
Prelim. Subdivision	October 28, 2022
Not Approved for Construc	ction
Layout and Mate	erials
 Plan 2	









1 Cedar Street Suite 400 Providence, RI 02903 401.272.8100

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

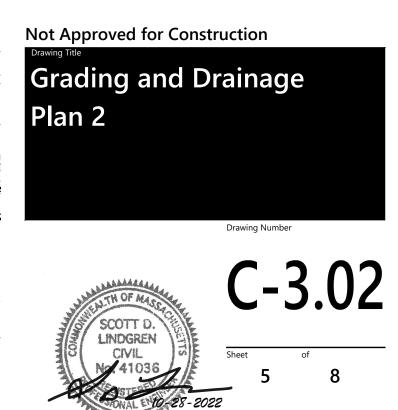
DATE: 5 Submarine Cable

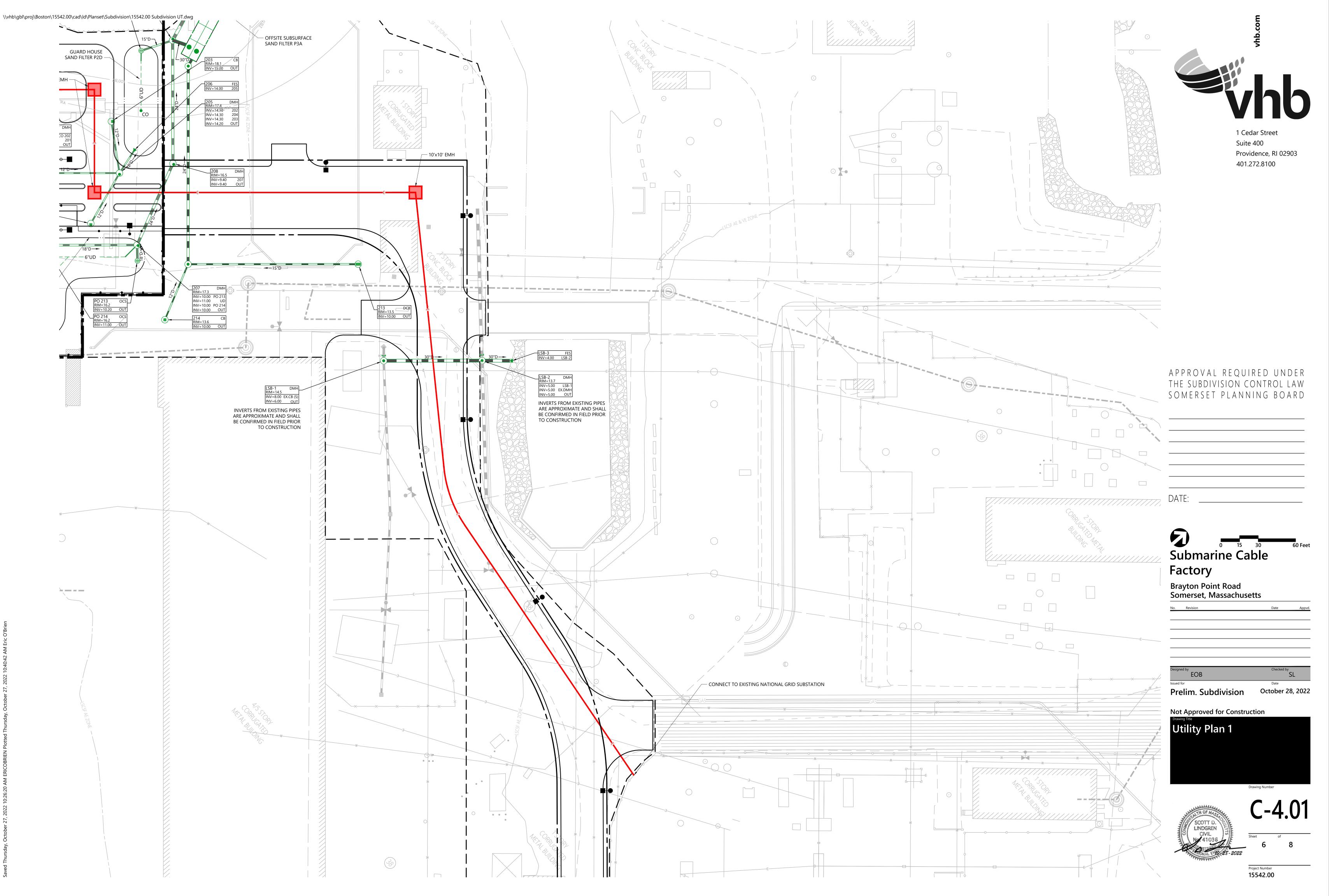
Factory

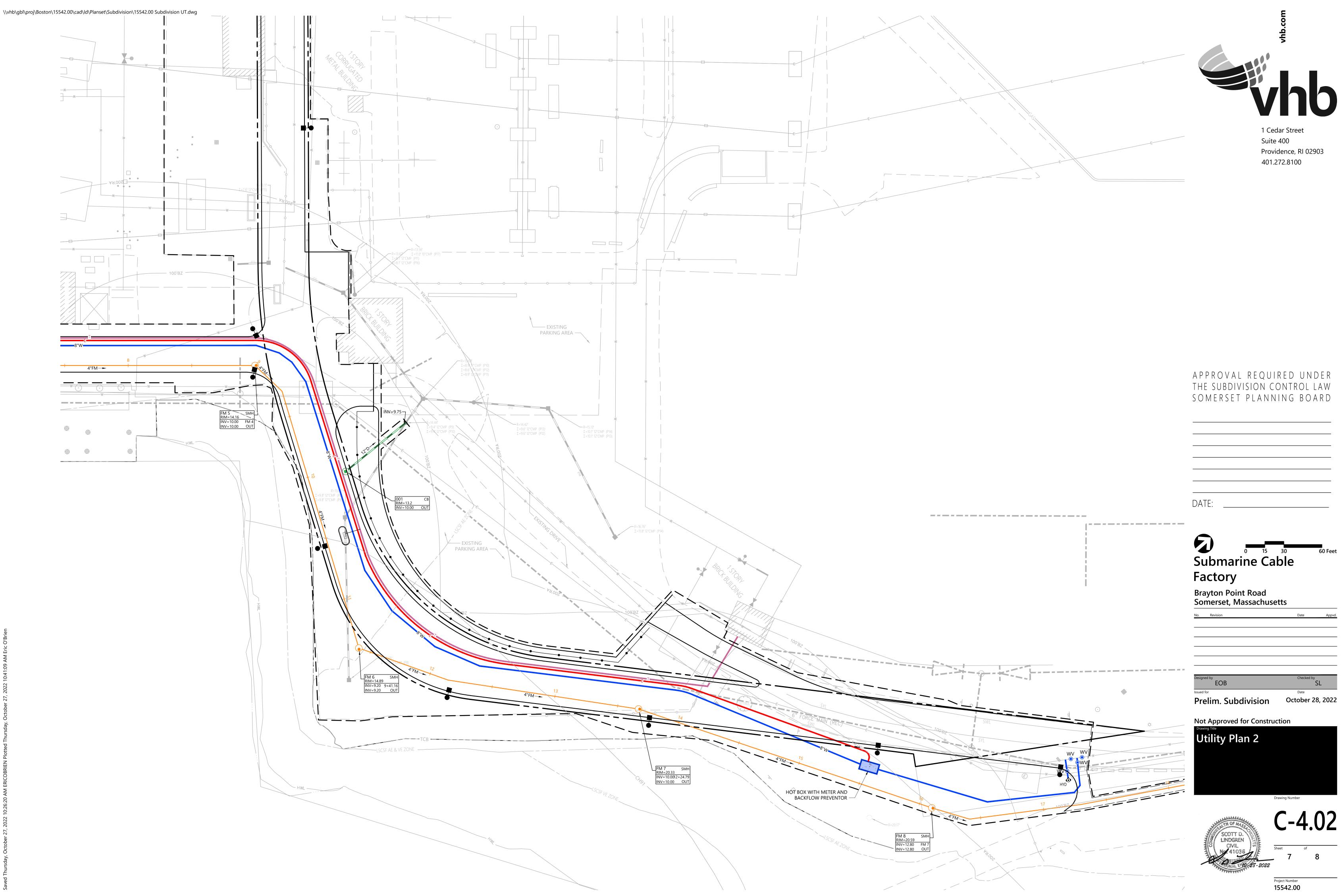
Brayton Point Road Somerset, Massachusetts

No.	Revision	Date	Appvd.
Design	EOB	Checked by	SL.

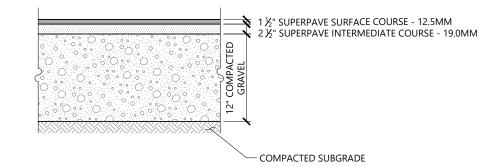
Issued for Prelim. Subdivision October 28, 2022







\\vhb\gbl\proj\Boston\15542.00\cad\ld\Planset\Subdivision\15542.00 Prelim Subdivision DET.dwg



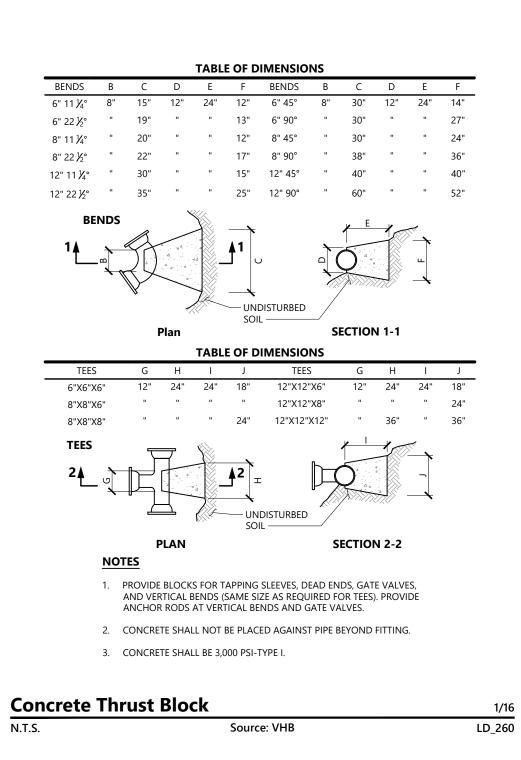
HEAVY DUTY FLEXIBLE PAVEMENT

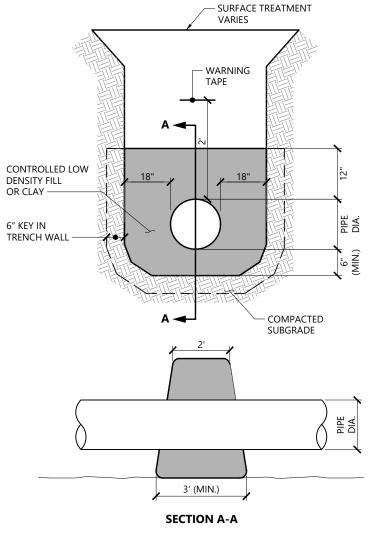
<u>NOTES</u>

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Source: VHB

Bituminous Concrete Pavement Sections N.T.S.





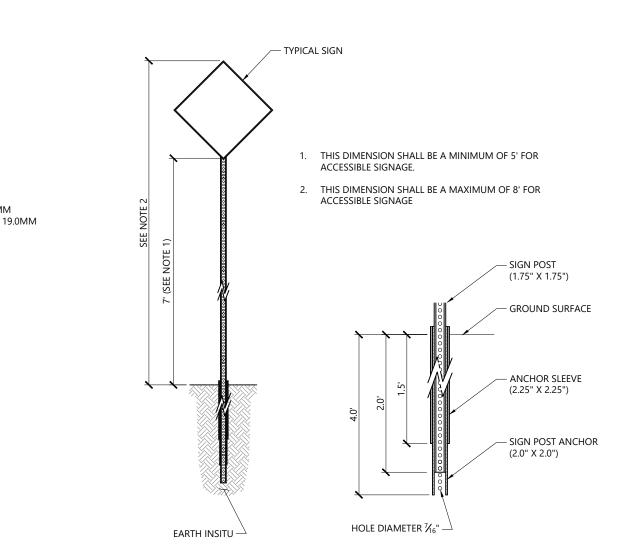
NOTES

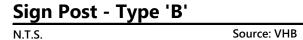
ANTI-SEEPAGE COLLAR TO BE INSTALLED AT 100' MAX. SPACING ALONG ALL PIPING SYSTEMS.

Anti-Seepage Collar

N.T.S.

Source: VHB

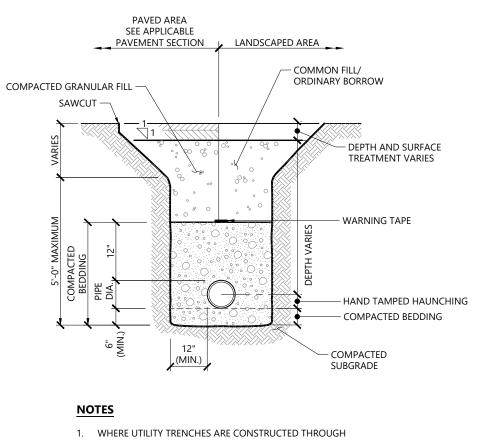


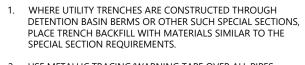


11/19

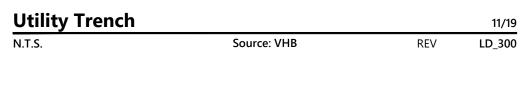
LD_430

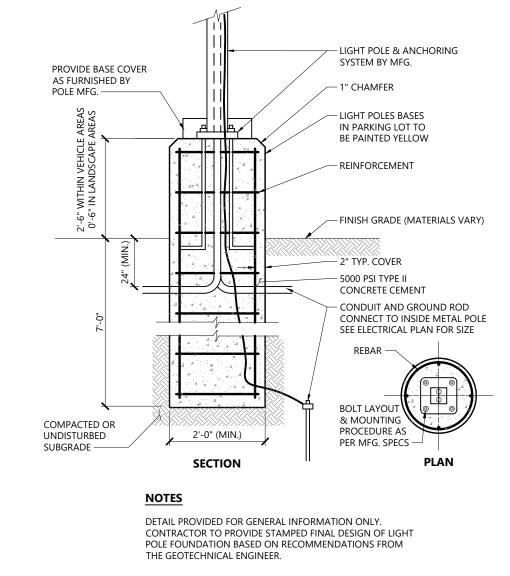
REV





- 2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
- 3. COMPACTED GRANULAR FILL MAY CONSIST OF GRAVEL, CRUSHED STONE, SAND, OR OTHER MATERIAL AS APPROVED BY ENGINEER.



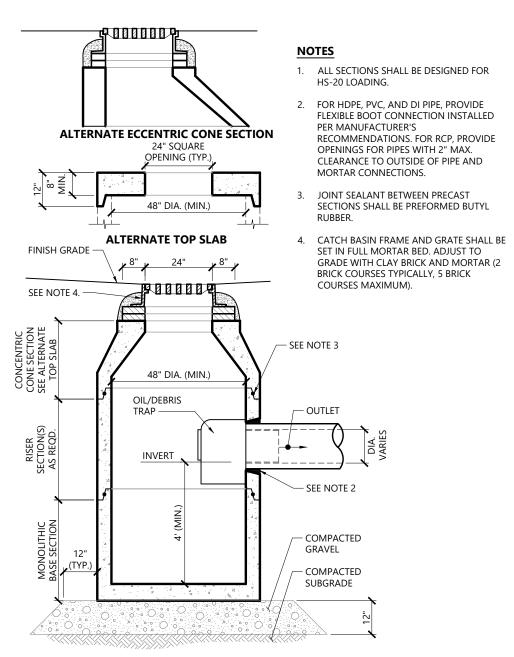


Light Pole Foundation Detail (Up to 40' Pole) N.T.S. Source: VHB

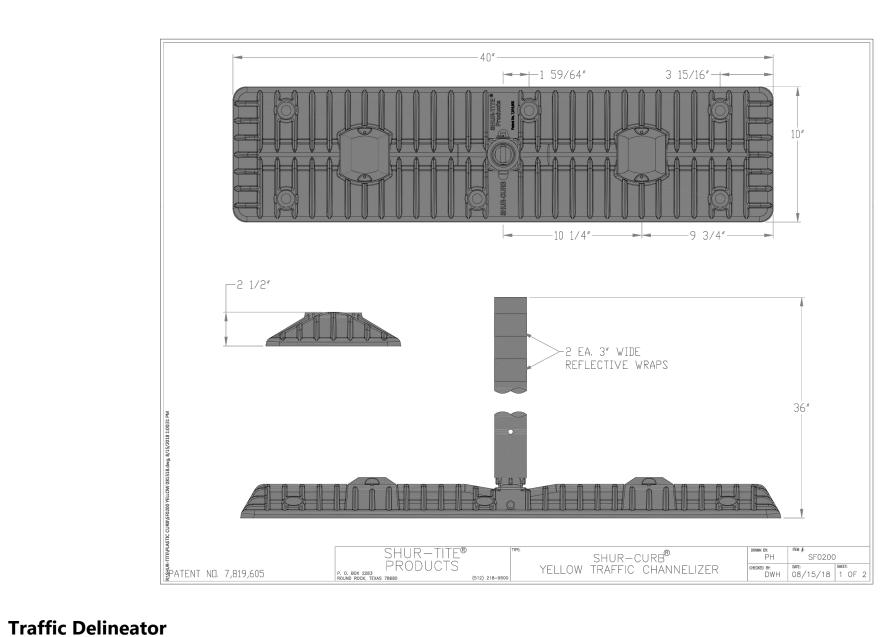
3/19

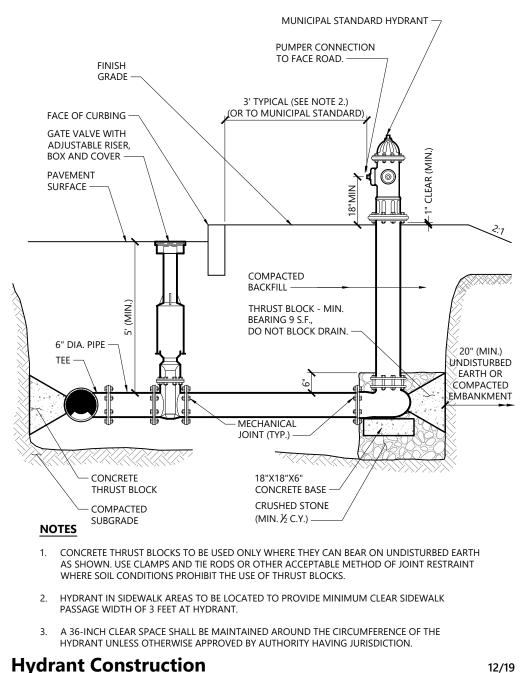
11/19

LD_702



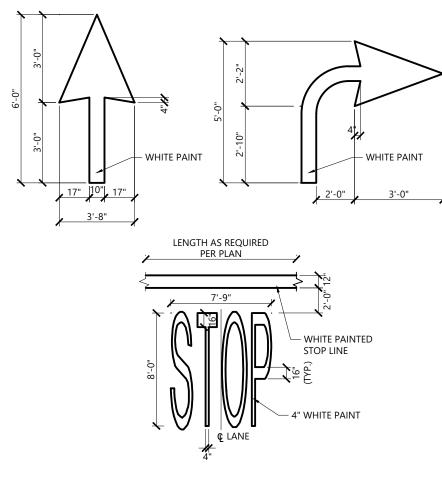
Catch Basin (CB) With Oil/Debris Trap N.T.S. Source: VHB





Source: VHB

N.T.S.



NOTES

Painted Pavement Markings - On Site

30" DIA.

ALTERNATE TOP SLAB

(STEEL REINFORCED FOR HS-20 LOADING)

30" DIA.

× 8" × ACCESS × 8"

— STEPS, SEE NOTE 2.

48" DIA. MANHOLE

ACCESS

48" DIA. MANHOLE

1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Source: VHB

NOTES

LOADING.

STRUCTURE.

1/16

LD_554

REV

1. STRUCTURES SHALL BE DESIGNED FOR HS-20

2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE

EXTERIOR SURFACES SHALL BE GIVEN TWO COATS

OF BITUMINOUS WATER- PROOFING MATERIAL.

5. STANDARD SEWER MANHOLE FRAME AND COVER

MANHOLE DIAMETER SHALL BE VERIFIED BY

CONTRACTOR AND MANUFACTURER BASED ON

PIPE DIAMETER AND FITTING DIMENSIONS.

(STAINLESS STEEL)

- FLEXIBLE WATERTIGHT

GASKET OR SLEEVE

- PIPE SUPPORTS / RESTRAINTS

– SANITARY PRESSURES SEWER (FORCE MAIL) FITTING SIMILAR

TO PIPE MATERIALS AND TO BE

FLANGED/BOLTED FOR DUCTILE IRON OR SOLVENT WELD FOR PVC.

WHERE PIPE COVER IS LESS THAN 4 FEET, PIPING AND FITTINGS IN

MANHOLE SHALL BE INSULATED PROVIDE 2" THICK PREFORMED PIPE

INSULATION WITH A MIN R VALUE OF 12. PROVIDE WATERPROOF INSULATION

— SEE NOTE 3.

— SEE NOTE 4.

45° BEND (TYP.)

— WYE. (TYP.)

COVERING..

SHALL BE SET IN FULL MORTAR BED. ADJUST TO

GRADE WITH SEWER BRICK AND MORTAR (2 BRICK

COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

4. JOINT SEALANT BETWEEN PRECAST SECTIONS

SHALL BE PREFORMED BUTYL RUBBER.



N.T.S.

[∞] ↓ −

FINISH

SEE

NOTE 5. -

GRADE —

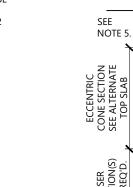




3/21

LD_101





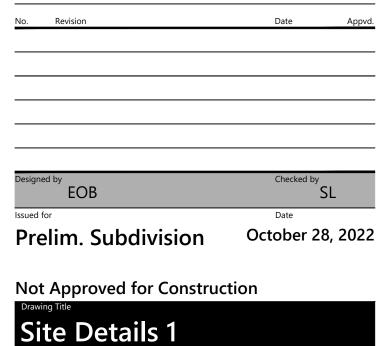
COMPACTED GRAVEL — COMPACTED SUBGRADE —

Sanitary Pressure Sewer Cleanout Manhole (FM-CO) 1/16 N.T.S. Source: VHB REV LD_206

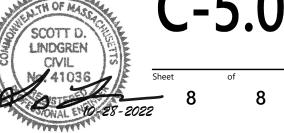
1 Cedar Street Suite 400 Providence, RI 02903 401.272.8100

Submarine Cable Factory

Brayton Point Road Somerset, Massachusetts



Drawing Number



Project Number 15542.00

Shur-Tite

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

_____ _____ DATE:

Certification

RESERVED FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Sct. 26,2022

Record Owner

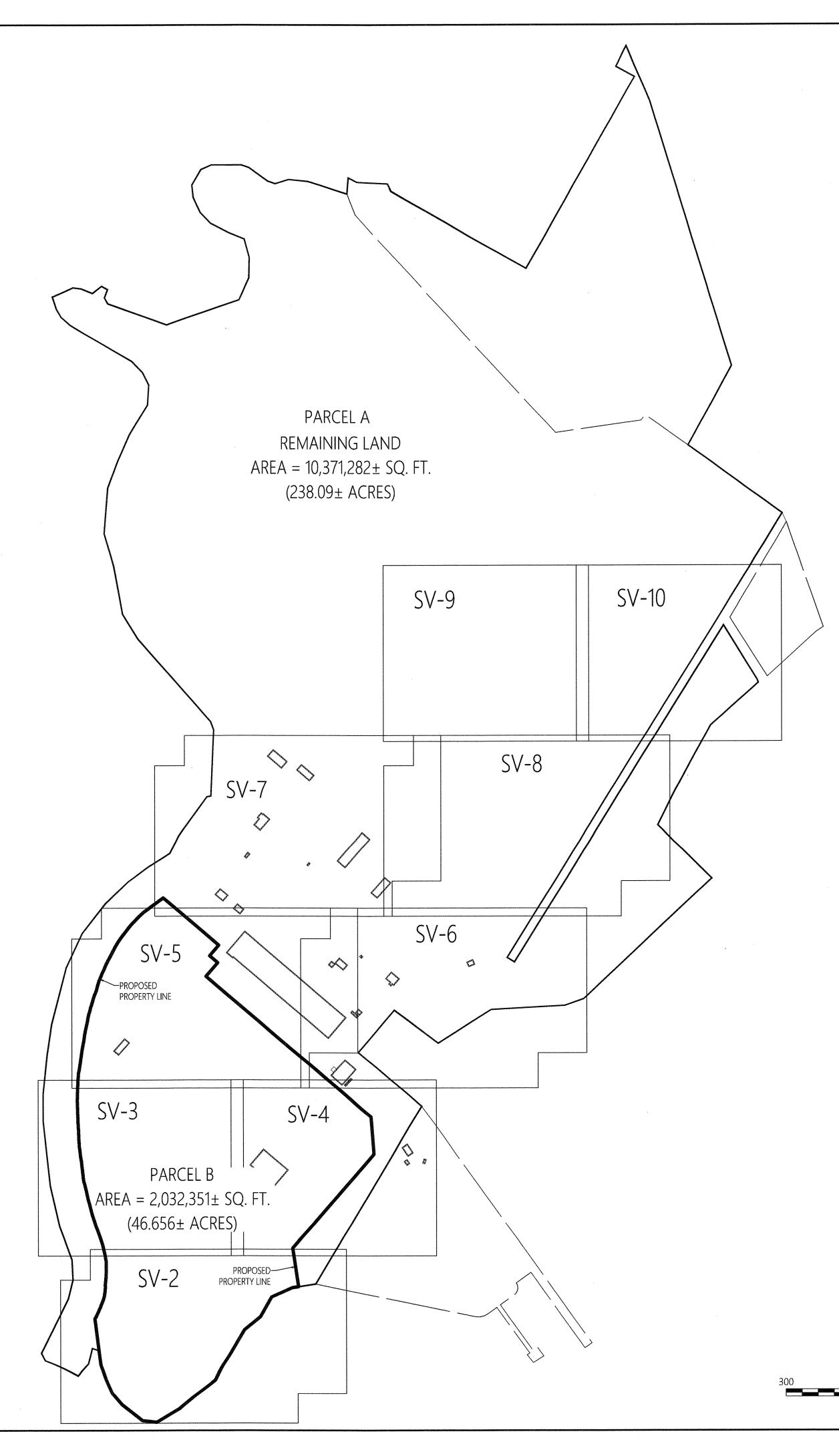
BRAYTON POINT LLC 1 BRAYTON POINT ROAD SOMERSET, MASS. PID 273002A000020 BOOK 9433, PAGE 29

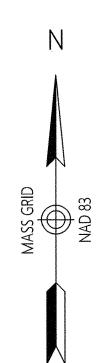
General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN APRIL, 2022 AND FROM DEEDS AND PLANS OF RECORD. A PORTION OF THE PERIMETER BOUNDARY LINE OF THE EXISTING PARCEL FOLLOWS THE MEAN LOW WATER AS SHOWN ON PLAN. SEE RECORD PLAN IN PLAN BOOK 112, PLAN 9.
- 2) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983.
- 3) THE LOT LIES ENTIRELY WITHIN THE INDUSTRIAL DISTRICT (I) AS SHOWN ON THE "OFFICIAL ZONING" MAP TOWN OF SOMERSET, MASSACHUSETTS", LAST AMENDED MARCH 19, 2018. DIMENSIONAL REQUIREMENTS FOR AN (I) AT THE TIME OF THIS SURVEY ARE: TABLE A - ITEM 6(a)* REQUIRED

	REQUIRED
MINIMUM LOT AREA	20,000 S.F.
MINIMUM FRONTAGE	ANY
MINIMUM FRONT YARD SETBACK	50 FEET
	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	ANY

4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.





PLAN OF LAND

PREPARED FOR: BRAYTON POINT, LLC

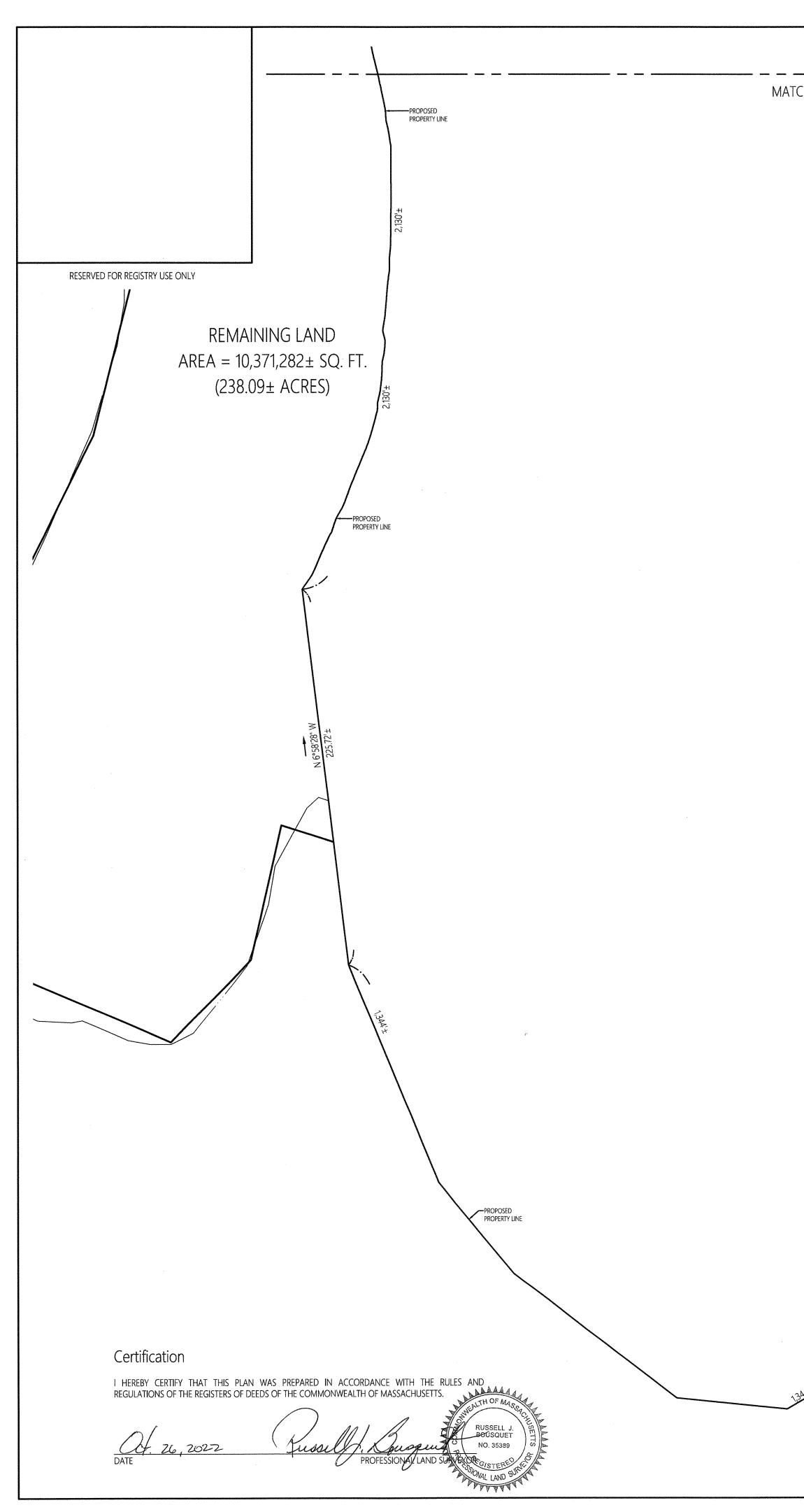
PREPARED BY: VHB, Inc.

Engineers | Scientists | Planners | Designers 101 Walnut Street, P.O. Box 9151 Watertown, MA 02471-9151 (617) 924-1770

SCALE: 1 INCH = 300 FEET SHEET 1 OF 10 - KEY DATE: OCTOBER 11, 2022

0 300 60 SCALE IN FEET

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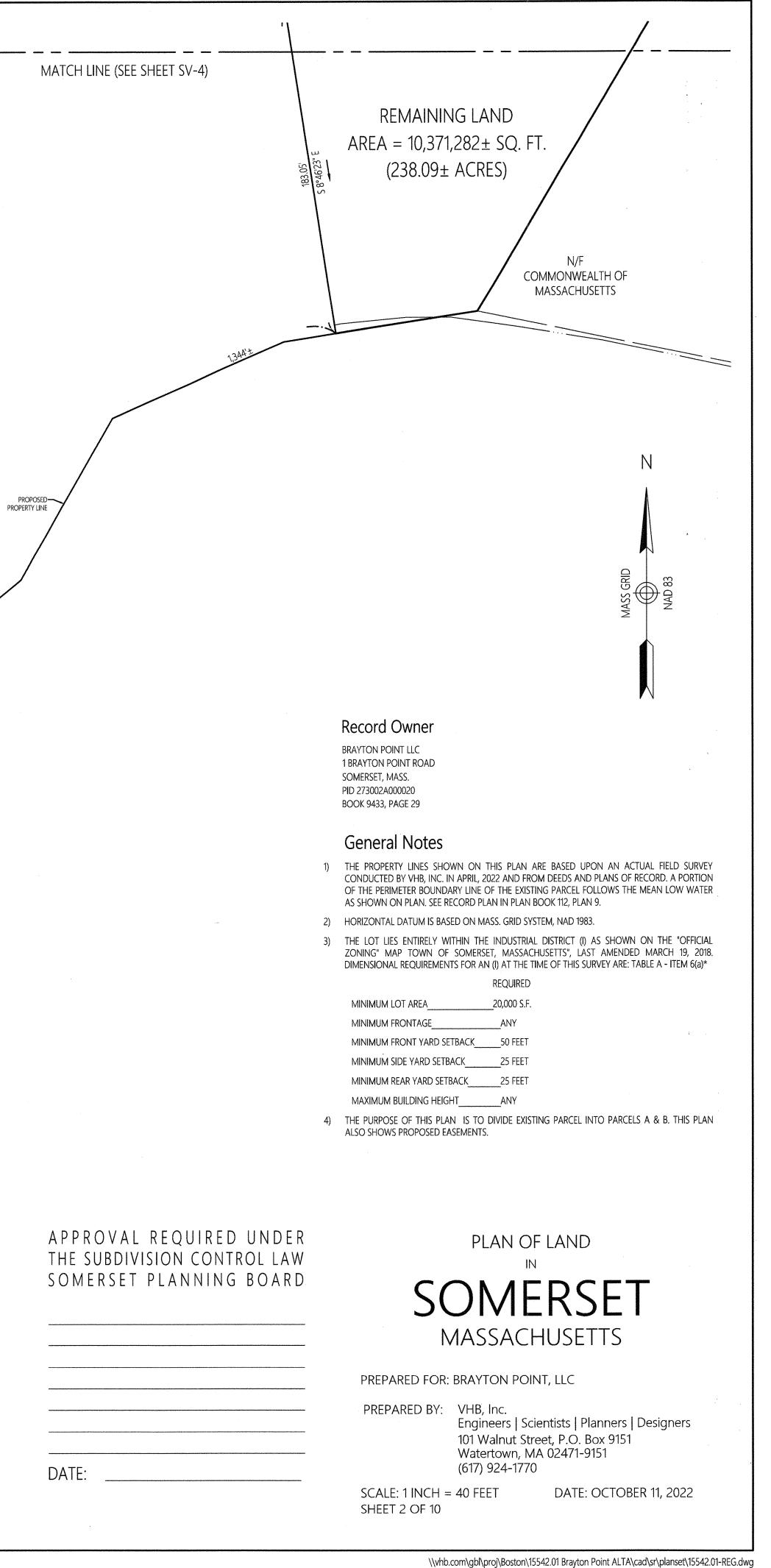


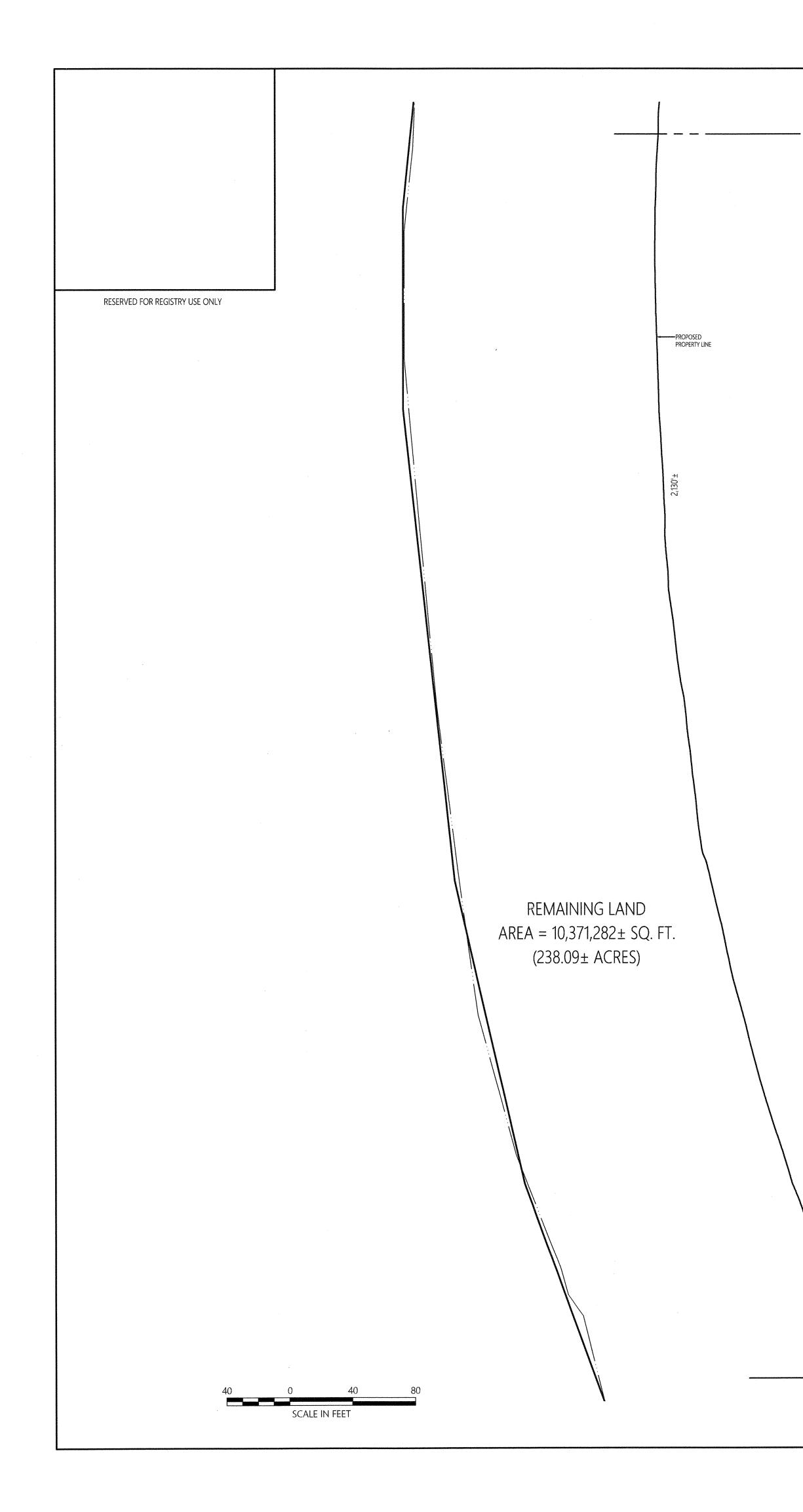
TCH LINE (SEE SHEET SV-3)	 	 MA

PROPOSED PARCEL $AREA = 2,032,351 \pm SQ. FT.$

(46.656± ACRES)

SCALE IN FEET





MATCH LINE (SEE SHEET SV-5)

PROPOSED PARCEL AREA = $2,032,351 \pm$ SQ. FT. (46.656 \pm ACRES)

General Notes

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 - REQUIREDMINIMUM LOT AREA20,000 S.F.MINIMUM FRONTAGEANYMINIMUM FRONT YARD SETBACK50 FEETMINIMUM SIDE YARD SETBACK25 FEETMINIMUM REAR YARD SETBACK25 FEET
- Maximum Building Height_____ANY
- 4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.

Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

MATCH LINE (SEE SHEET SV-2)

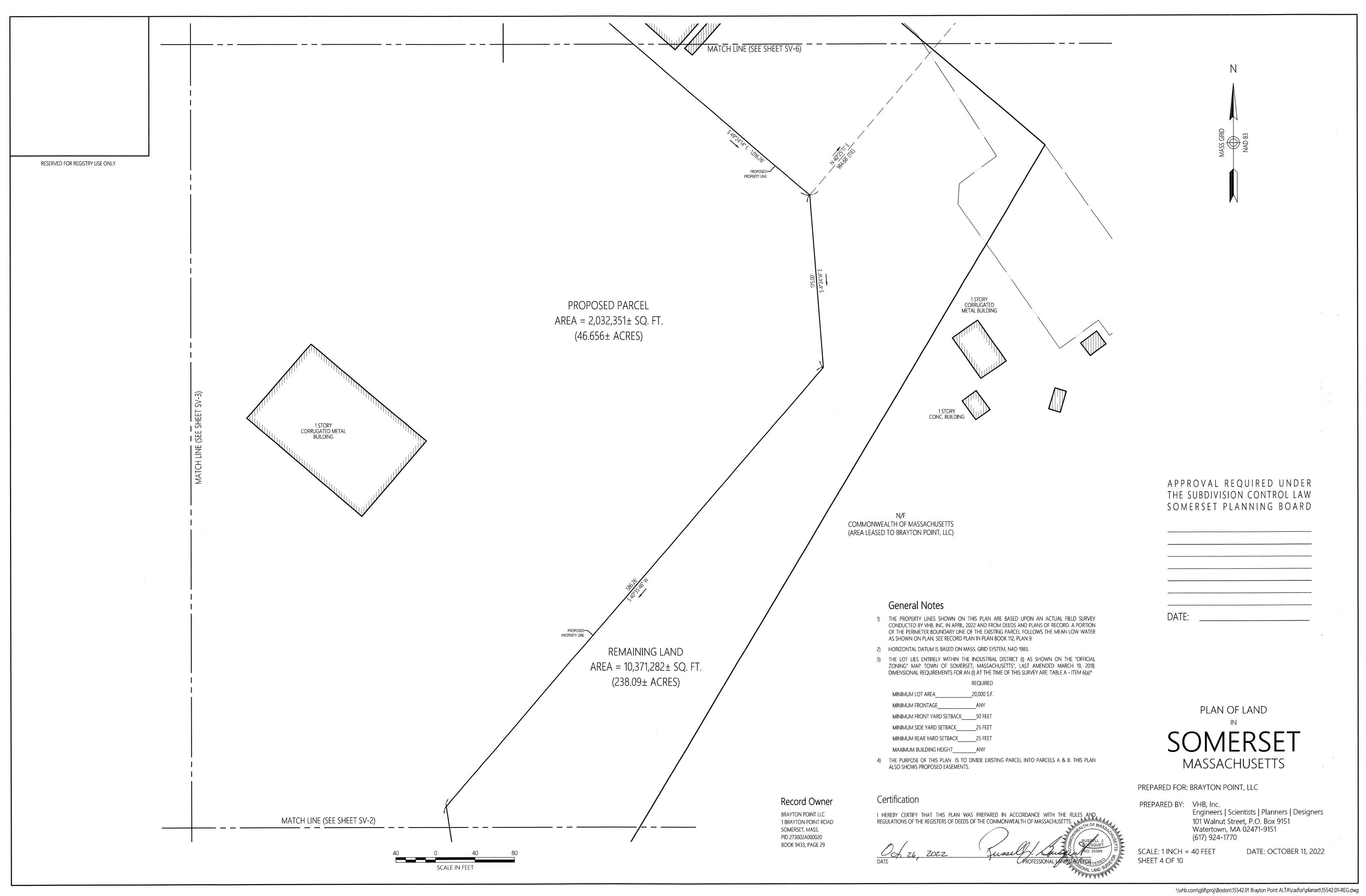
Record Owner BRAYTON POINT LLC 1 BRAYTON POINT ROAD SOMERSET, MASS. PID 273002A000020 BOOK 9433, PAGE 29

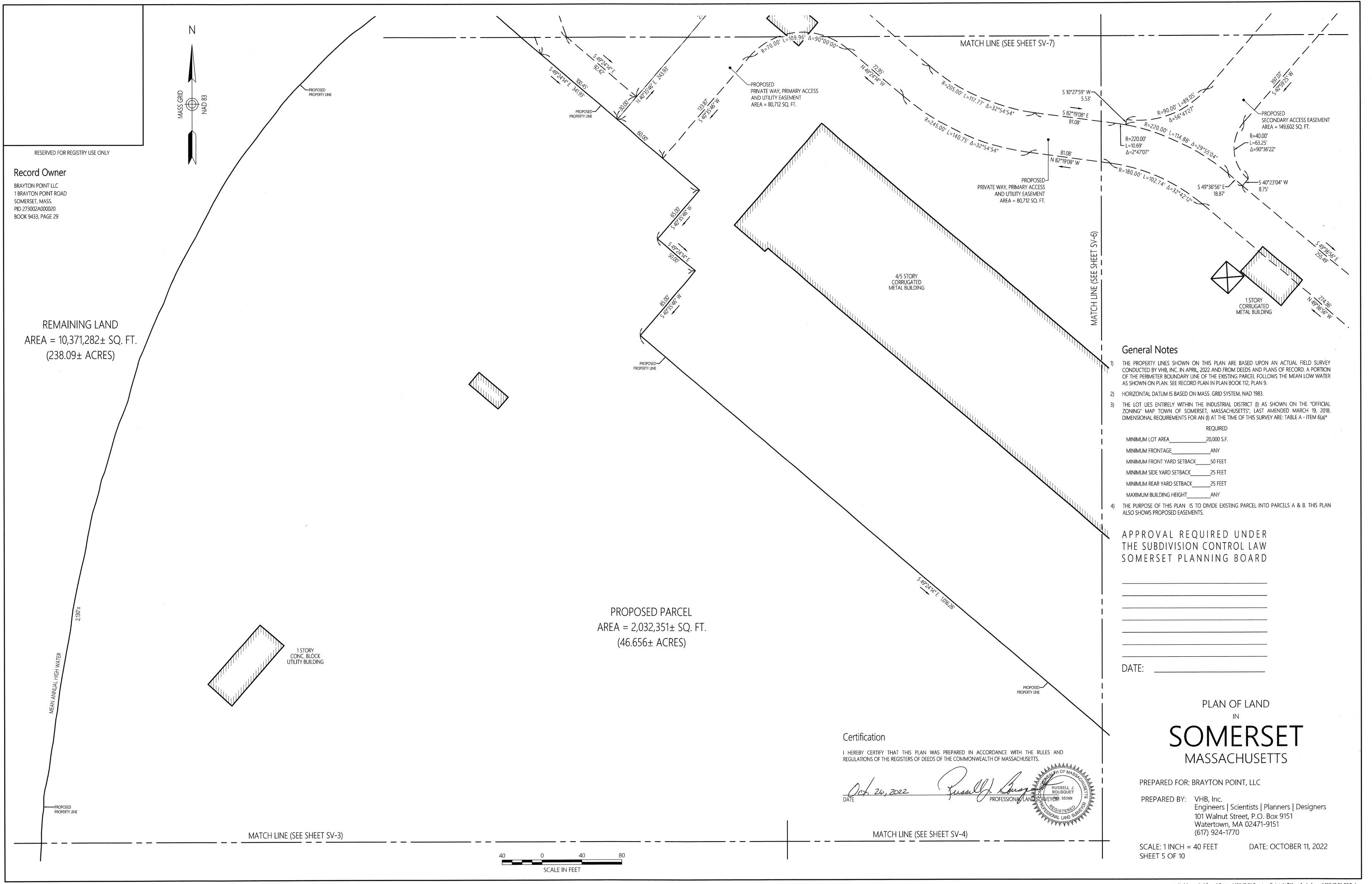
APPROVAL REQUIRED UNDER	
THE SUBDIVISION CONTROL LAW	
SOMERSET PLANNING BOARD	

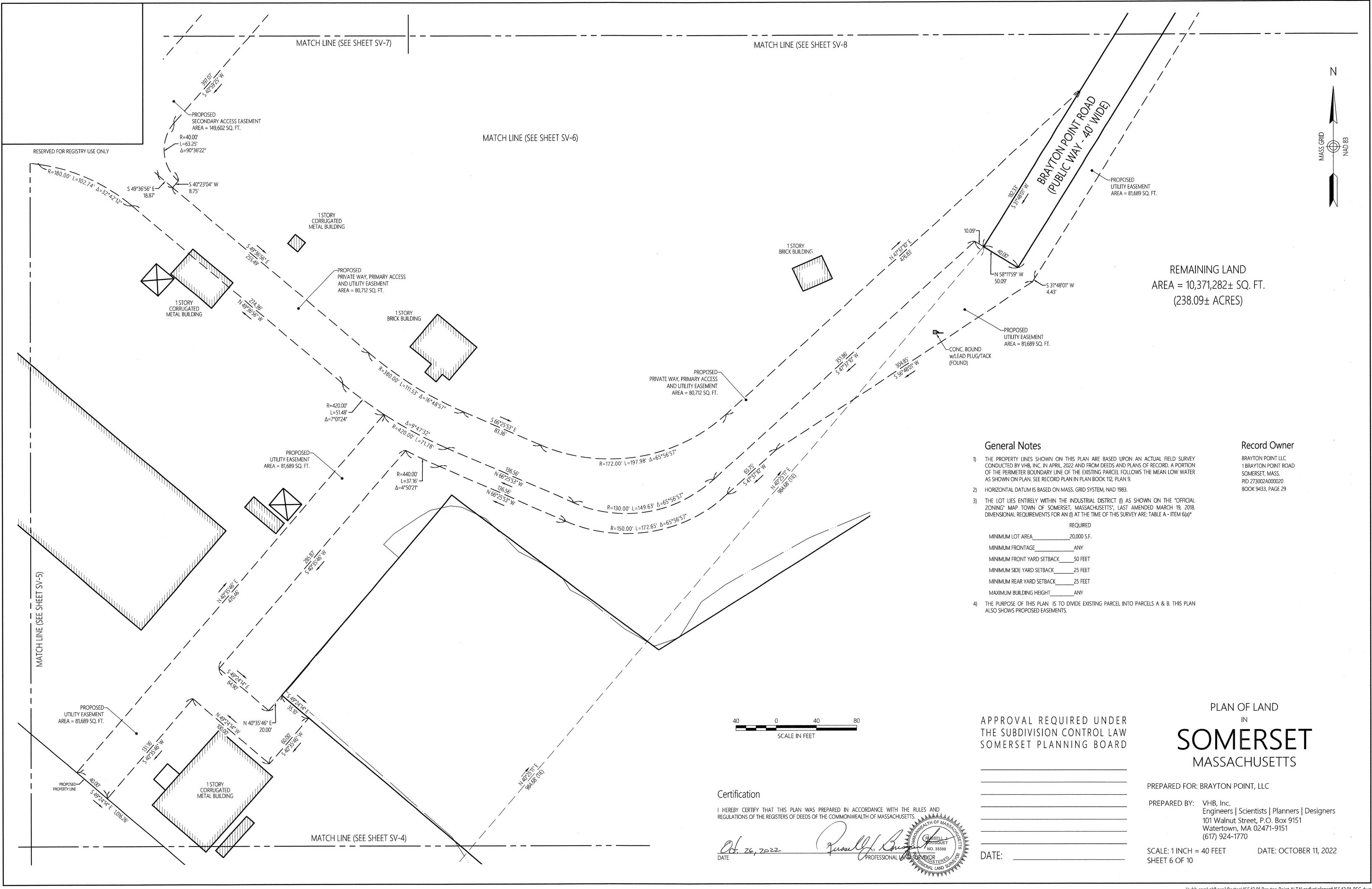
www.com.com.com.com.com.com.com.com.com.com		 	
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DATE:			
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Scale: 1 INCH = 40 FEET Sheet 3 of 10 DATE: OCTOBER 11, 2022







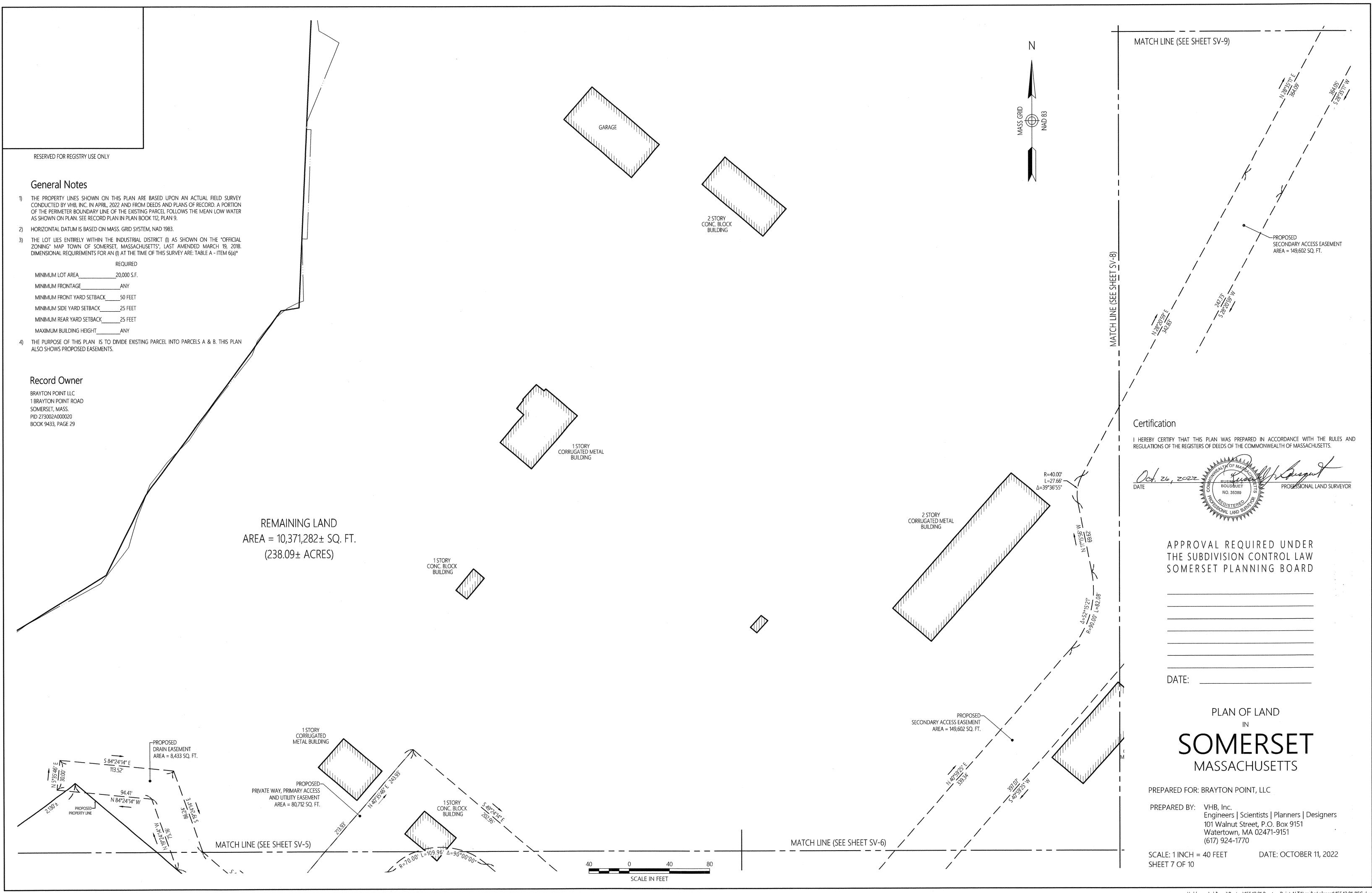
	REQUIRED
MINIMUM LOT AREA	20,000 S.F.
MINIMUM FRONTAGE	ANY
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
	25 FEET
Maximum Building Height	ANY

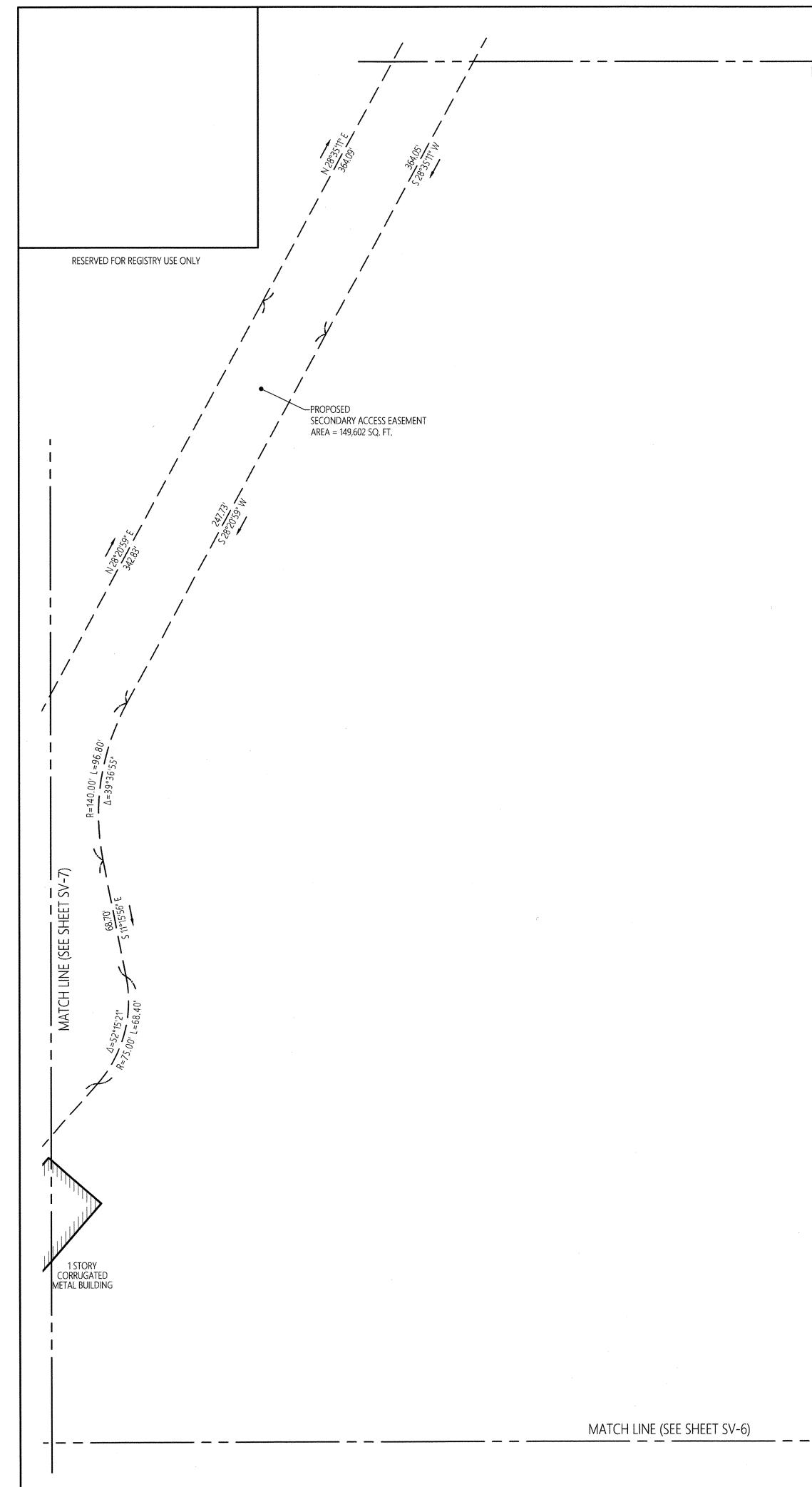
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PREPARED FOR: BRAYTON POINT, LL	(
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PREPARED BY:	Engineers 101 Walnut	Scientists Planners Designers Street, P.O. Box 9151 MA 02471-9151 770
SCALE: 1 INCH =	40 FEET	DATE: OCTOBER 11, 2022

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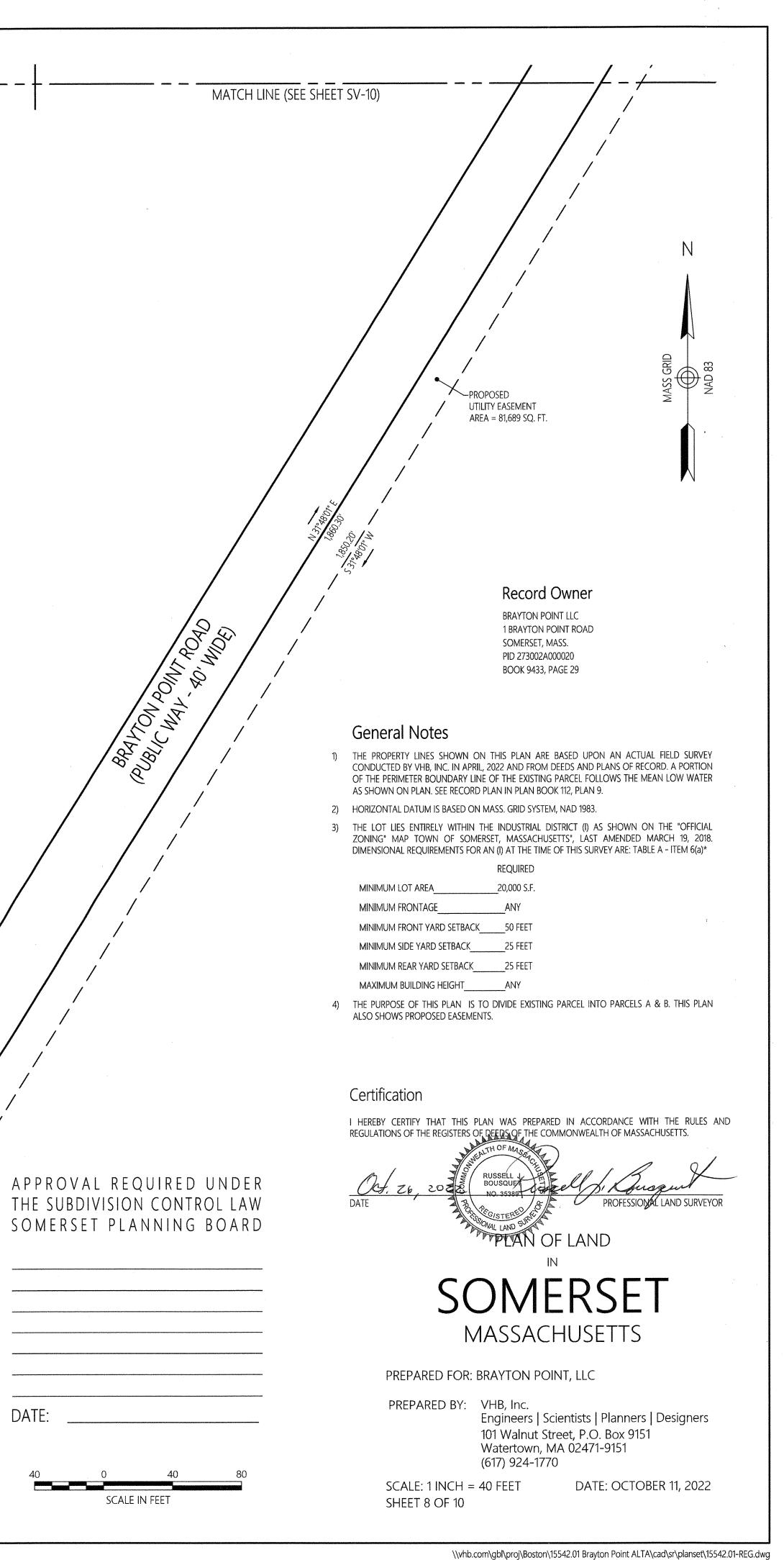


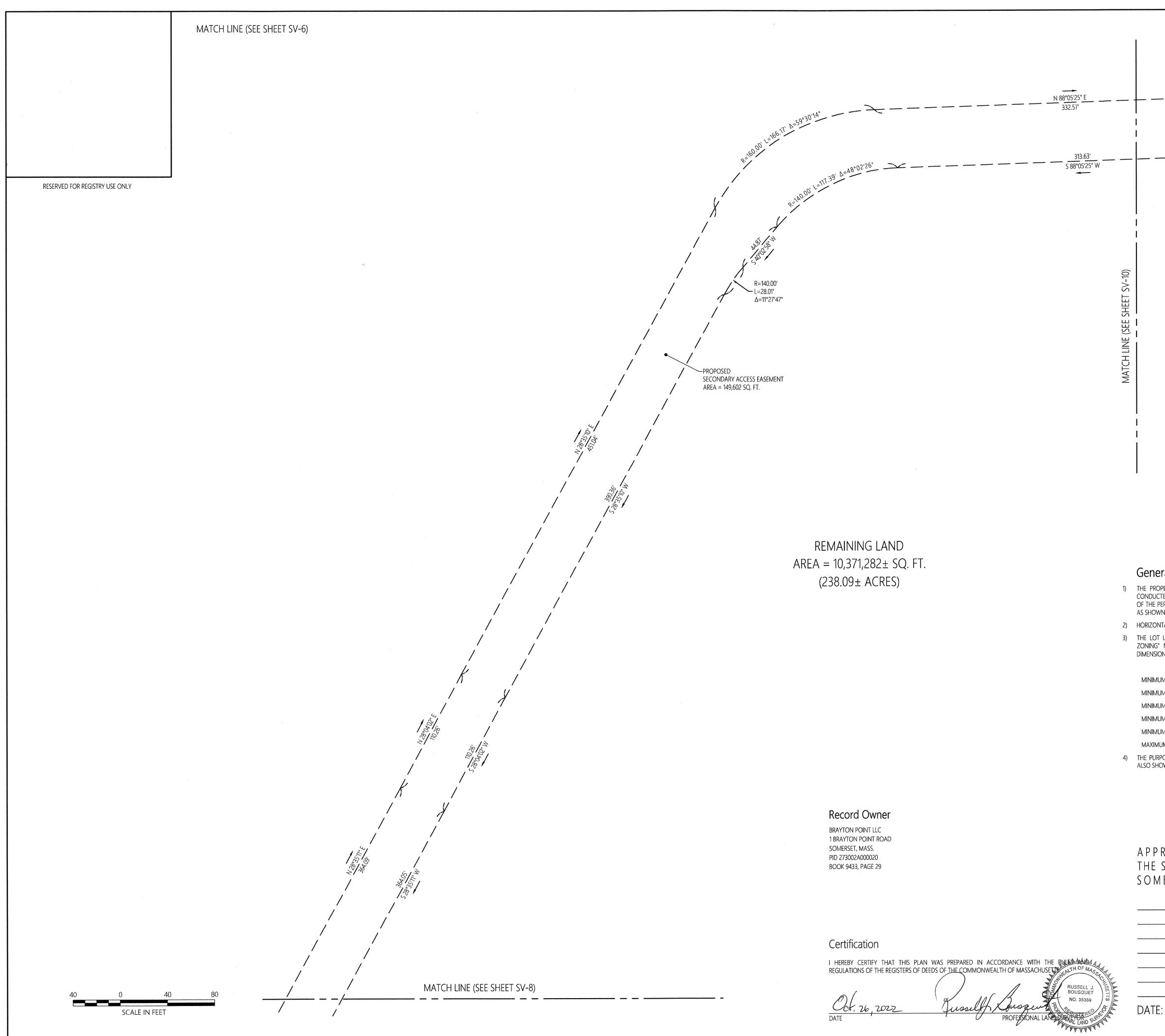
MATCH LINE (SEE SHEET SV-9)

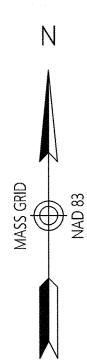
AREA = 10,371,282± SQ. FT. (238.09± ACRES)

REMAINING LAND

DATE:







General Notes

1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN APRIL, 2022 AND FROM DEEDS AND PLANS OF RECORD. A PORTION OF THE PERIMETER BOUNDARY LINE OF THE EXISTING PARCEL FOLLOWS THE MEAN LOW WATER AS SHOWN ON PLAN. SEE RECORD PLAN IN PLAN BOOK 112, PLAN 9.

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MINIMUM FRONTAGE	ANY
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MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	ANY

4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

PLAN OF LAND IN SOMERSET MASSACHUSETTS

PREPARED FOR: BRAYTON POINT, LLC

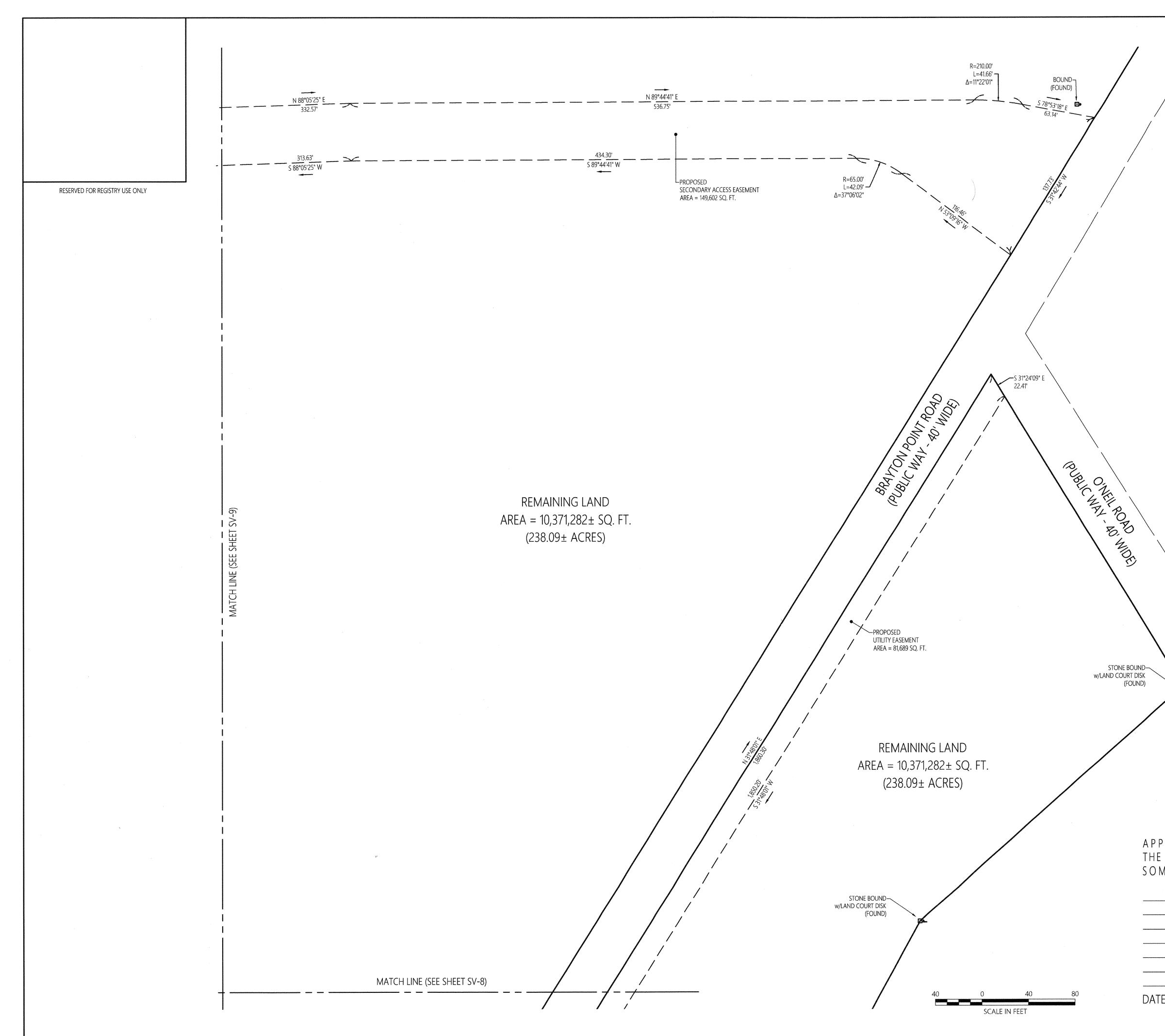
PREPARED BY: VHB, Inc.

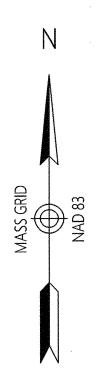
Engineers | Scientists | Planners | Designers 101 Walnut Street, P.O. Box 9151 Watertown, MA 02471-9151 (617) 924-1770

SCALE: 1 INCH = 40 FEET SHEET 9 OF 10

DATE: OCTOBER 11, 2022

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Record Owner

BRAYTON POINT LLC 1 BRAYTON POINT ROAD SOMERSET, MASS. PID 273002A000020 BOOK 9433, PAGE 29

Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Oct. 26, 2022 RUSSELL J -BOUSOL PROFESSIONAL LAND SURVEYOR DATE NO. 35389 PLAN OF LAND IN SOMERSET MASSACHUSETTS PREPARED FOR: BRAYTON POINT, LLC

PREPARED BY: VHB, Inc. Engineers | Scientists | Planners | Designers 101 Walnut Street, P.O. Box 9151 Watertown, MA 02471-9151 (617) 924-1770 SCALE: 1 INCH = 40 FEET DATE: OCTOBER 11, 2022 SHEET 10 OF 10

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OMERSET	PLANNING	BOAR

DATE:	alan ila ang mananang mang mang mang mang mang	