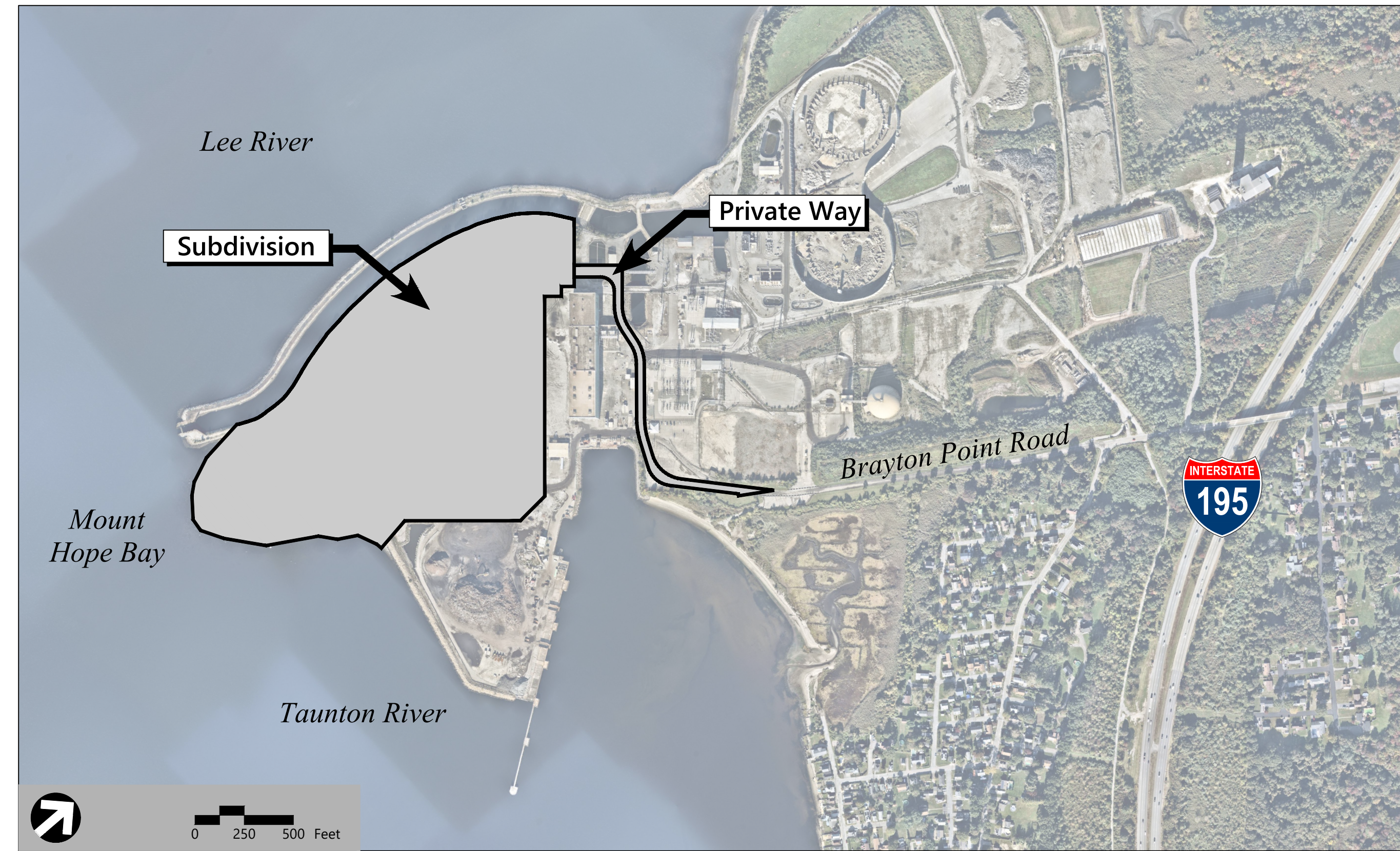


Site Plans

Issued for: Preliminary Subdivision
 Date Issued: Oct. 28, 2022
 Latest Issue: Oct. 28, 2022

Submarine Cable Factory

Brayton Point Road
 Somerset, Massachusetts



Applicant

Prysmian Cables and Systems USA, LLC
 4 Tesseneer Road
 Highland Heights, Kentucky 410763

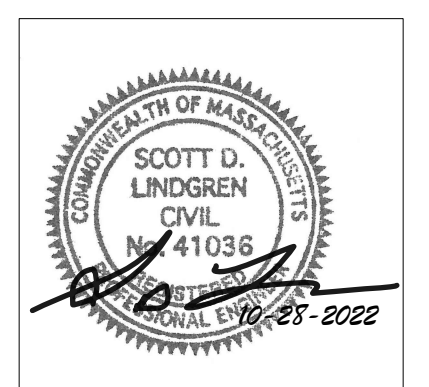
Assessor's Map: **A2**

Sheet Index

No.	Drawing Title	Latest Issue
C-1.00	Legend and General Notes	10/28/2022
C-2.01 to C-2.02	Layout and Materials Plans	10/28/2022
C-3.01 to C-3.02	Grading and Drainage Plans	10/28/2022
C-4.01 to C-4.02	Utility Plans	10/28/2022
C-5.01	Site Details	10/28/2022
SV-1 to SV-10	Plan of Land in Somerset Massachusetts	Oct. 11, 2022

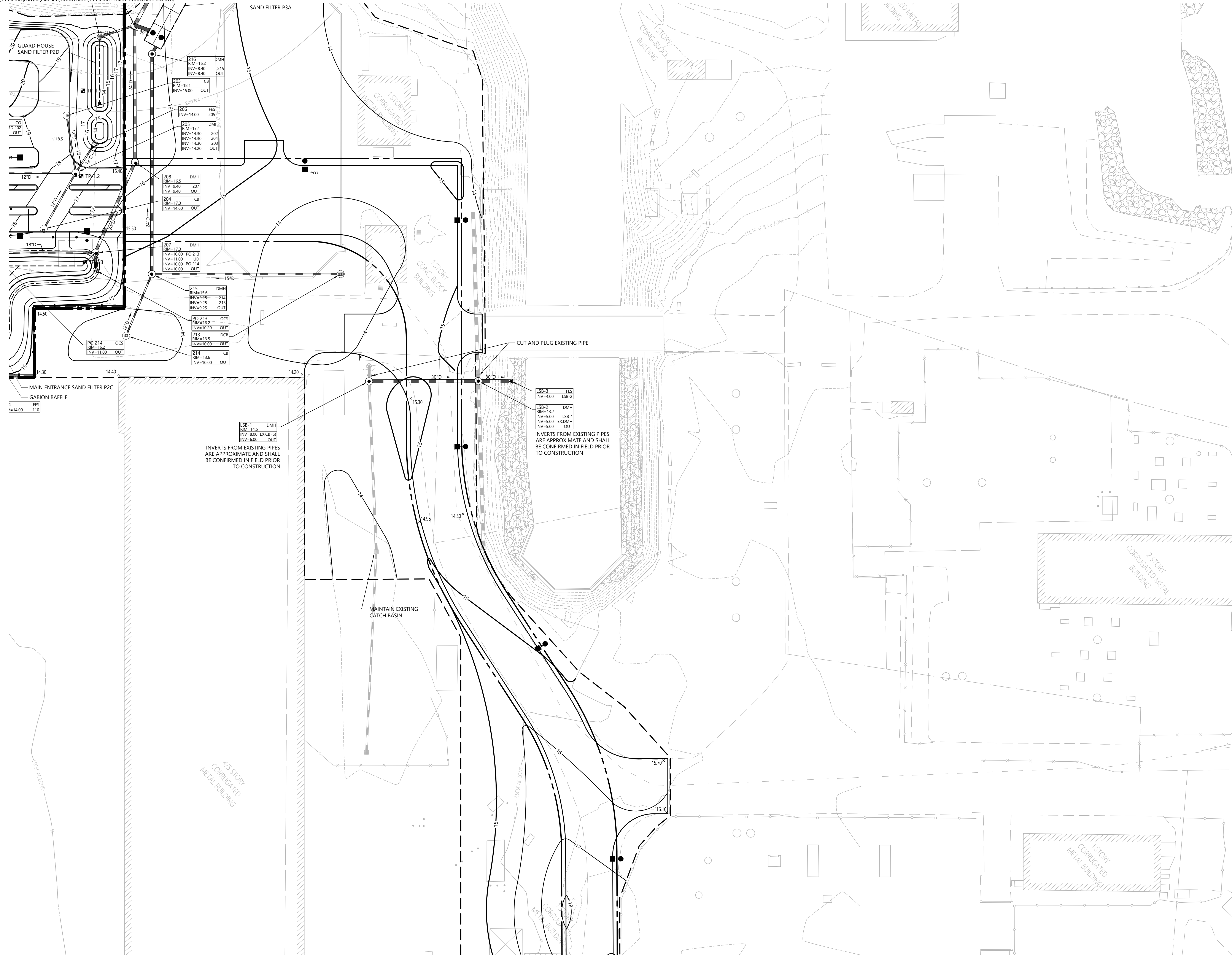
APPROVAL REQUIRED UNDER
 THE SUBDIVISION CONTROL LAW
 SOMERSET PLANNING BOARD

 DATE: _____



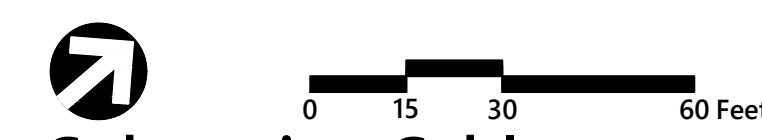


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



APPROVAL REQUIRED UNDER
THE SUBDIVISION CONTROL LAW
SOMERSET PLANNING BOARD

DATE: _____



Submarine Cable Factory

Brayton Point Road
Somerset, Massachusetts

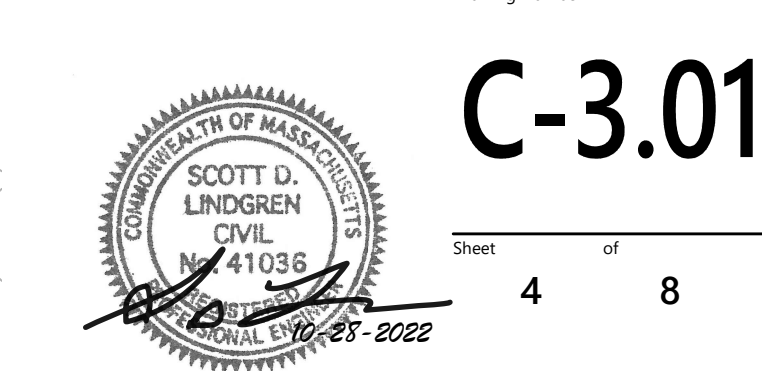
No.	Revision	Date	App'd.

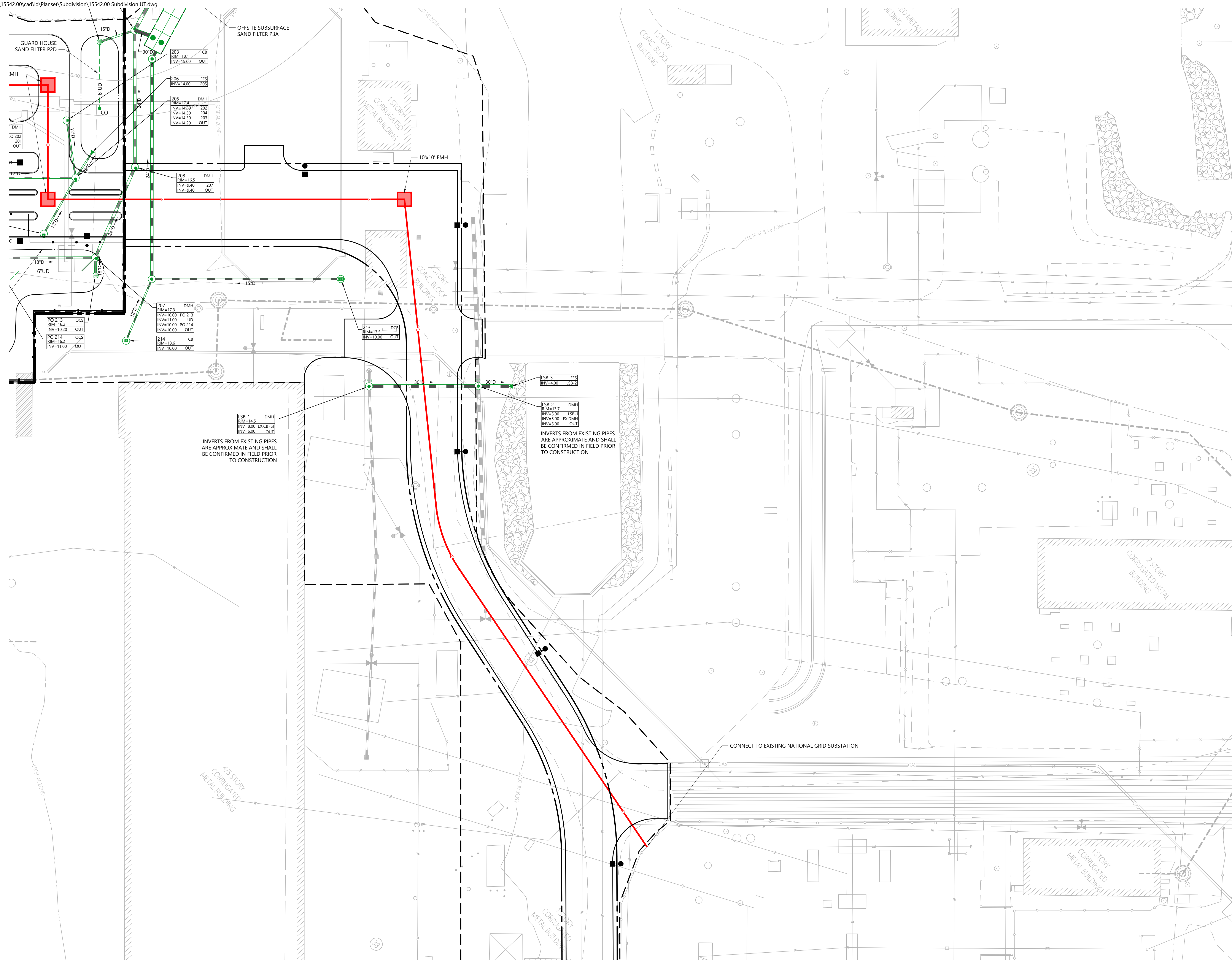
Designed by: **EOB** Checked by: **SL**

Issued for: **Prelim. Subdivision** Date: **October 28, 2022**

Not Approved for Construction
Drawing Title: **Grading and Drainage
Plan 1**

Drawing Number: **C-3.01**





INVERTS FROM EXISTING PIPES ARE APPROXIMATE AND SHALL BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION

INVERTS FROM EXISTING PIPES ARE APPROXIMATE AND SHALL BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

DATE: _____



Submarine Cable Factory

Brayton Point Road
Somerset, Massachusetts

No.	Revision	Date	Appr.

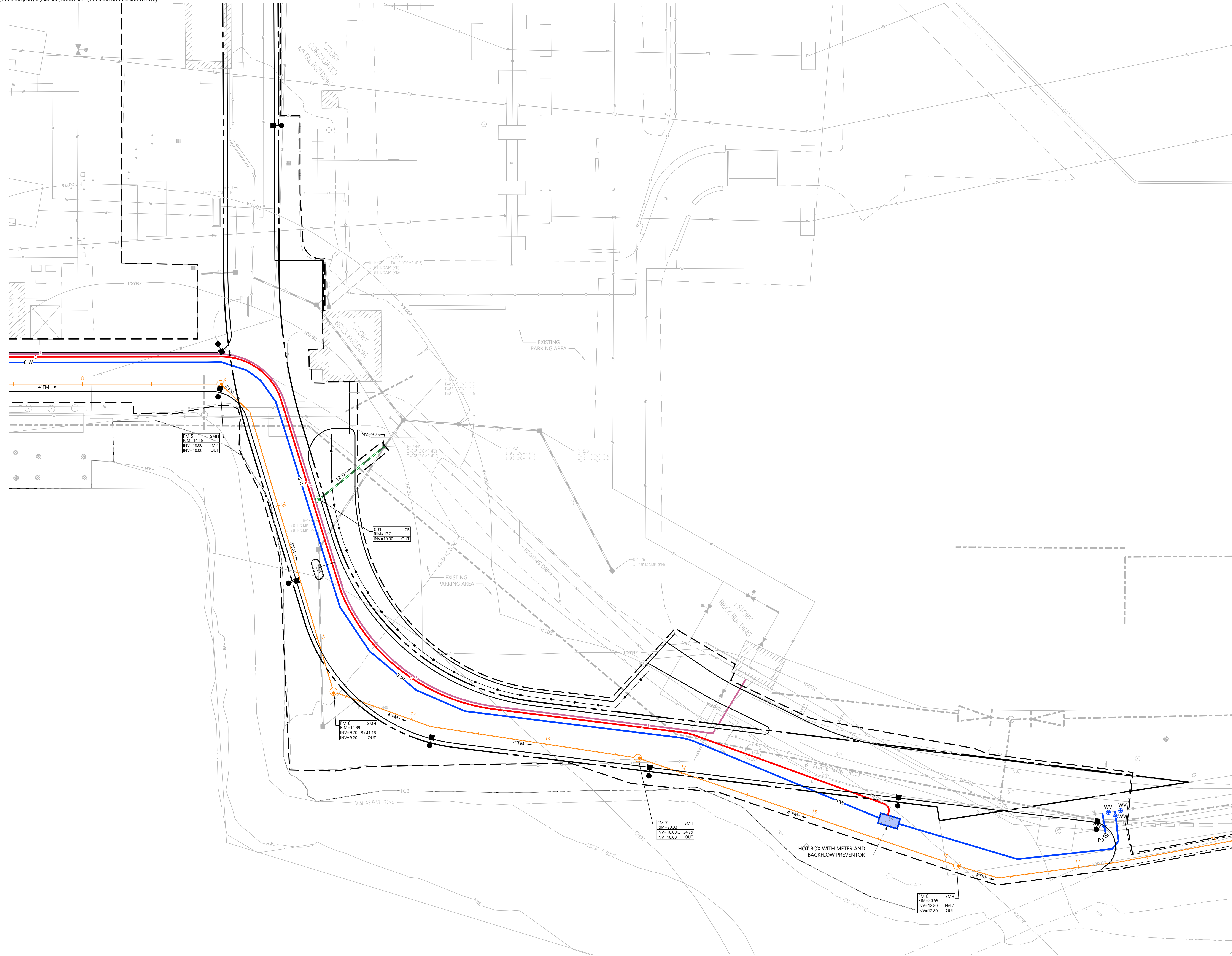
Designed by: EOB Checked by: SL
Issued for: Prelim. Subdivision Date: October 28, 2022

Not Approved for Construction
Drawing Title: **Utility Plan 1**

Drawing Number: **C-4.01**

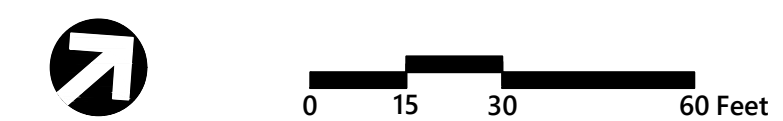
Sheet 6 of 8

Project Number: 15542.00



APPROVAL REQUIRED UNDER
THE SUBDIVISION CONTROL LAW
SOMERSET PLANNING BOARD

DATE: _____



Submarine Cable Factory

Brayton Point Road
Somerset, Massachusetts

No.	Revision	Date	Appr.

Designed by: **EOB** Checked by: **SL**
Issued for: Prelim. Subdivision Date: October 28, 2022

Not Approved for Construction
Drawing Title: **Utility Plan 2**

Drawing Number: _____



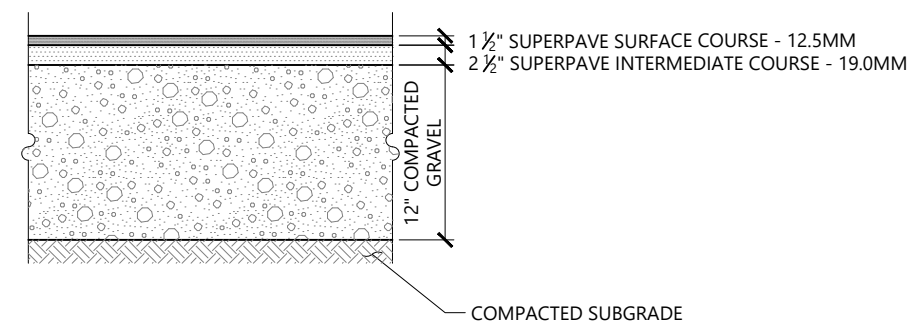
C-4.02

Sheet **7** of **8**

Project Number: **15542.00**



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

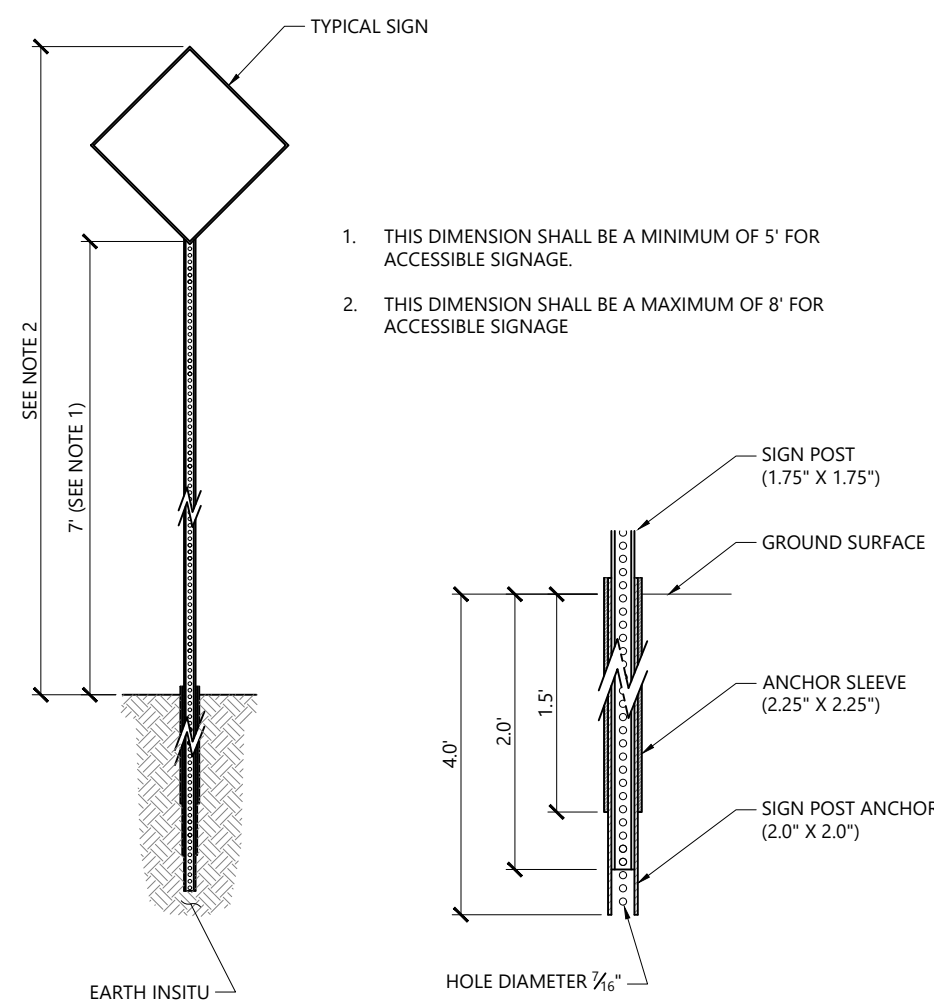


HEAVY DUTY FLEXIBLE PAVEMENT

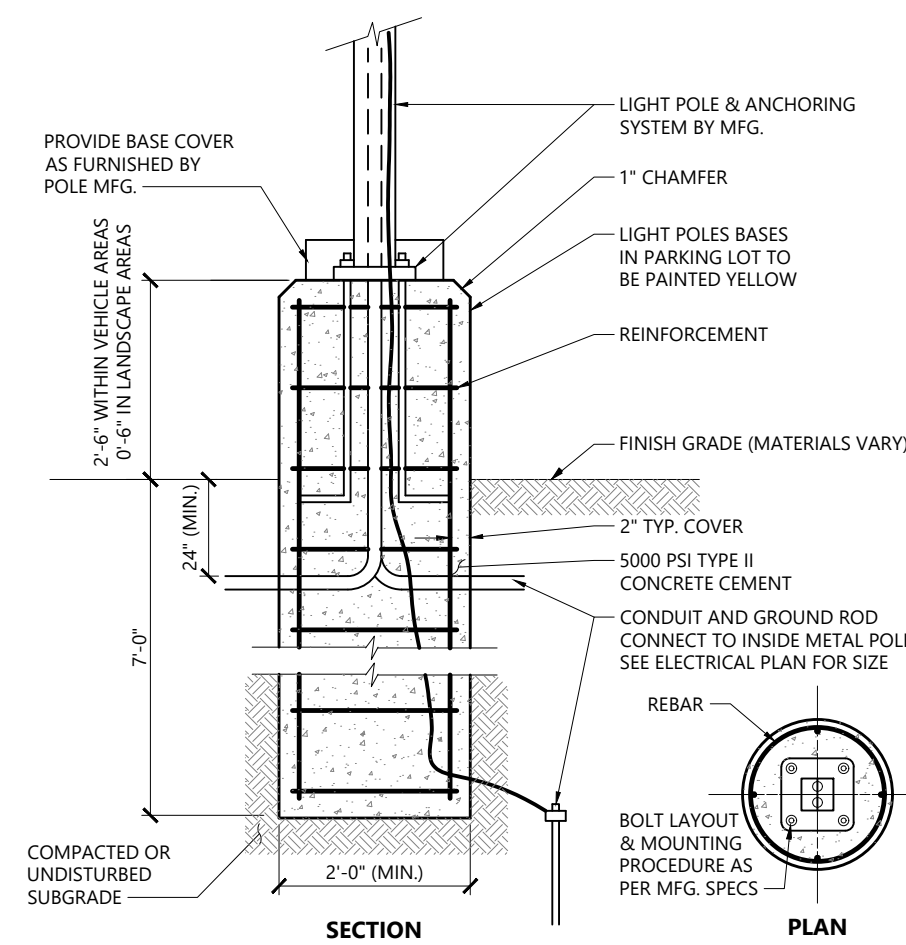
NOTES

PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

Bituminous Concrete Pavement Sections 11/19
N.T.S. Source: VHB REV LD_430



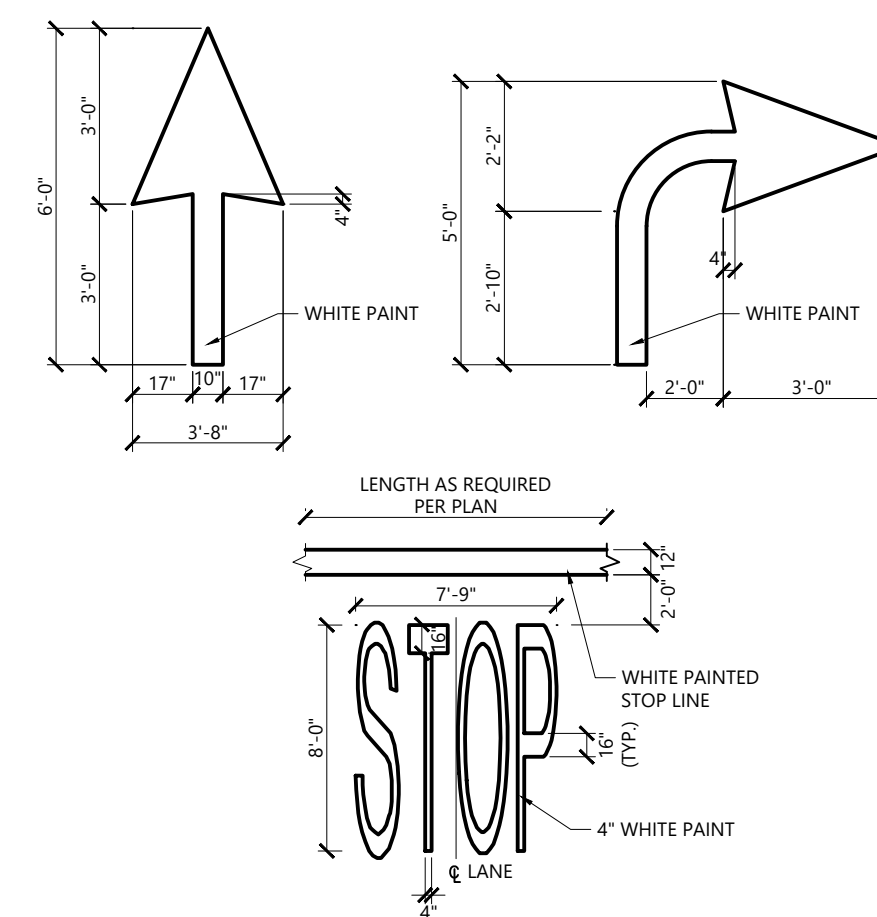
Sign Post - Type 'B' 3/19
N.T.S. Source: VHB LD_702



NOTES

DETAIL PROVIDED FOR GENERAL INFORMATION ONLY. CONTRACTOR TO PROVIDE STAMPED FINAL DESIGN OF LIGHT POLE FOUNDATION BASED ON RECOMMENDATIONS FROM THE GEOTECHNICAL ENGINEER.

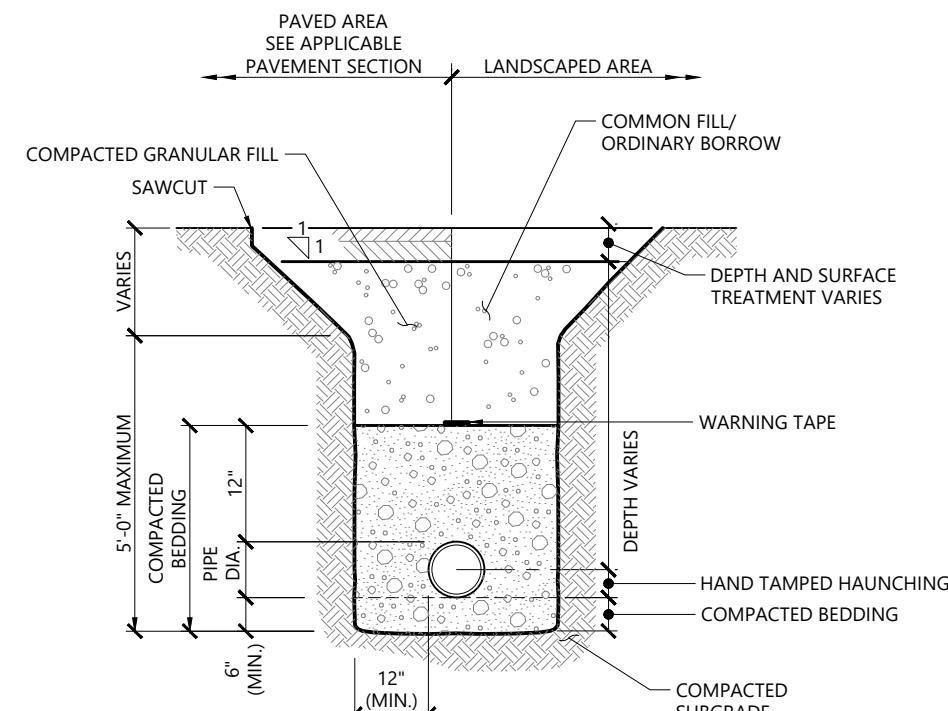
Light Pole Foundation Detail (Up to 40' Pole) 12/19
N.T.S. Source: VHB LD_310



NOTES

1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

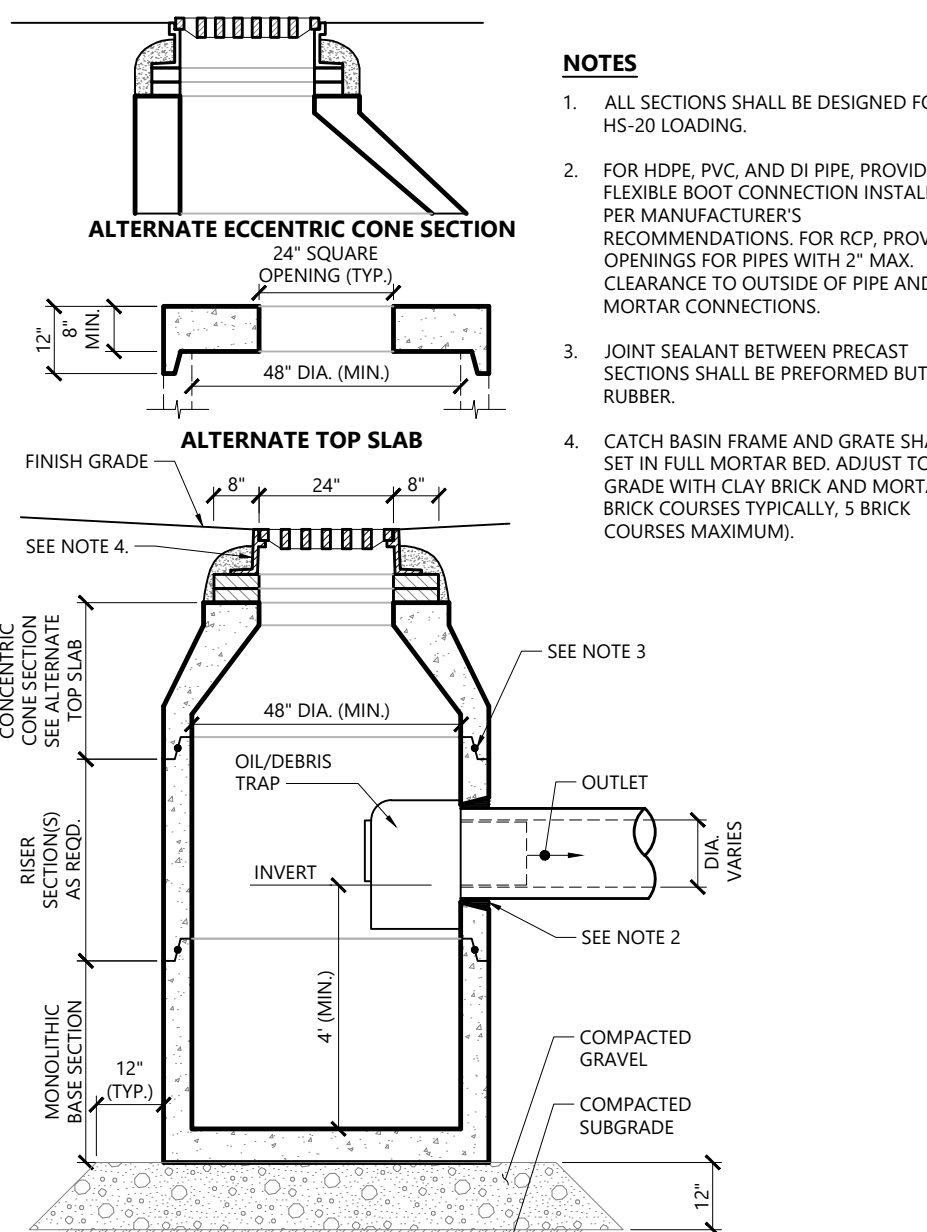
Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB REV LD_554



NOTES

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
- COMPACTED GRANULAR FILL MAY CONSIST OF GRAVEL, CRUSHED STONE, SAND, OR OTHER MATERIAL AS APPROVED BY ENGINEER.

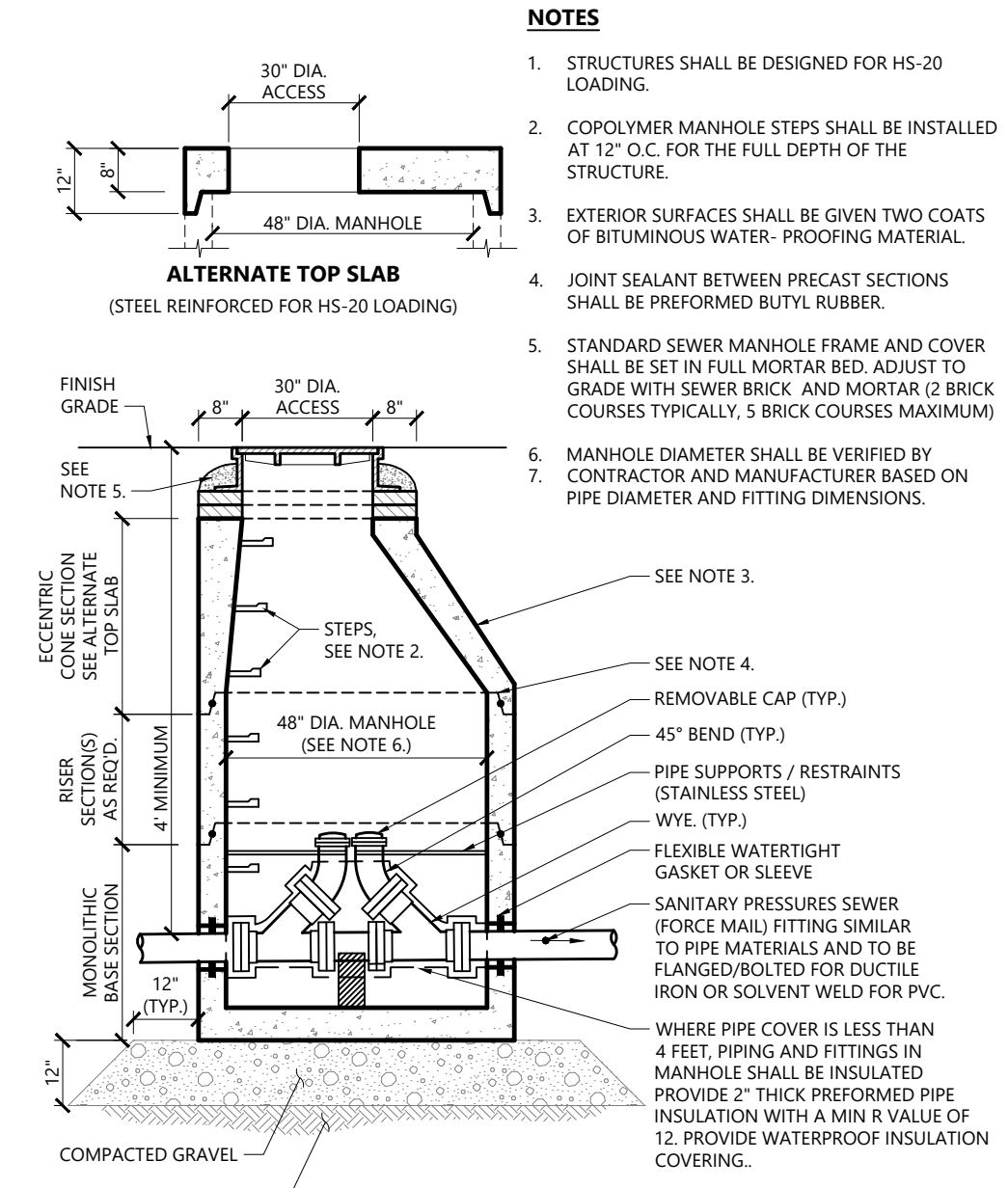
Utility Trench 11/19
N.T.S. Source: VHB REV LD_300



NOTES

- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
- FOR HDPE, PVC, AND DI PIPE, PROVIDE FLEXIBLE BOOT CONNECTION INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. FOR RCP, PROVIDE OPENINGS FOR PIPES WITH 2\"/>

Catch Basin (CB) With Oil/Debris Trap 3/21
N.T.S. Source: VHB LD_101



NOTES

- STRUCTURES SHALL BE DESIGNED FOR HS-20 LOADING.
- COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12\"/>

Sanitary Pressure Sewer Cleanout Manhole (FM-CO) 1/16
N.T.S. Source: VHB REV LD_206

TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6\"/>											

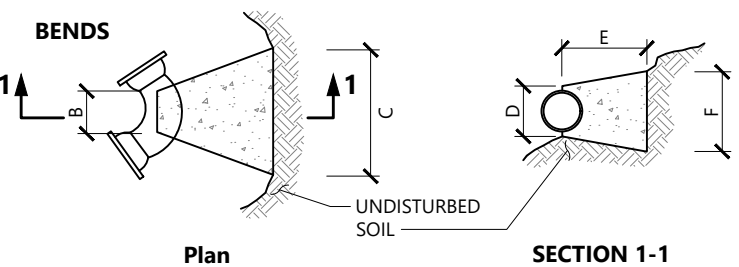
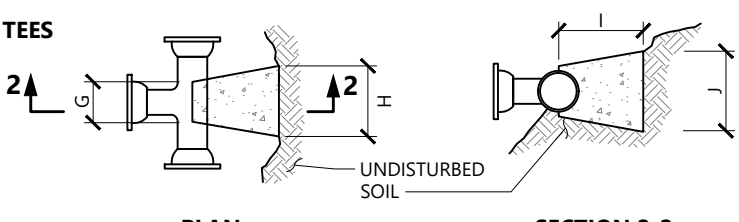


TABLE OF DIMENSIONS

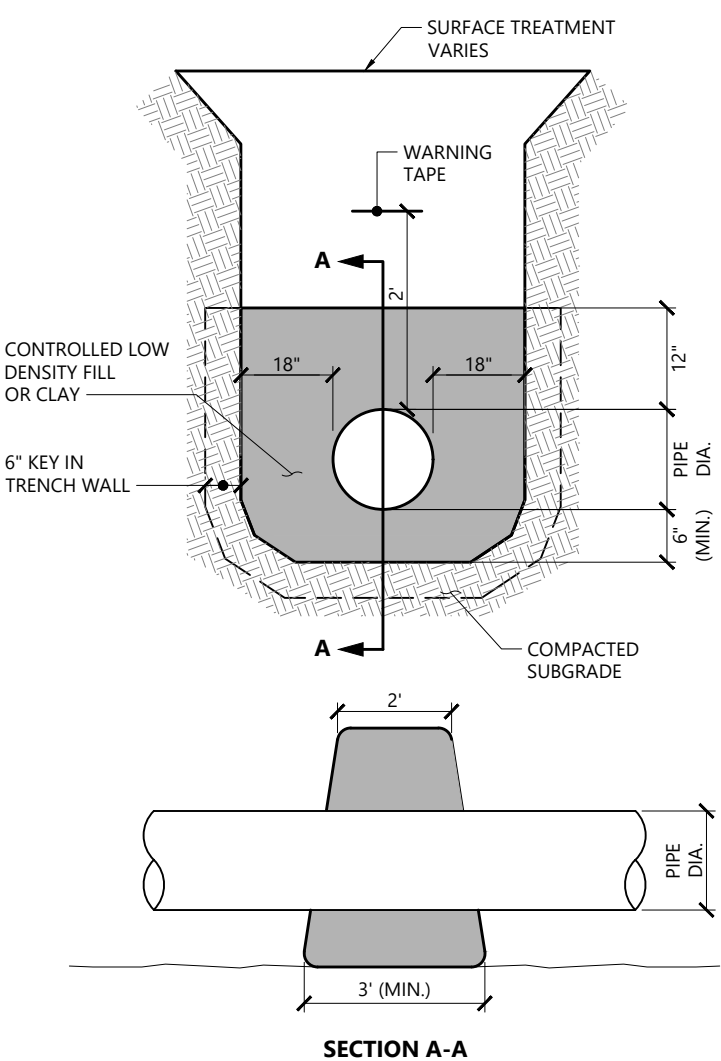
TEES	G	H	I	J	TEES	G	H	I	J
6\"/>									



NOTES

- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
- CONCRETE SHALL BE 3,000 PSI-TYPE I.

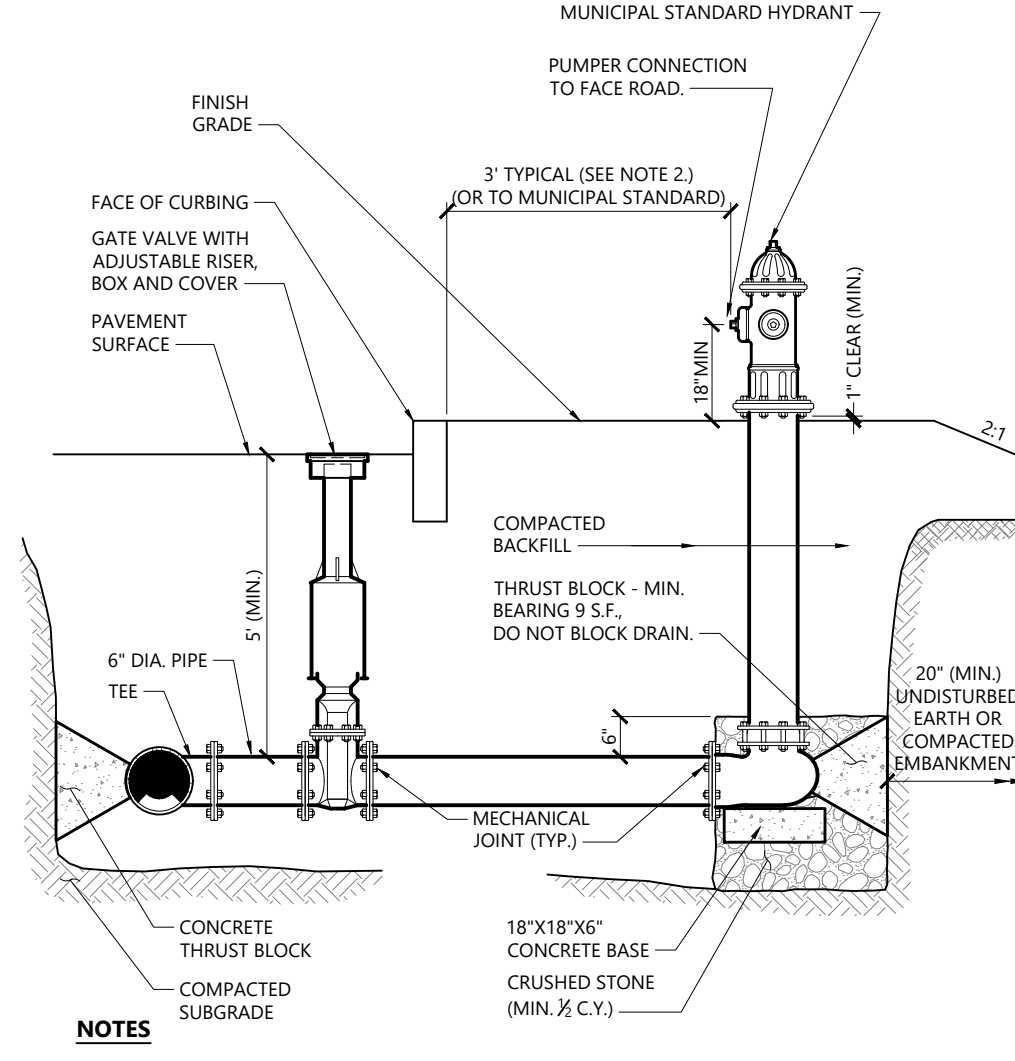
Concrete Thrust Block 1/16
N.T.S. Source: VHB LD_260



NOTES

ANTI-SEEPAGE COLLAR TO BE INSTALLED AT 100\"/>

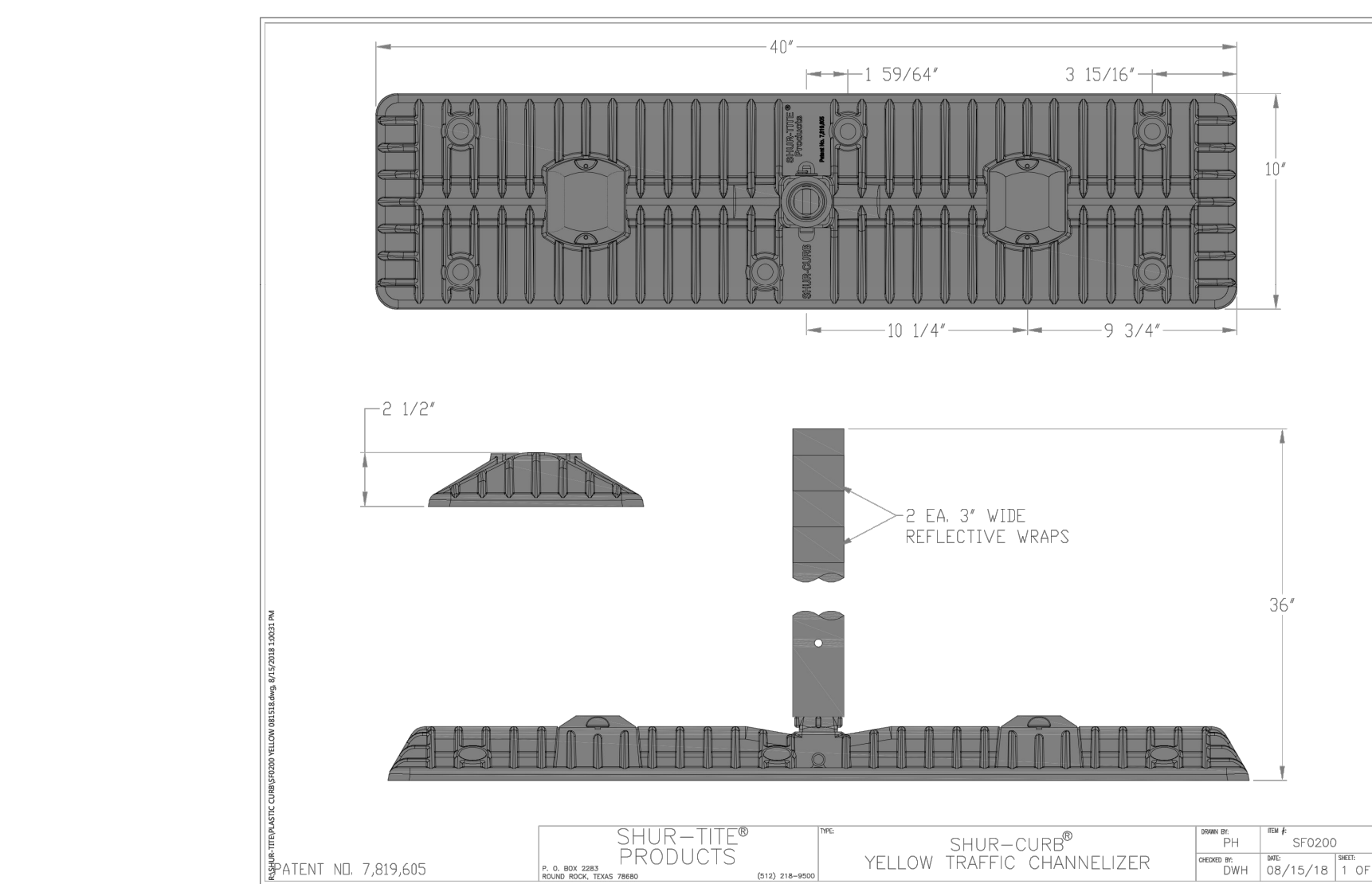
Anti-Seepage Collar 11/19
N.T.S. Source: VHB LD_301



NOTES

- CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
- HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.
- A 36-INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT UNLESS OTHERWISE APPROVED BY AUTHORITY HAVING JURISDICTION.

Hydrant Construction 12/19
N.T.S. Source: VHB LD_250



Traffic Delineator
N.T.S. Source: Shur-Tite

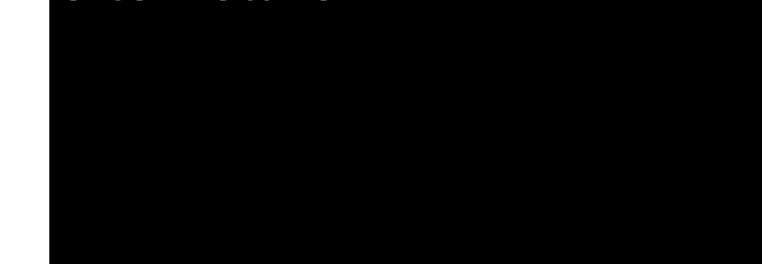
Submarine Cable Factory

Brayton Point Road
Somerset, Massachusetts

No.	Revision	Date	App'd.

Designed by: EOB Checked by: SL
Issued for: Prelim. Subdivision Date: October 28, 2022

Not Approved for Construction
Site Details 1



Drawing Number: C-5.01
Sheet 8 of 8
SCOTT D. LINDGREN CIVIL N. 41036
PROFESSIONAL ENGINEER REG. NO. 285-2022

RESERVED FOR REGISTRY USE ONLY

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

DATE: _____

Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Oct 21, 2022
DATE
Russell J. Bousquet
PROFESSIONAL LAND SURVEYOR
RUSSELL J. BOUSQUET
NO. 35369
REGISTERED PROFESSIONAL LAND SURVEYOR
COMMONWEALTH OF MASSACHUSETTS

Record Owner

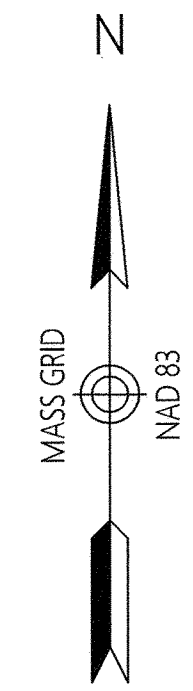
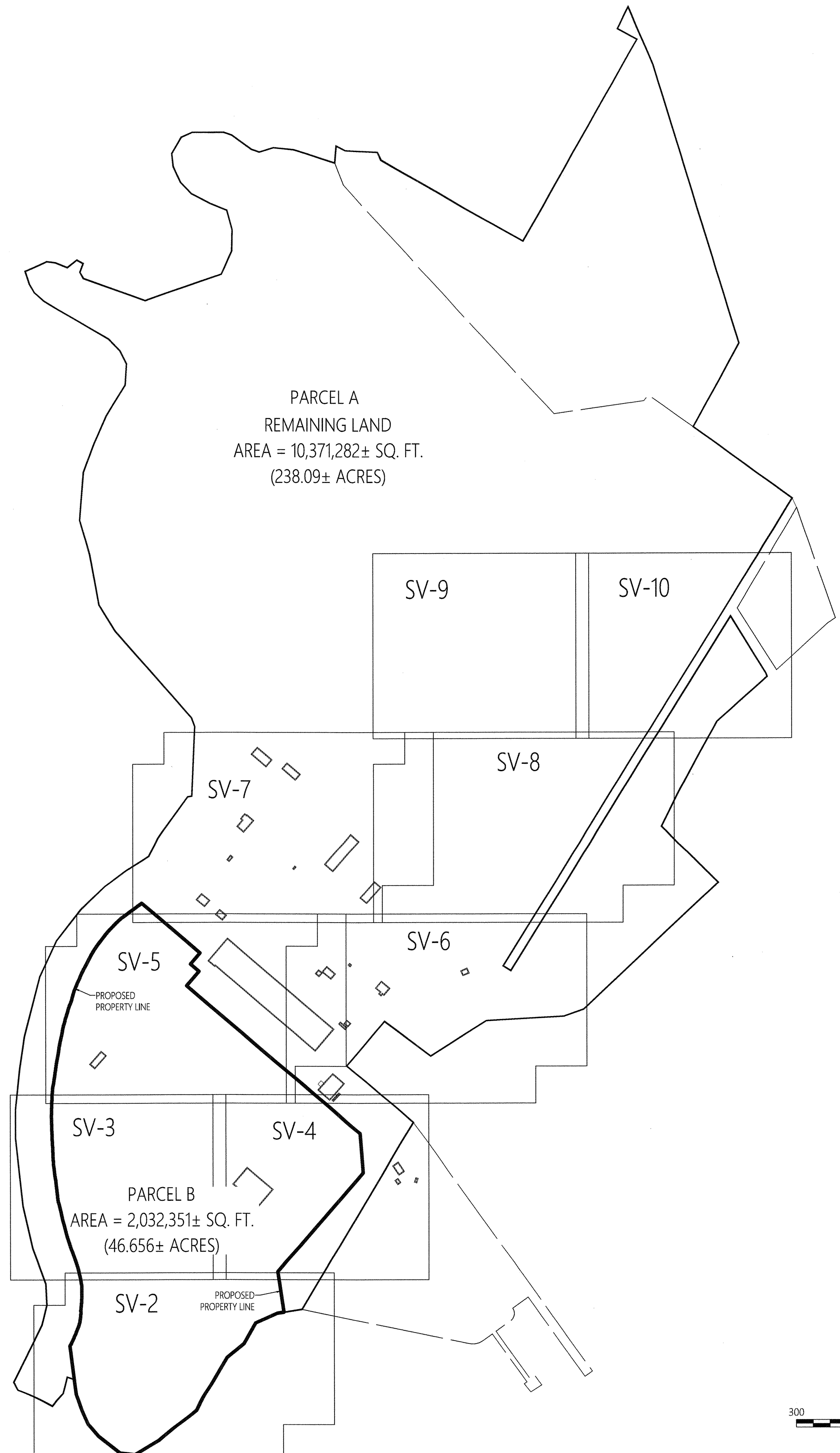
BRAYTON POINT LLC
1 BRAYTON POINT ROAD
SOMERSET, MASS.
PID 273002A000020
BOOK 9433, PAGE 29

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN APRIL, 2022 AND FROM DEEDS AND PLANS OF RECORD. A PORTION OF THE PERIMETER BOUNDARY LINE OF THE EXISTING PARCEL FOLLOWS THE MEAN LOW WATER AS SHOWN ON PLAN. SEE RECORD PLAN IN PLAN BOOK 112, PLAN 9.
- 2) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983.
- 3) THE LOT LIES ENTIRELY WITHIN THE INDUSTRIAL DISTRICT (I) AS SHOWN ON THE "OFFICIAL ZONING" MAP TOWN OF SOMERSET, MASSACHUSETTS, LAST AMENDED MARCH 19, 2018. DIMENSIONAL REQUIREMENTS FOR AN (I) AT THE TIME OF THIS SURVEY ARE: TABLE A - ITEM 6(a)

	REQUIRED
MINIMUM LOT AREA	20,000 S.F.
MINIMUM FRONTAGE	ANY
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	ANY

- 4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.



PLAN OF LAND
IN
SOMERSET
MASSACHUSETTS

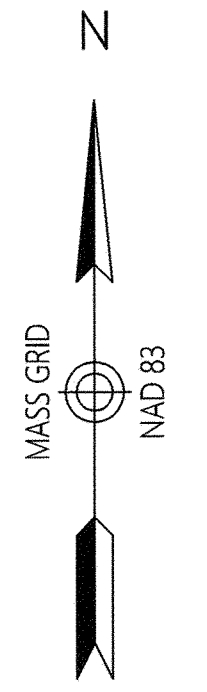
PREPARED FOR: BRAYTON POINT, LLC

PREPARED BY: VHB, Inc.
Engineers | Scientists | Planners | Designers
101 Walnut Street, P.O. Box 9151
Watertown, MA 02471-9151
(617) 924-1770

SCALE: 1 INCH = 300 FEET DATE: OCTOBER 11, 2022
SHEET 1 OF 10 - KEY

RESERVED FOR REGISTRY USE ONLY

MATCH LINE (SEE SHEET SV-5)



PROPOSED PROPERTY LINE

2,180±

PROPOSED PARCEL
AREA = 2,032,351± SQ. FT.
(46.656± ACRES)

MATCH LINE (SEE SHEET SV-4)

REMAINING LAND
AREA = 10,371,282± SQ. FT.
(238.09± ACRES)

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN APRIL, 2022 AND FROM DEEDS AND PLANS OF RECORD. A PORTION OF THE PERIMETER BOUNDARY LINE OF THE EXISTING PARCEL FOLLOWS THE MEAN LOW WATER AS SHOWN ON PLAN. SEE RECORD PLAN IN PLAN BOOK 112, PLAN 9.
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REQUIRED

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MINIMUM FRONTAGE	ANY
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	ANY

- 4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.

Record Owner

BRAYTON POINT LLC
1 BRAYTON POINT ROAD
SOMERSET, MASS.
PID 2730024000020
BOOK 9433, PAGE 29

APPROVAL REQUIRED UNDER
THE SUBDIVISION CONTROL LAW
SOMERSET PLANNING BOARD

PLAN OF LAND
IN
SOMERSET
MASSACHUSETTS

PREPARED FOR: BRAYTON POINT, LLC
PREPARED BY: VHB, Inc.
Engineers | Scientists | Planners | Designers
101 Walnut Street, P.O. Box 9151
Watertown, MA 02471-9151
(617) 924-1770

SCALE: 1 INCH = 40 FEET DATE: OCTOBER 11, 2022
SHEET 3 OF 10

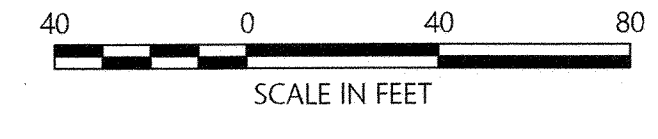
Certification

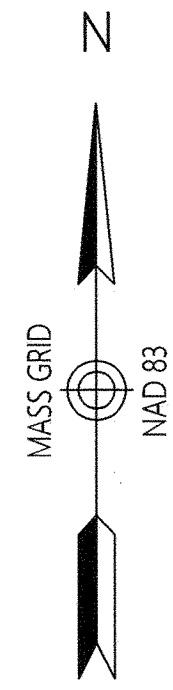
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: Oct. 26, 2022

Russell L. Bousquet

MATCH LINE (SEE SHEET SV-2)



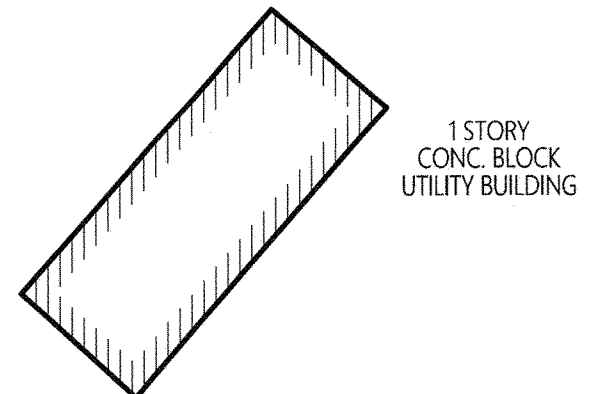


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Record Owner
BRAYTON POINT LLC
1 BRAYTON POINT ROAD
SOMERSET, MASS.
PID: 273002A000020
BOOK 9433, PAGE 29

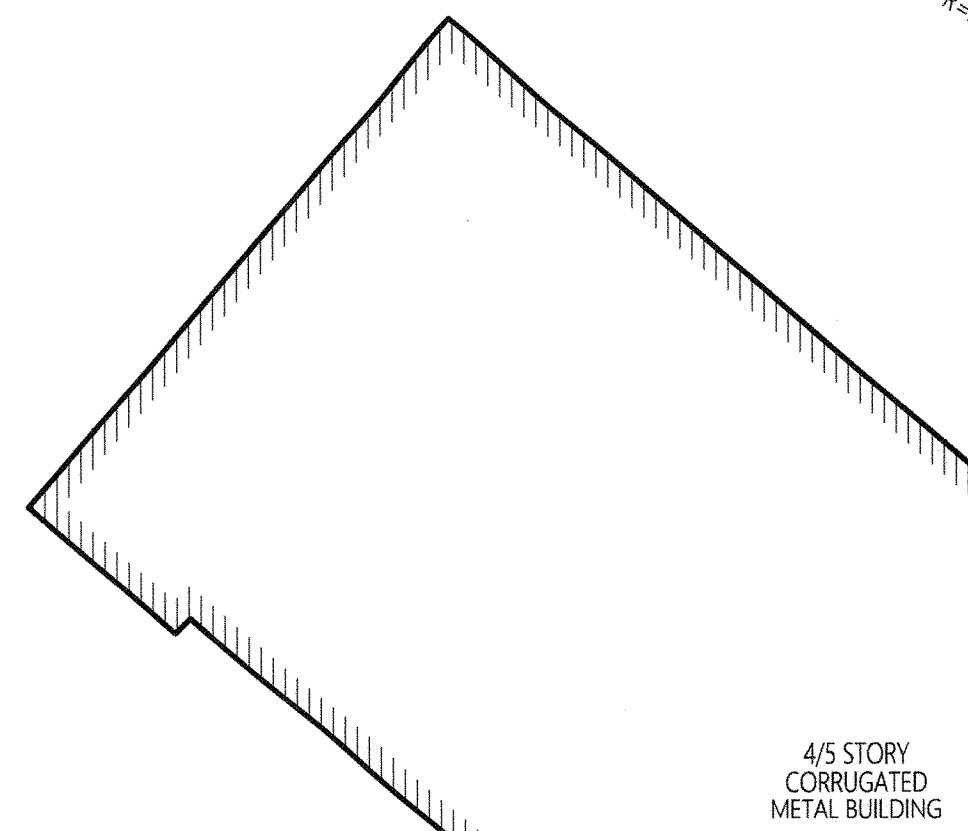
REMAINING LAND
AREA = 10,371,282± SQ. FT.
(238.09± ACRES)

MEAN ANNUAL HIGH WATER
2,130±

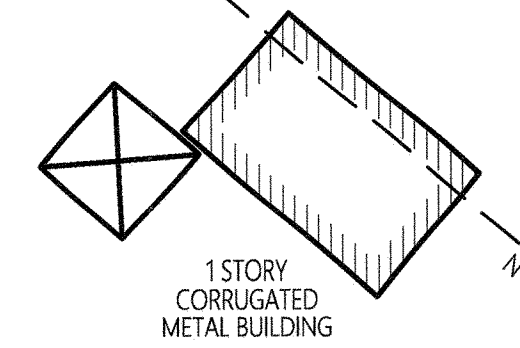


1 STORY CONC. BLOCK UTILITY BUILDING

PROPOSED PARCEL
AREA = 2,032,351± SQ. FT.
(46.656± ACRES)



4/5 STORY CORRUGATED METAL BUILDING



1 STORY CORRUGATED METAL BUILDING

PROPOSED PRIVATE WAY, PRIMARY ACCESS AND UTILITY EASEMENT AREA = 80,712 SQ. FT.

PROPOSED PRIVATE WAY, PRIMARY ACCESS AND UTILITY EASEMENT AREA = 80,712 SQ. FT.

PROPOSED SECONDARY ACCESS EASEMENT AREA = 149,602 SQ. FT.

MATCH LINE (SEE SHEET SV-7)

MATCH LINE (SEE SHEET SV-6)

MATCH LINE (SEE SHEET SV-3)

MATCH LINE (SEE SHEET SV-4)

General Notes

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APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW
SOMERSET PLANNING BOARD

 DATE: _____

PLAN OF LAND IN SOMERSET MASSACHUSETTS

PREPARED FOR: BRAYTON POINT, LLC
PREPARED BY: VHB, Inc.
Engineers | Scientists | Planners | Designers
101 Walnut Street, P.O. Box 9151
Watertown, MA 02471-9151
(617) 924-1770

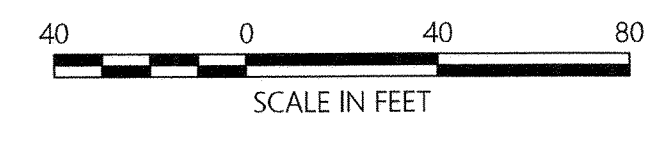
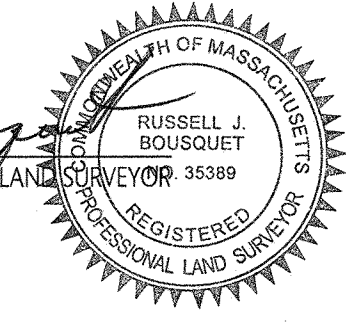
SCALE: 1 INCH = 40 FEET DATE: OCTOBER 11, 2022
SHEET 5 OF 10

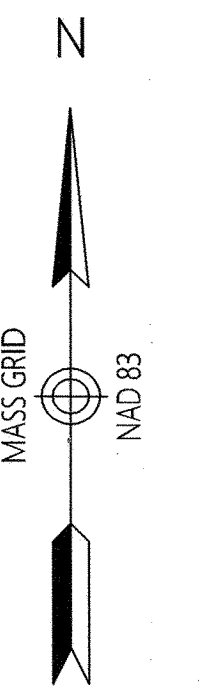
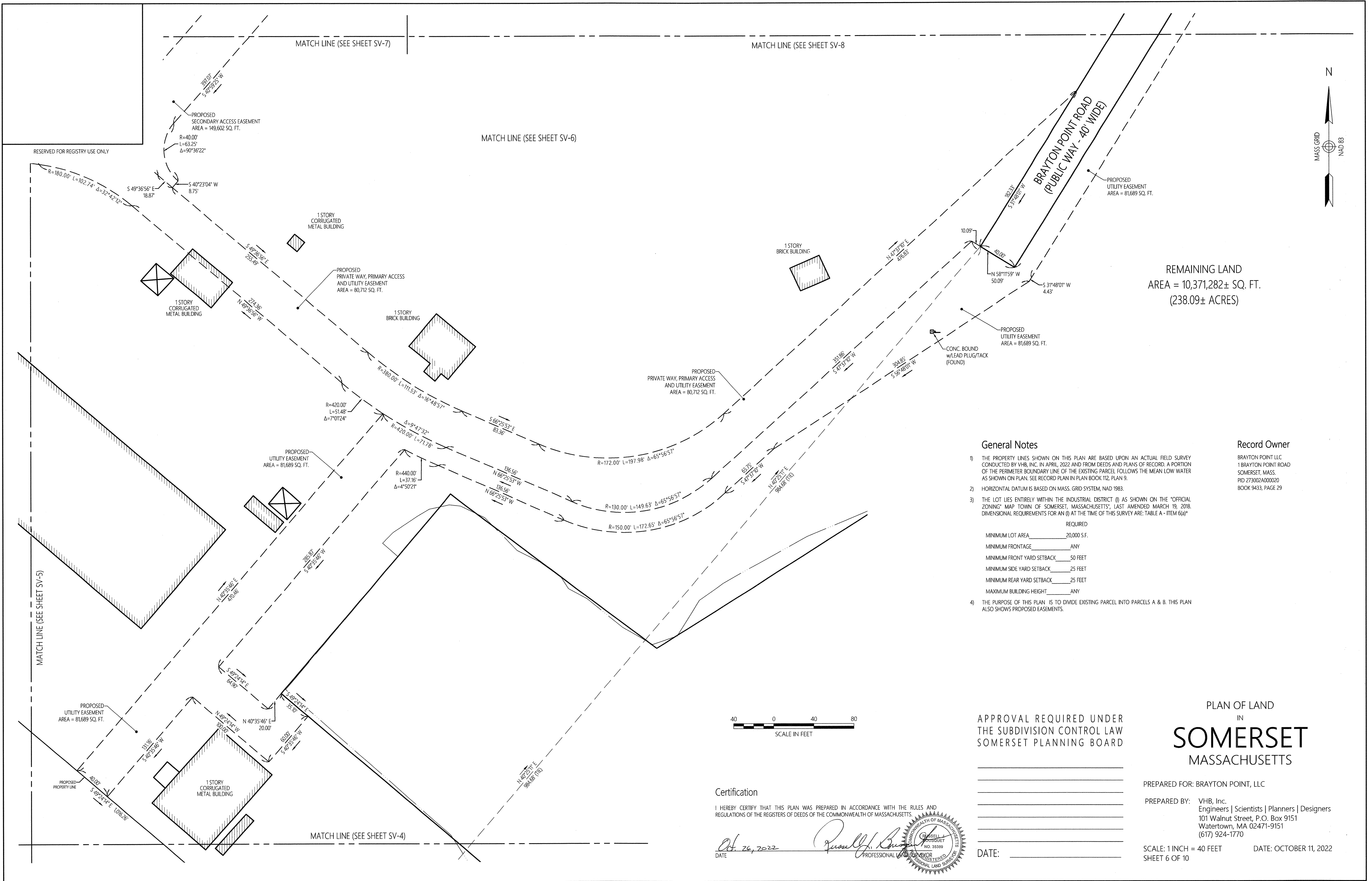
Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: Oct 26, 2022

RUSSELL J. ROUSSEAU
PROFESSIONAL LAND SURVEYOR 35389





REMAINING LAND
 AREA = 10,371,282± SQ. FT.
 (238.09± ACRES)

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MAXIMUM BUILDING HEIGHT	ANY
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Record Owner

BRAYTON POINT LLC
 1 BRAYTON POINT ROAD
 SOMERSET, MASS.
 PID 273002A00020
 BOOK 9433, PAGE 29



APPROVAL REQUIRED UNDER
 THE SUBDIVISION CONTROL LAW
 SOMERSET PLANNING BOARD

PLAN OF LAND
 IN
SOMERSET
 MASSACHUSETTS

PREPARED FOR: BRAYTON POINT, LLC

PREPARED BY: VHB, Inc.
 Engineers | Scientists | Planners | Designers
 101 Walnut Street, P.O. Box 9151
 Watertown, MA 02471-9151
 (617) 924-1770

SCALE: 1 INCH = 40 FEET
 SHEET 6 OF 10

DATE: OCTOBER 11, 2022

Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Oct 26, 2022
 DATE

Russell J. ...
 PROFESSIONAL LAND SURVEYOR

DATE: _____

RESERVED FOR REGISTRY USE ONLY

General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN APRIL, 2022 AND FROM DEEDS AND PLANS OF RECORD. A PORTION OF THE PERIMETER BOUNDARY LINE OF THE EXISTING PARCEL FOLLOWS THE MEAN LOW WATER AS SHOWN ON PLAN. SEE RECORD PLAN IN PLAN BOOK 112, PLAN 9.
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- 3) THE LOT LIES ENTIRELY WITHIN THE INDUSTRIAL DISTRICT (I) AS SHOWN ON THE "OFFICIAL ZONING" MAP TOWN OF SOMERSET, MASSACHUSETTS, LAST AMENDED MARCH 19, 2018. DIMENSIONAL REQUIREMENTS FOR AN (I) AT THE TIME OF THIS SURVEY ARE: TABLE A - ITEM 6(a)*

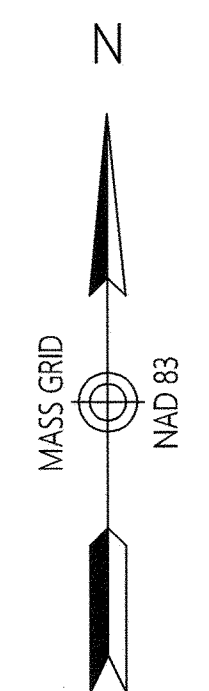
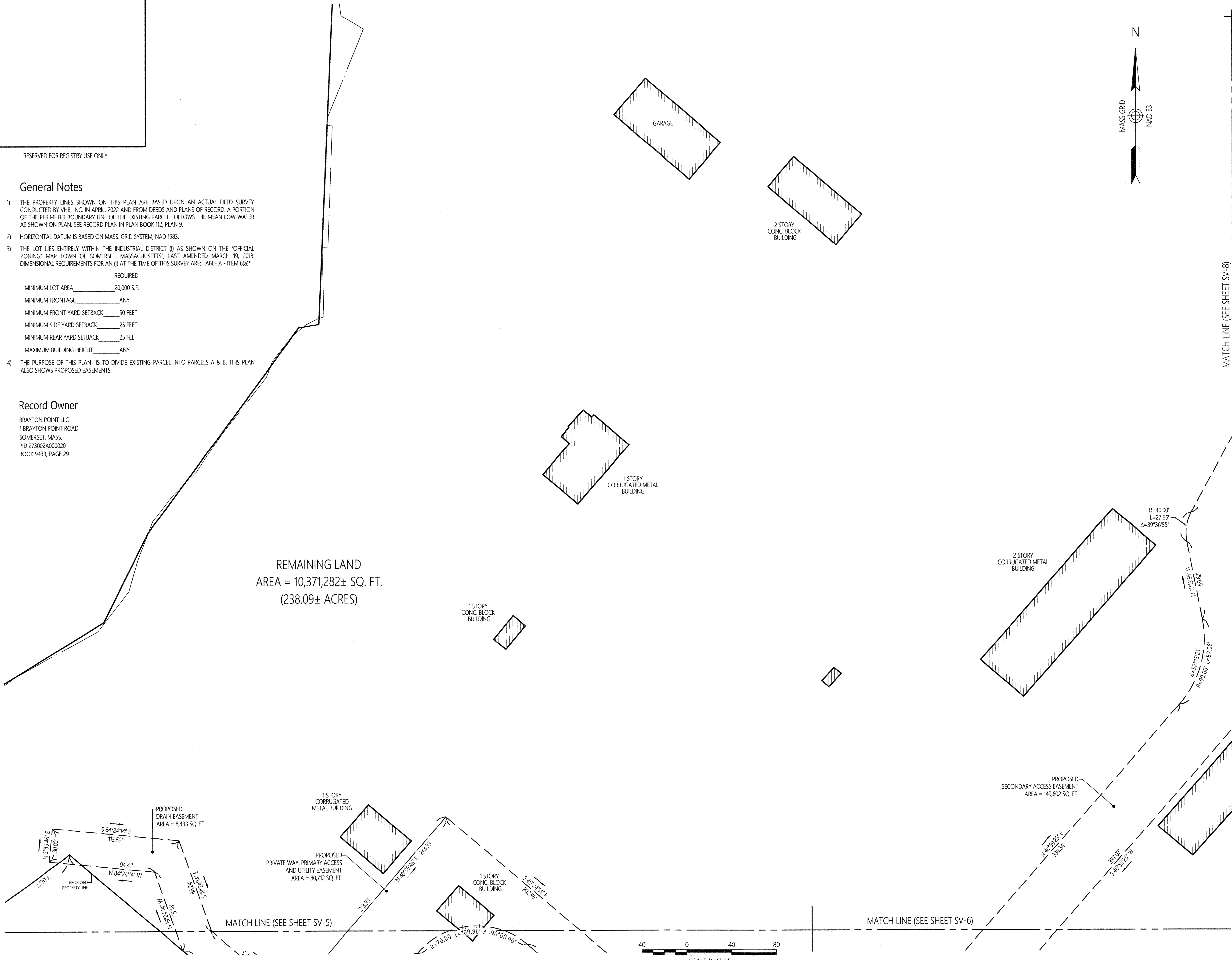
REQUIRED	
MINIMUM LOT AREA	20,000 S.F.
MINIMUM FRONTAGE	ANY
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	ANY

- 4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.

Record Owner

BRAYTON POINT LLC
 1 BRAYTON POINT ROAD
 SOMERSET, MASS.
 PID 273002A000020
 BOOK 9433, PAGE 29

REMAINING LAND
 AREA = 10,371,282± SQ. FT.
 (238.09± ACRES)



MATCH LINE (SEE SHEET SV-9)

MATCH LINE (SEE SHEET SV-8)

MATCH LINE (SEE SHEET SV-5)

MATCH LINE (SEE SHEET SV-6)

Certification

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

DATE: Oct 26, 2022
 [Signature]
 PROFESSIONAL LAND SURVEYOR

APPROVAL REQUIRED UNDER
 THE SUBDIVISION CONTROL LAW
 SOMERSET PLANNING BOARD

DATE: _____

PLAN OF LAND
 IN
SOMERSET
 MASSACHUSETTS

PREPARED FOR: BRAYTON POINT, LLC

PREPARED BY: VHB, Inc.
 Engineers | Scientists | Planners | Designers
 101 Walnut Street, P.O. Box 9151
 Watertown, MA 02471-9151
 (617) 924-1770

SCALE: 1 INCH = 40 FEET DATE: OCTOBER 11, 2022
 SHEET 7 OF 10

MATCH LINE (SEE SHEET SV-9)

MATCH LINE (SEE SHEET SV-10)

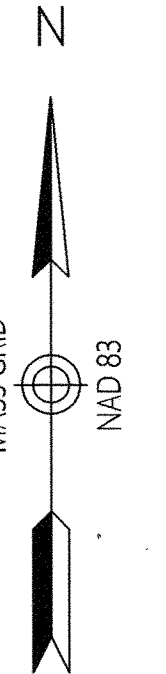
RESERVED FOR REGISTRY USE ONLY

PROPOSED SECONDARY ACCESS EASEMENT AREA = 149,602 SQ. FT.

REMAINING LAND
AREA = 10,371,282± SQ. FT.
(238.09± ACRES)

PROPOSED UTILITY EASEMENT AREA = 81,689 SQ. FT.

Record Owner
BRAYTON POINT LLC
1 BRAYTON POINT ROAD
SOMERSET, MASS.
PID 273002A000020
BOOK 9433, PAGE 29



General Notes

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	REQUIRED
MINIMUM LOT AREA	20,000 S.F.
MINIMUM FRONTAGE	ANY
MINIMUM FRONT YARD SETBACK	50 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MAXIMUM BUILDING HEIGHT	ANY
- 4) THE PURPOSE OF THIS PLAN IS TO DIVIDE EXISTING PARCEL INTO PARCELS A & B. THIS PLAN ALSO SHOWS PROPOSED EASEMENTS.

Certification

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DATE: Oct. 26, 2022

Russell J. Bourgeois
PROFESSIONAL LAND SURVEYOR

APPROVAL REQUIRED UNDER THE SUBDIVISION CONTROL LAW SOMERSET PLANNING BOARD

DATE: _____



PLAN OF LAND
IN
SOMERSET
MASSACHUSETTS

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SHEET 8 OF 10

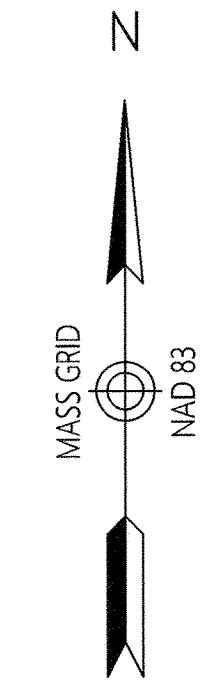
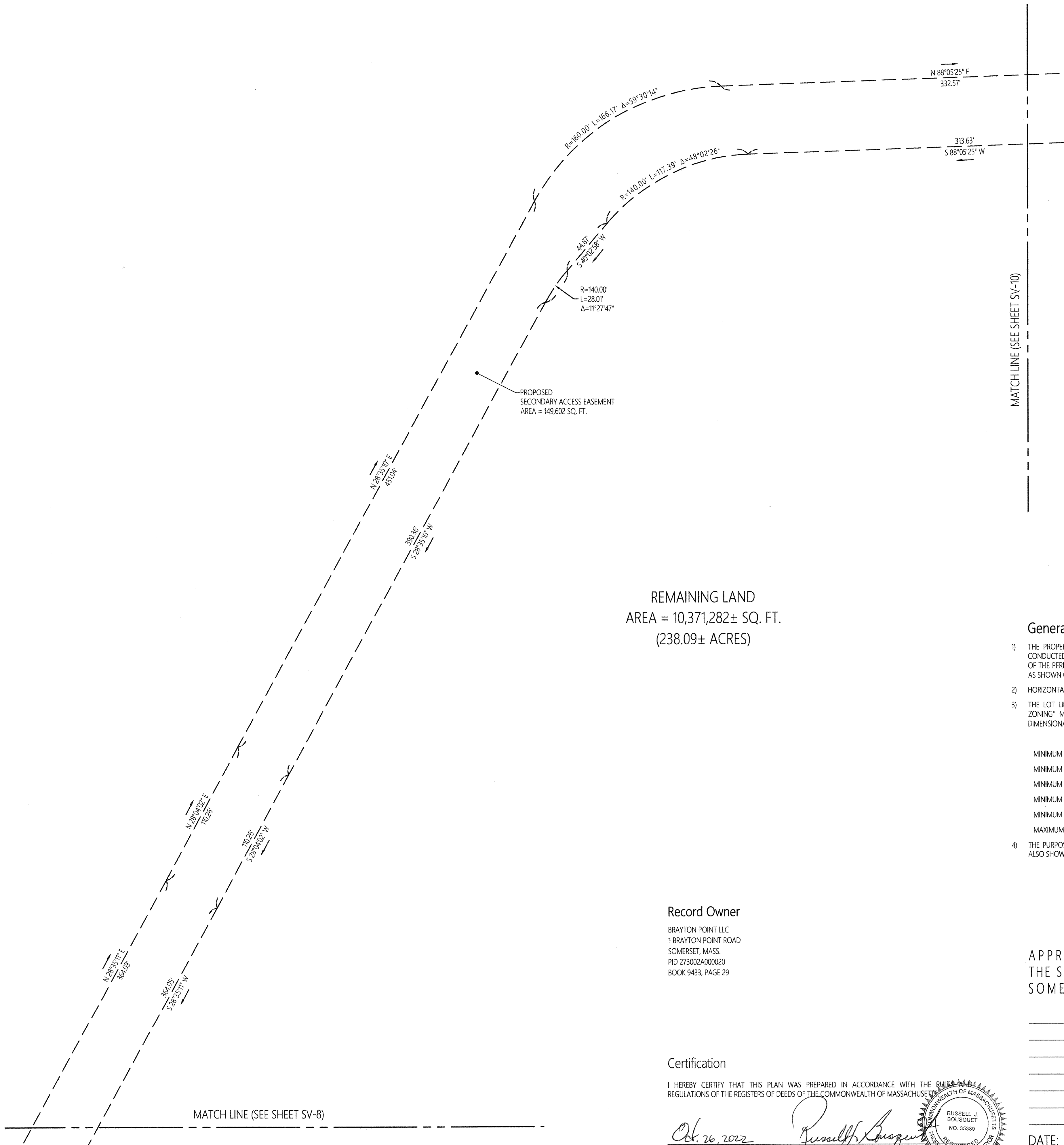
MATCH LINE (SEE SHEET SV-7)

1 STORY CORRUGATED METAL BUILDING

MATCH LINE (SEE SHEET SV-6)

MATCH LINE (SEE SHEET SV-6)

RESERVED FOR REGISTRY USE ONLY



REMAINING LAND
 AREA = 10,371,282± SQ. FT.
 (238.09± ACRES)

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Record Owner

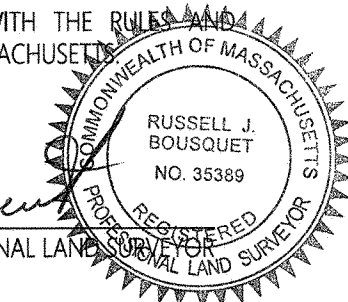
BRAYTON POINT LLC
 1 BRAYTON POINT ROAD
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 PID 273002A000020
 BOOK 9433, PAGE 29

Certification

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DATE: Oct. 26, 2022

 PROFESSIONAL LAND SURVEYOR



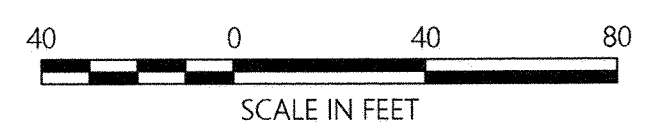
APPROVAL REQUIRED UNDER
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 SOMERSET PLANNING BOARD

 DATE: _____

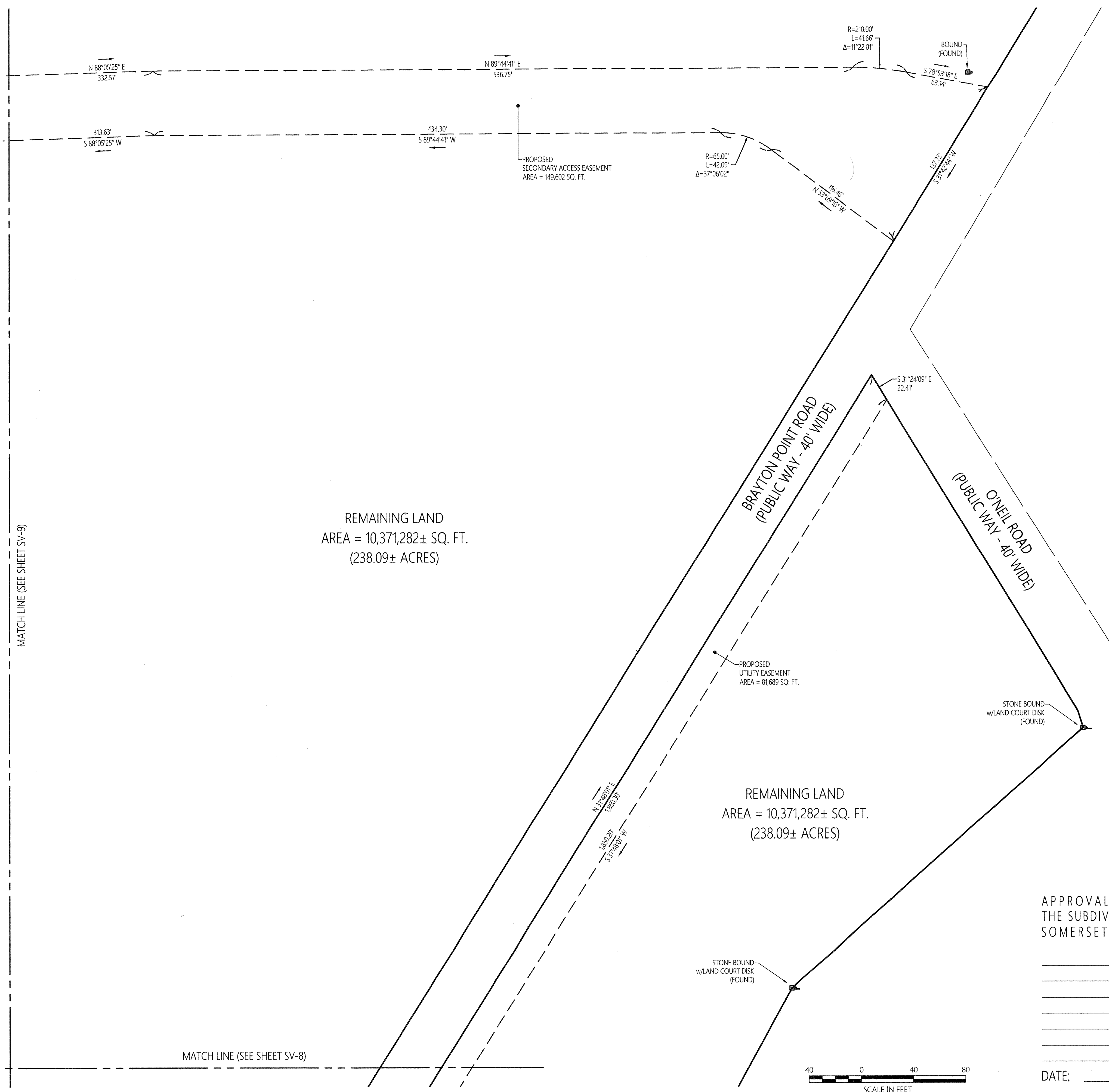
PLAN OF LAND
 IN
SOMERSET
 MASSACHUSETTS

PREPARED FOR: BRAYTON POINT, LLC
 PREPARED BY: VHB, Inc.
 Engineers | Scientists | Planners | Designers
 101 Walnut Street, P.O. Box 9151
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 SHEET 9 OF 10

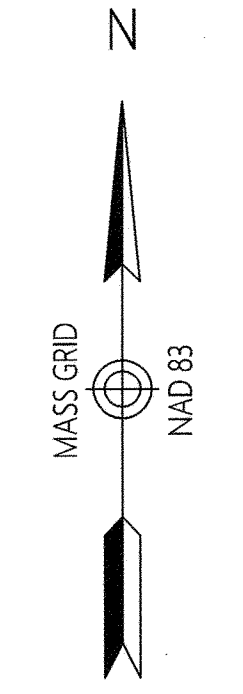


RESERVED FOR REGISTRY USE ONLY



MATCH LINE (SEE SHEET SV-9)

MATCH LINE (SEE SHEET SV-8)



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 BOOK 9433, PAGE 29

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Oct 26, 2022
 DATE

Russell Bouquie
 REGISTERED PROFESSIONAL LAND SURVEYOR

APPROVAL REQUIRED UNDER
 THE SUBDIVISION CONTROL LAW
 SOMERSET PLANNING BOARD

DATE: _____



PLAN OF LAND
 IN
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