

# HOMESPACE 12th Ave NW ASSISTED LIVING APARTMENTS

ISSUED FOR DEVELOPMENT PERMIT

OCT. 6, 2022



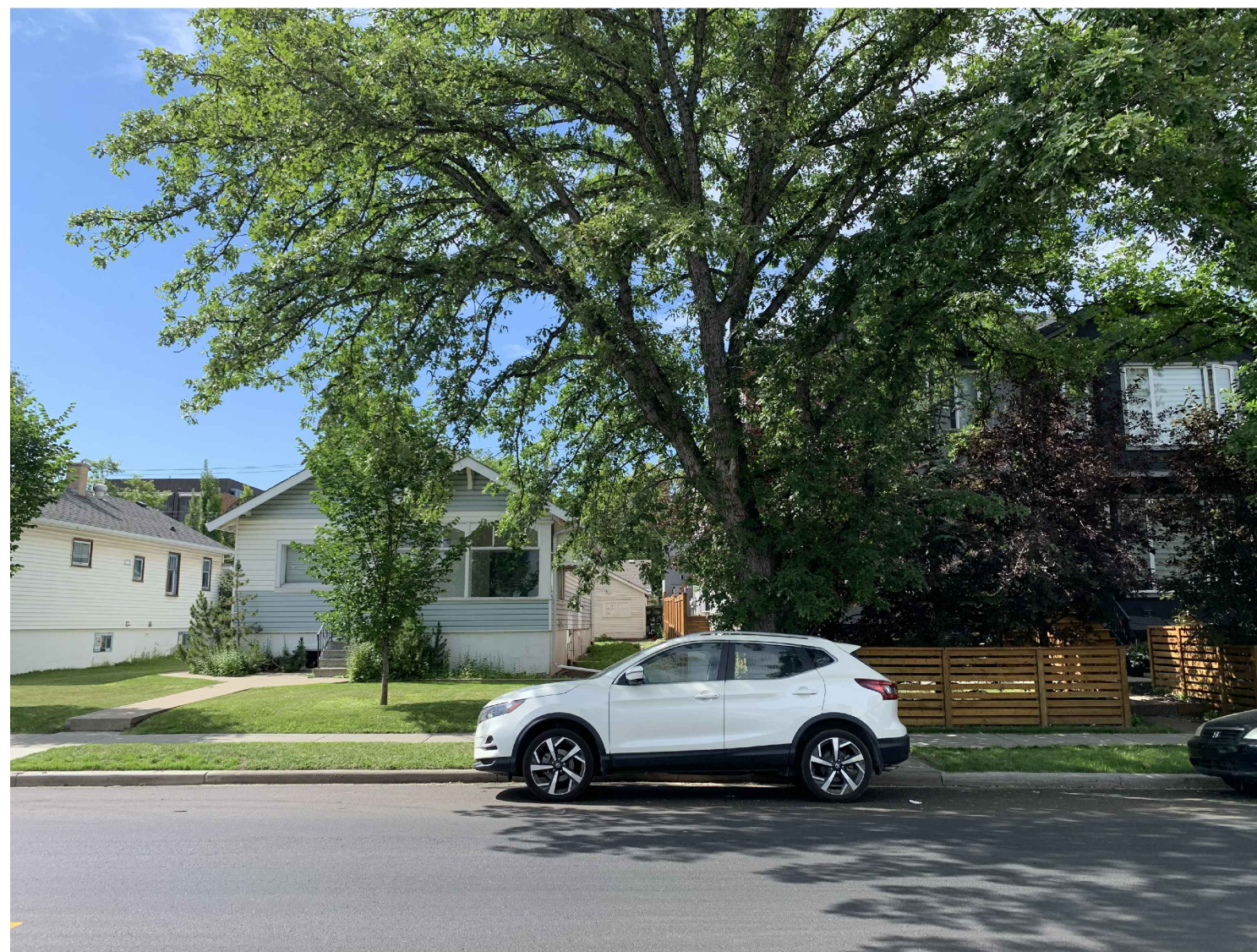
ARCHITECTURAL	
Sheet Number	Sheet Title
DP00	COVER SHEET
DP0	VICINITY PLAN AND SITE PHOTOS
DP01	DEMOLITION SITE PLAN
DP02	SITE PLAN
DP03	FLOOR PLANS
DP04	FLOOR PLANS
DP05A	UNIT PLANS
DP05B	UNIT PLANS
DP06	BUILDING ELEVATIONS
DP07	BUILDING SECTIONS
DP08	RENDERINGS

LANDSCAPE	
Sheet Number	Sheet Title
L1	LANDSCAPE & GRADING PLAN
L2	DETAILS

CIVIL	
Sheet Number	Sheet Title
C1.0	UNDERGROUND LAYOUT PLAN
C2.0	SURFACE AND GRADING LAYOUT PLAN

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3rd Floor – 227 11 Avenue SW,  
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[ibigroup.com](http://ibigroup.com)





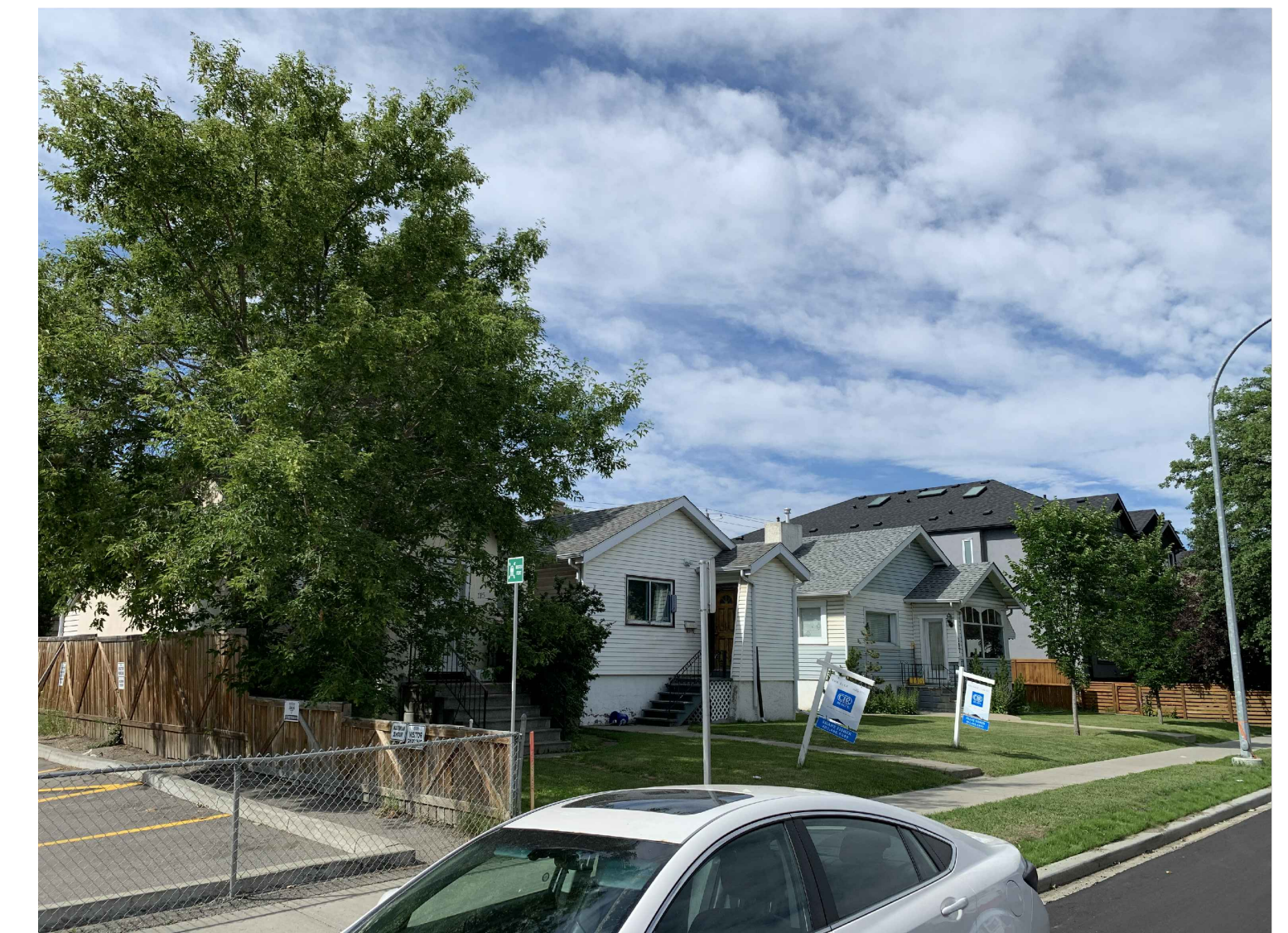
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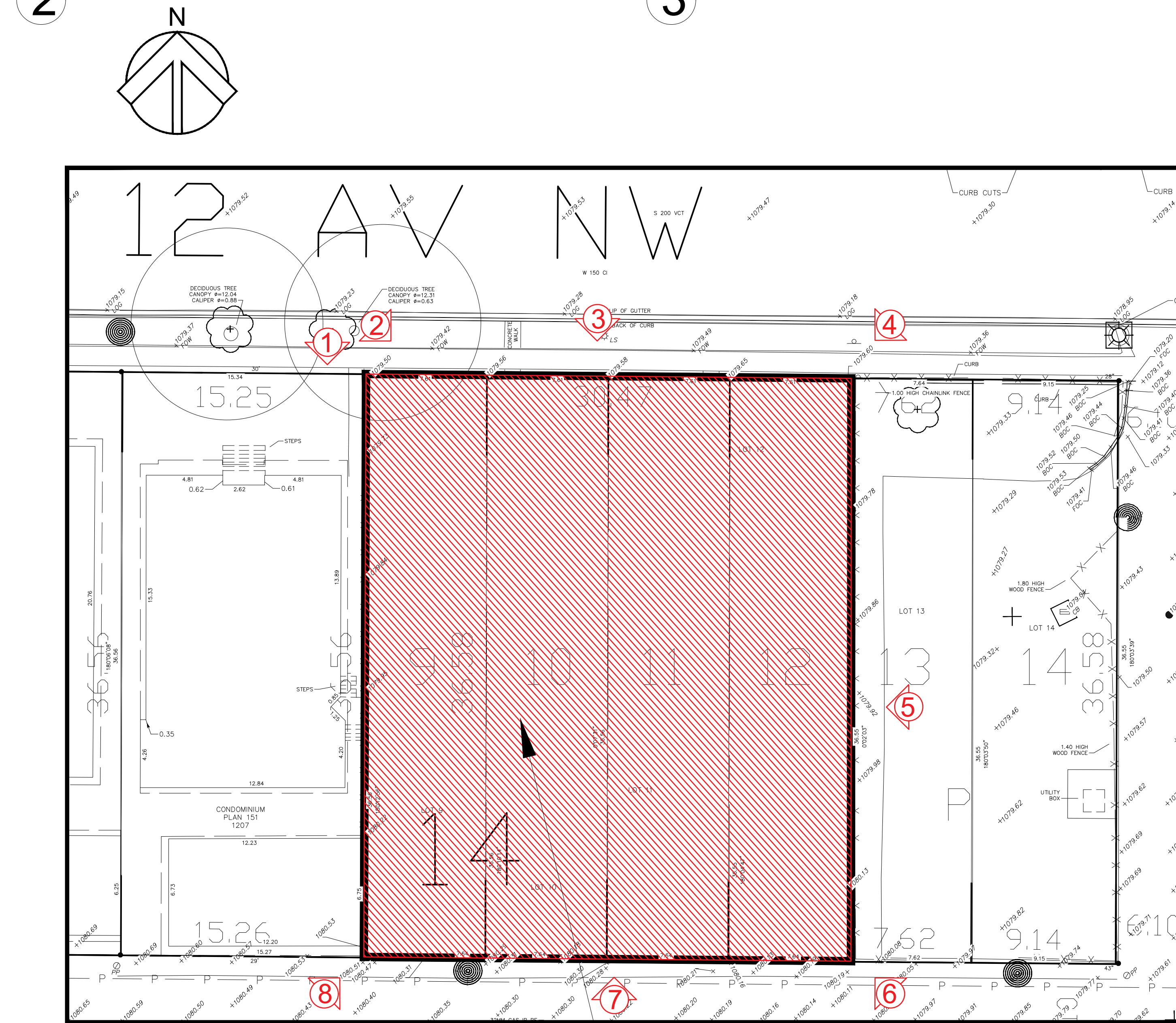
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PROJECT LOCATION



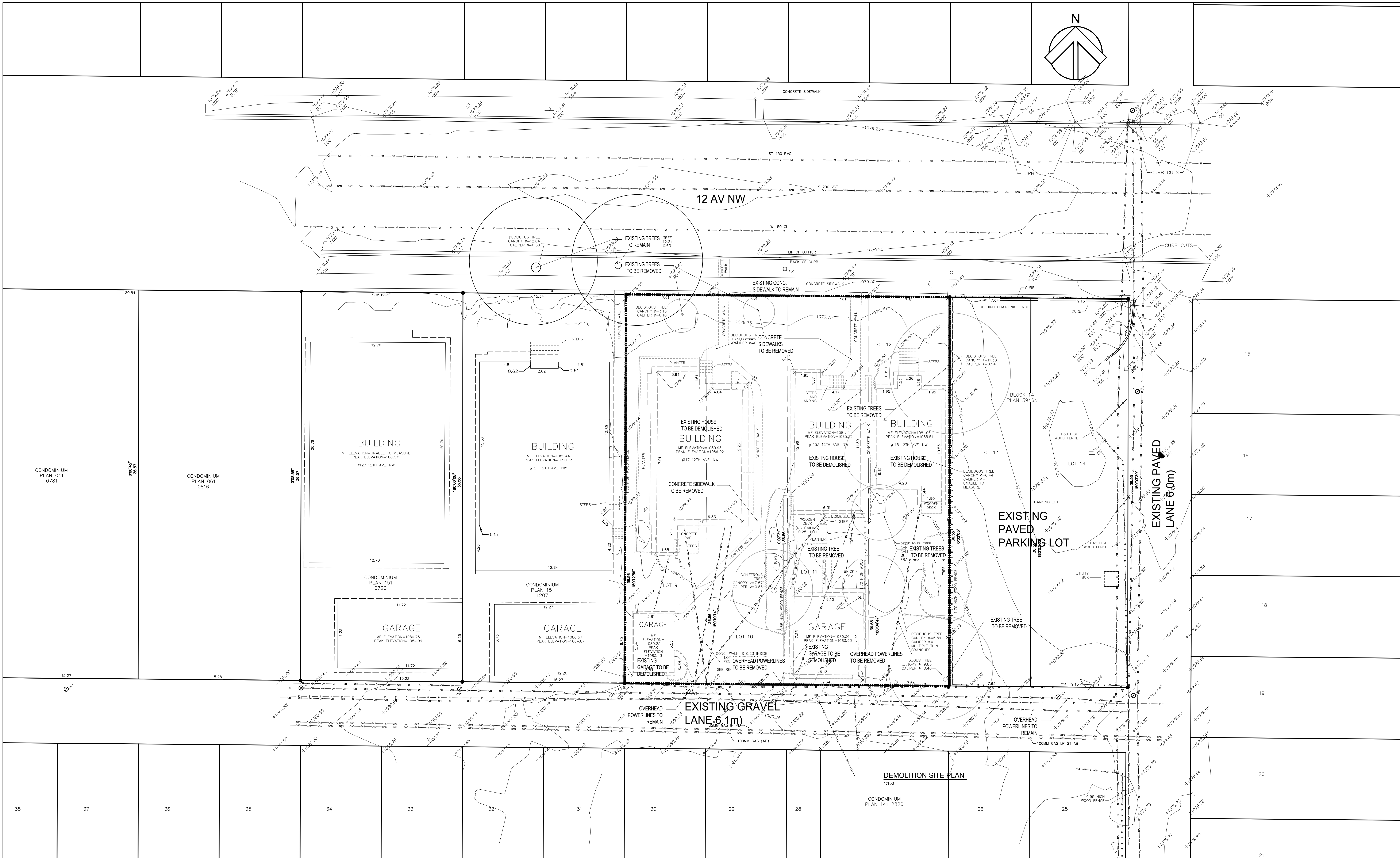
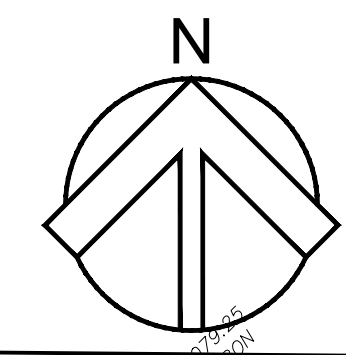
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Prime Consultant



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Project Title

## DEMOLITION SITE PLAN

# HomeSpace 12th Avenue NW Assisted Living Apartments

Client


Date 2022-10-06

Project Number 139998

Scale AS SHOWN

Sheet Number

# DP1



LEGAL DESCRIPTION:  
 Lots 9-12, Block 14, Plan 3946N within  
 N.W.1/4 Sec. 22, Twp.24, Rge.1 W.5M.

MUNICIPAL ADDRESS:  
 115/115A/117 12 AV NW  
 CALGARY, ALBERTA

**SITE STATISTIC:**  
 EXISTING LAND USE ZONING:  
 M-C1 - MULTI-RESIDENTIAL CONTEXTUAL LOW PROFILE

SITE AREA: 0.1115 HECTARE 1,114.69 SQ M 11,998.5 SQ FT

<b>SITE COVERAGE AREA:</b>	
MAIN BUILDING -	456.3 SQ M 4,912 SQ FT
PARKING & GARBAGE -	120.3 SQ M 1,295 SQ FT
<b>TOTAL -</b>	<b>576.6 SQ M 6,207 SQ FT</b>

SITE COVERAGE AREA PERCENTAGE: 51.7%

LANDSCAPE AREA REQUIRED: 40%  
 LANDSCAPE AREA PROVIDED: 48.3%

<b>FLOOR AREA:</b>	
MAIN -	456.3 SQ M 4,912 SQ FT
SECOND -	464.0 SQ M 4,994 SQ FT
THIRD -	464.0 SQ M 4,994 SQ FT
FOURTH -	464.0 SQ M 4,994 SQ FT
<b>TOTAL -</b>	<b>1,848.3 SQ M 19,894 SQ FT</b>
BASEMENT -	457.4 SQ M 4,923 SQ FT
<b>TOTAL -</b>	<b>2,305.7 SQ M 24,817 SQ FT</b>

NUMBER OF UNITS: 35 (1BED ROOM)  
 NUMBER OF BARRIER FREE UNITS: 28.6% (10 UNITS)

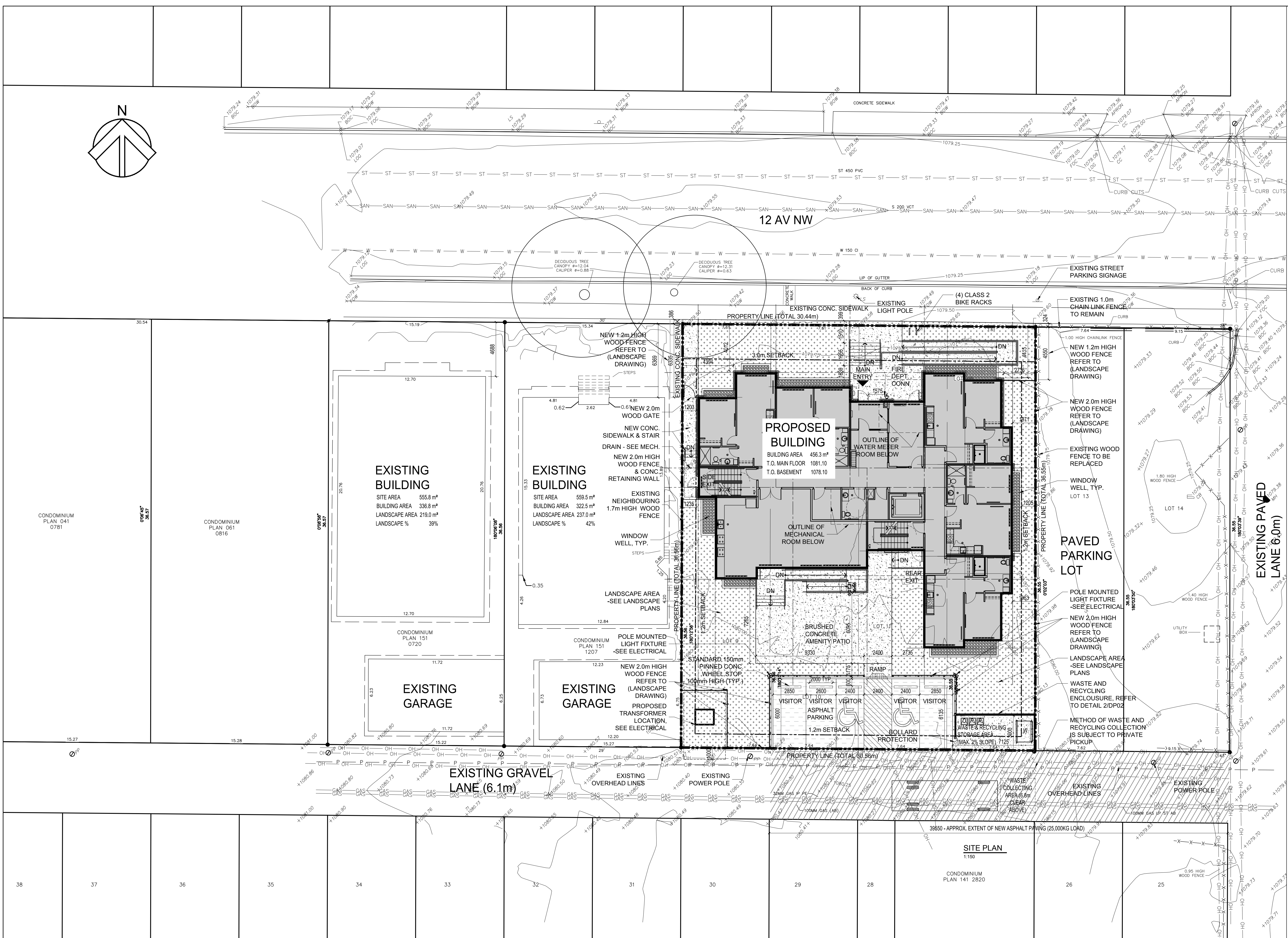
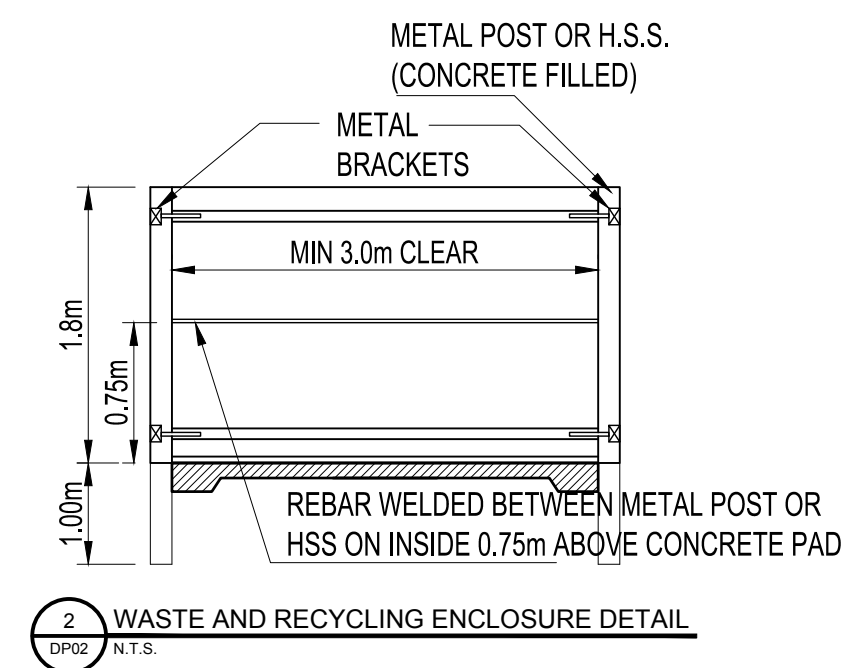
	1BD-BF	1BD	TOTAL
BASEMENT -	2	4	6
MAIN -	2	3	5
SECOND -	2	6	8
THIRD -	2	6	8
FOURTH -	2	6	8
<b>TOTAL -</b>	<b>10</b>	<b>25</b>	<b>35</b>

PARKING REQUIRED: 12 STALLS (1 STALL/3 RESIDENTS)  
 PARKING PROVIDED: 5 STALLS (2 BF STALLS)

**WASTE & RECYCLING NOTES:**

- MIN. 6.8m VERTICAL CLEARANCE FOR DUMPING OF BINS
- LEVEL TRANSITION BETWEEN THE COLLECTION STAGING AREA AND THE LANE

- WASTE AND RECYCLING AREA - ASPHALT CAPABLE OF SUPPORTING A MIN. 25,000KG LOAD
- BRUSHED CONCRETE SURFACE
- WINDOW WELL WASHED ROCK
- INDICATES SOFT LANDSCAPE AREA
- ASPHALT PARKING
- LOCATION OF ALL OPENINGS (WINDOWS, DOORS) AT THE MAIN FLOOR
- ORGANICS/RECYCLING BINS
- WHEELED WASTE BIN



CONDOMINIUM PLAN 041 0781

CONDOMINIUM PLAN 061 0816

CONDOMINIUM PLAN 151 0720

CONDOMINIUM PLAN 151 1207

**SITE PLAN**  
 1:150  
 CONDOMINIUM PLAN 141 2820

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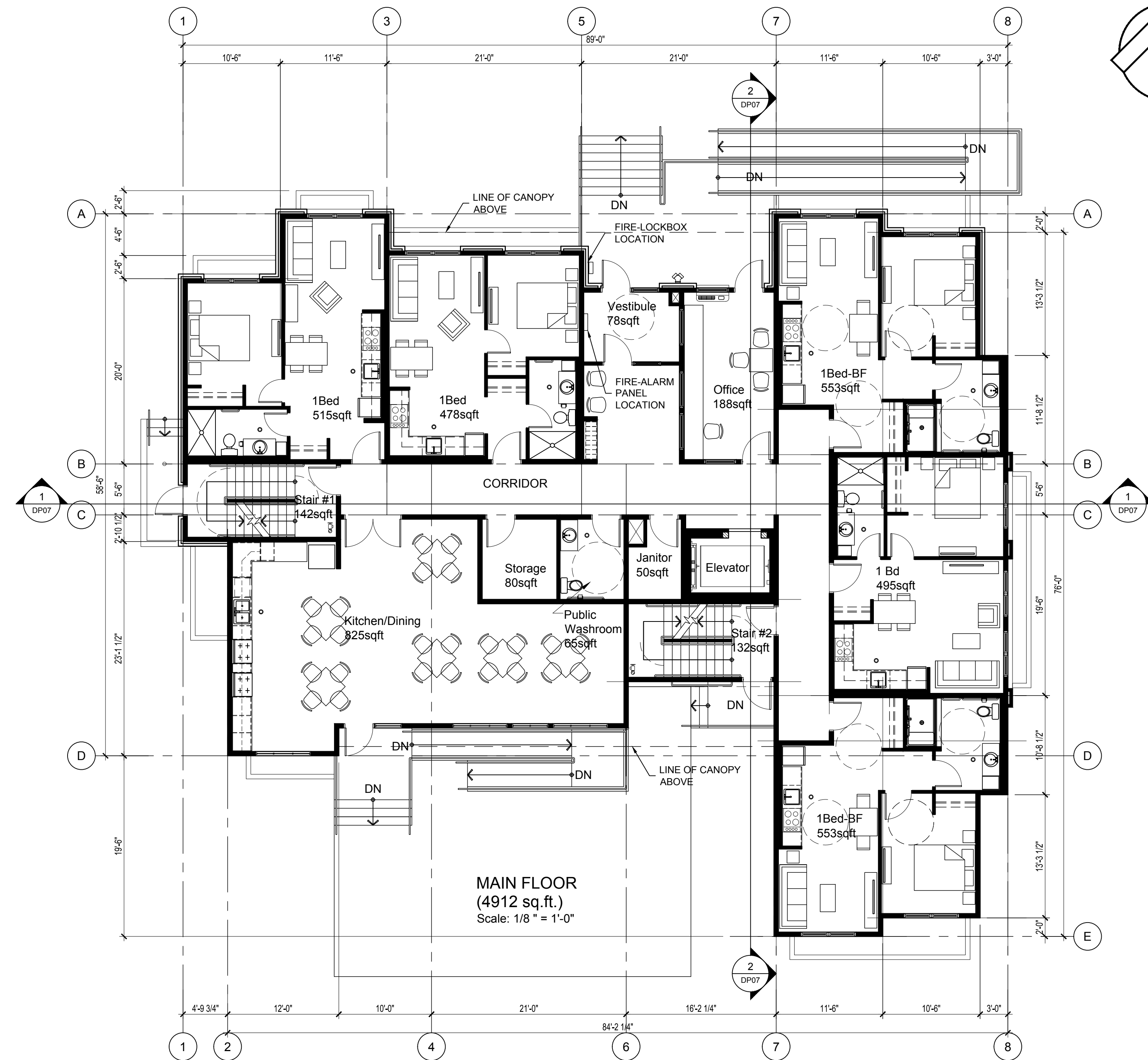
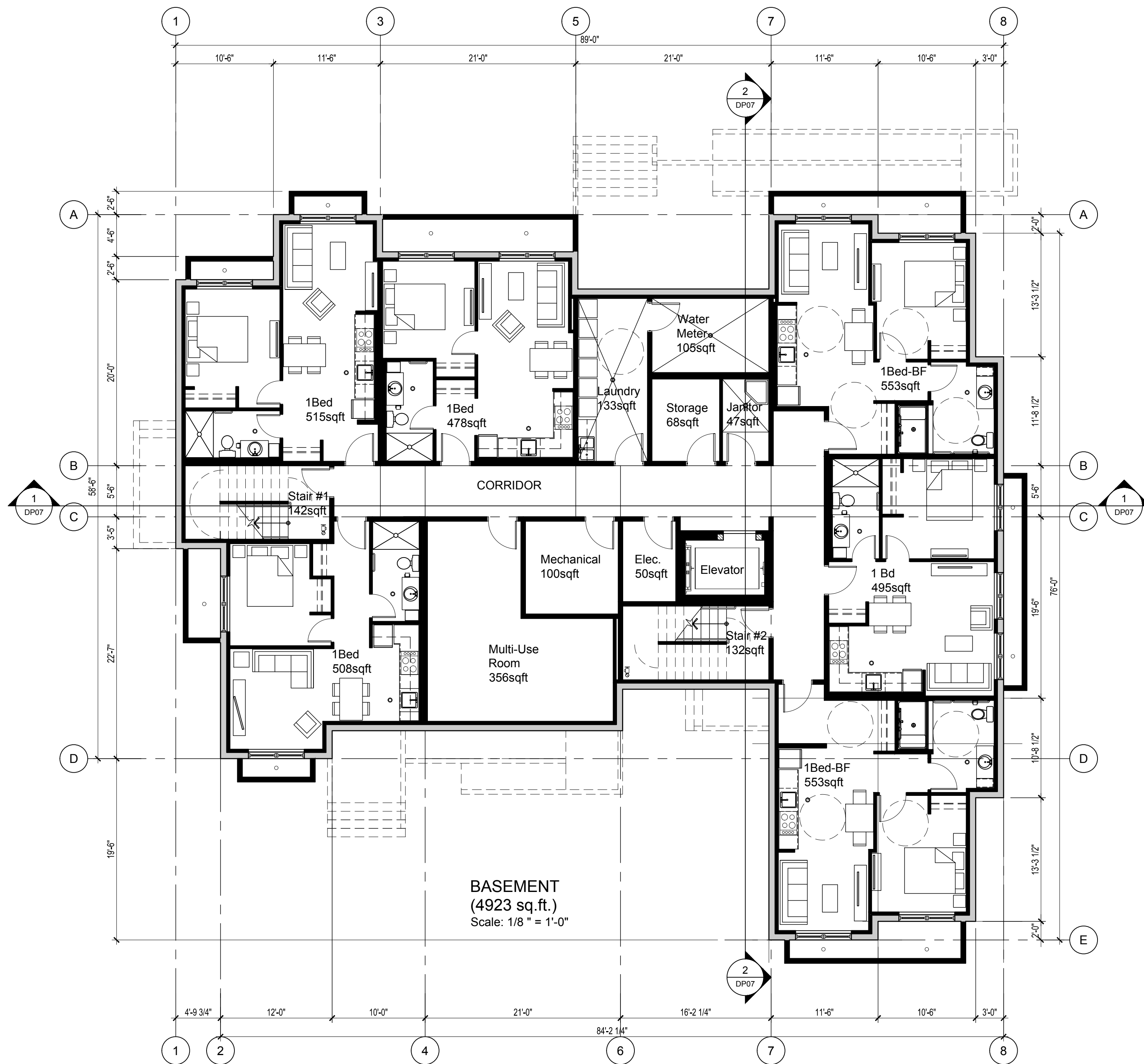
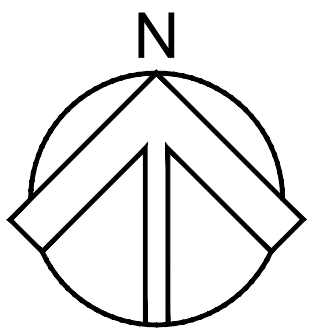
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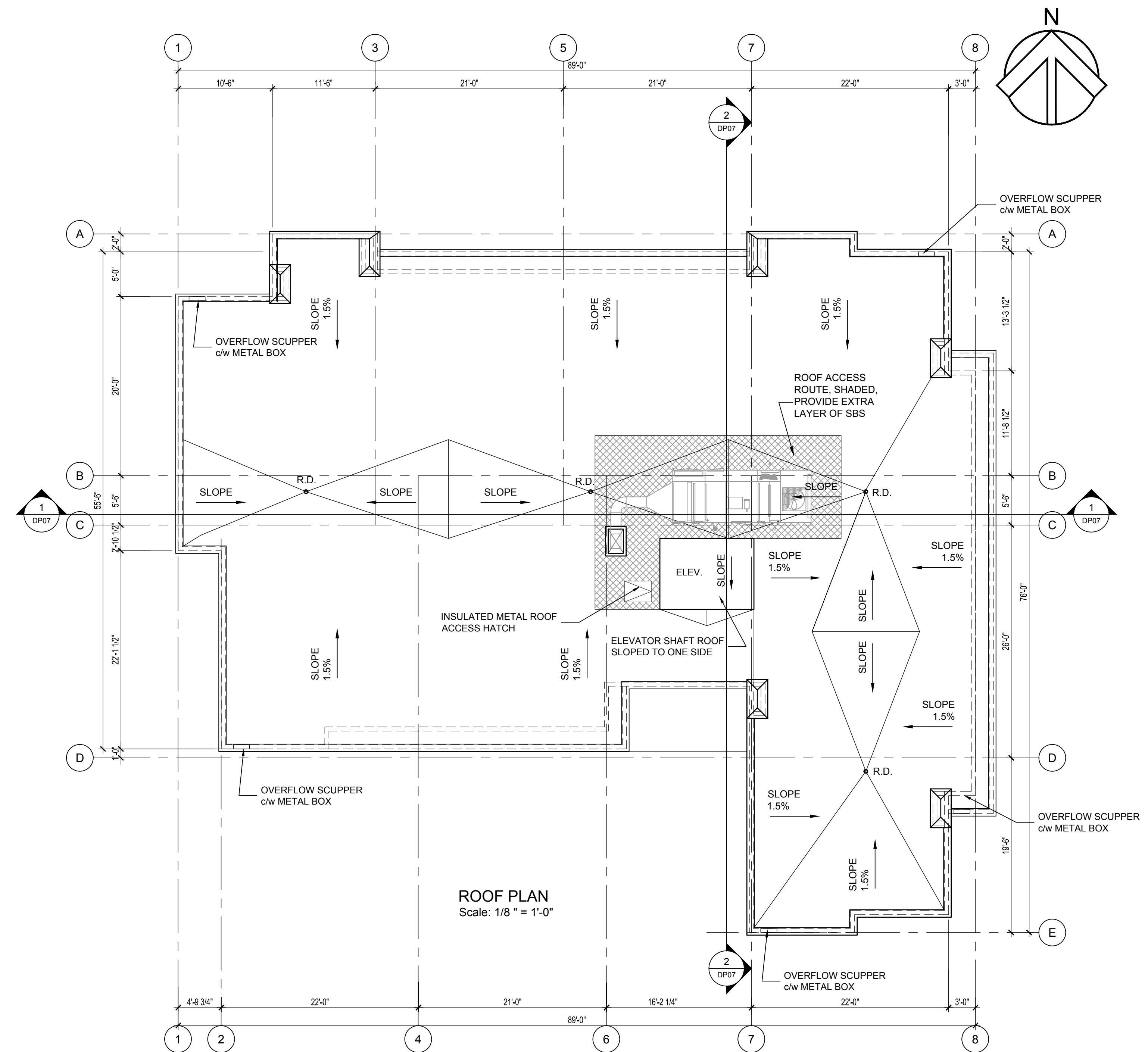
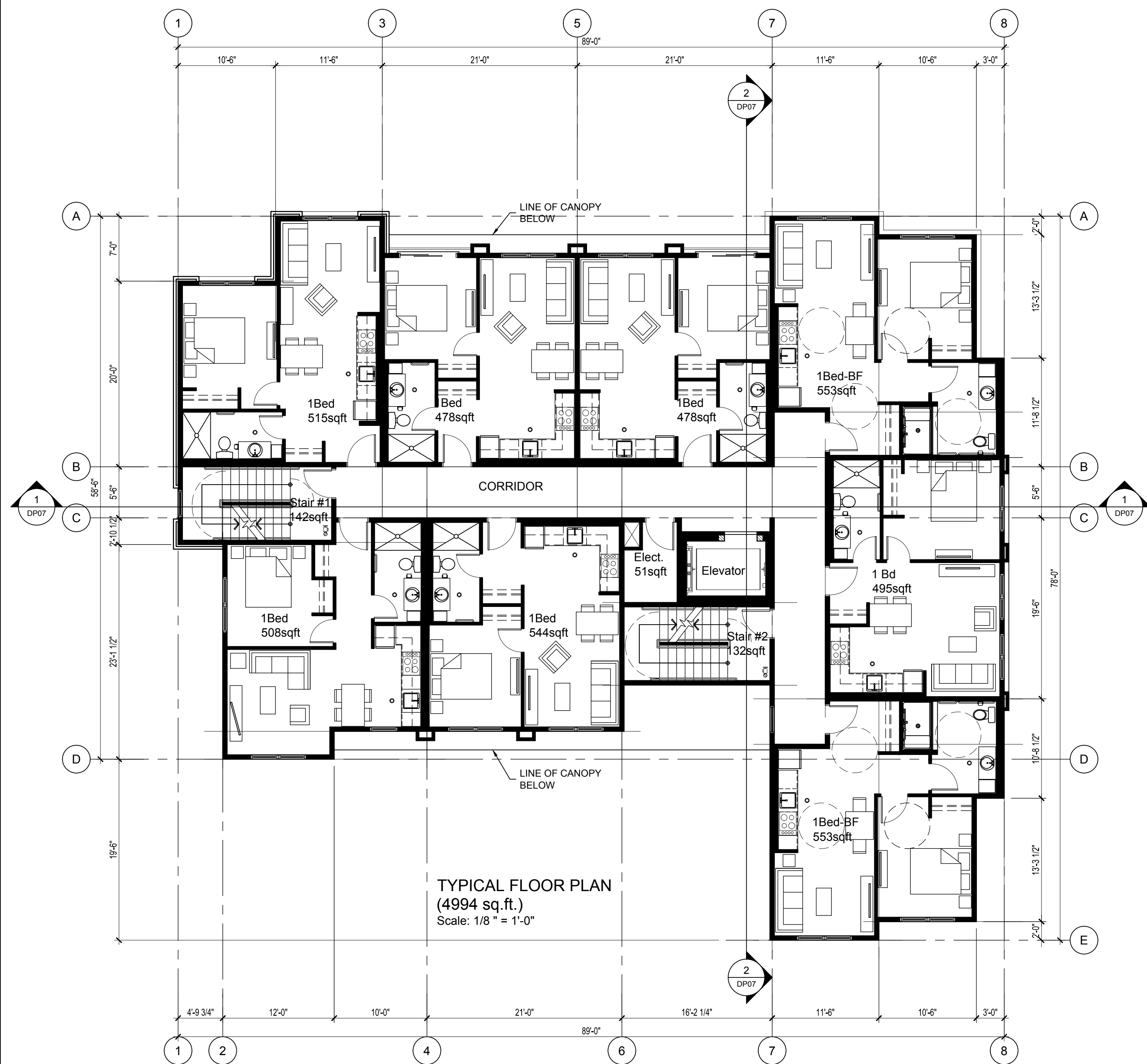
# SITE PLAN

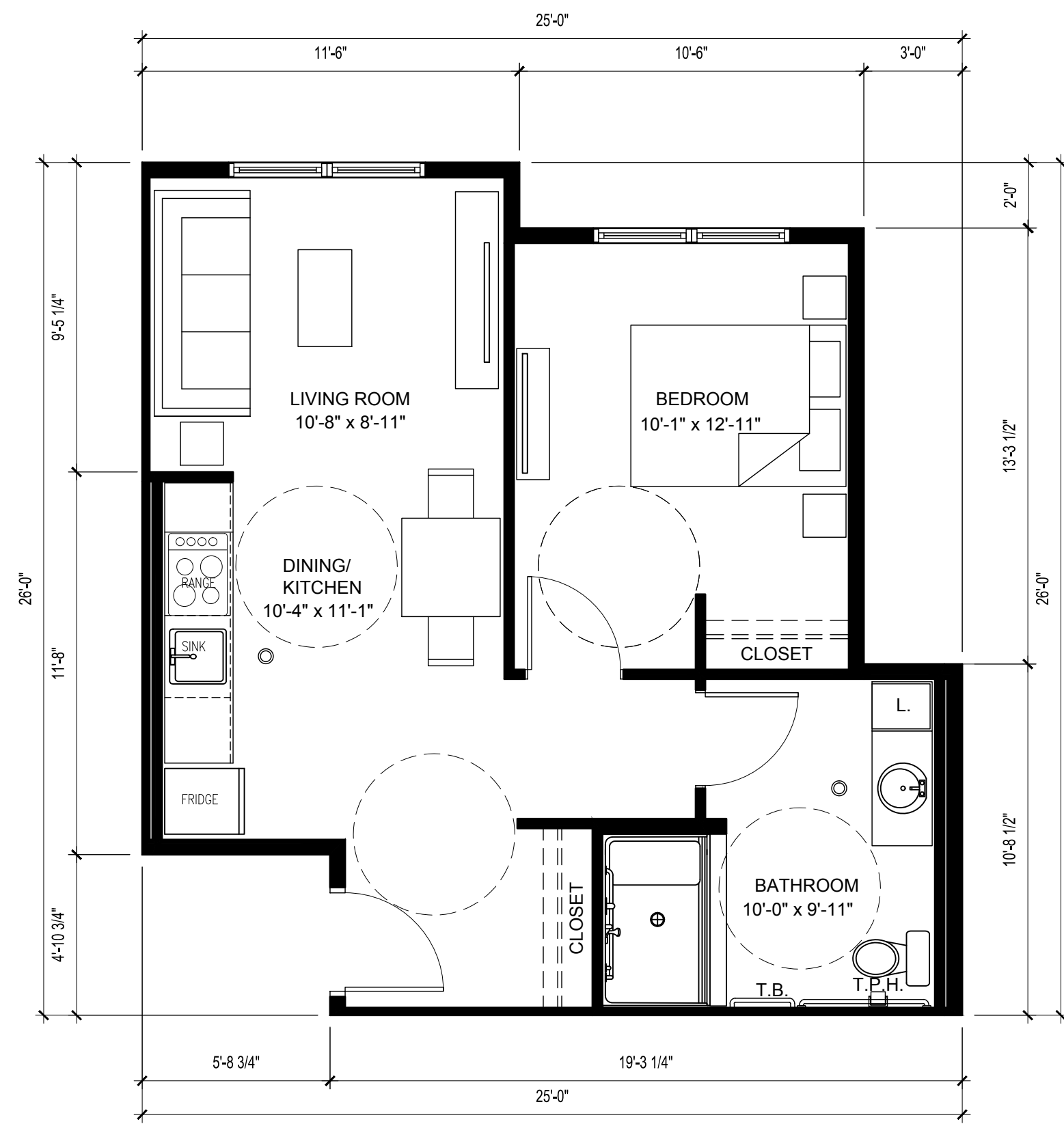
## HomeSpace 12th Avenue NW Assisted Living Apartments

Client

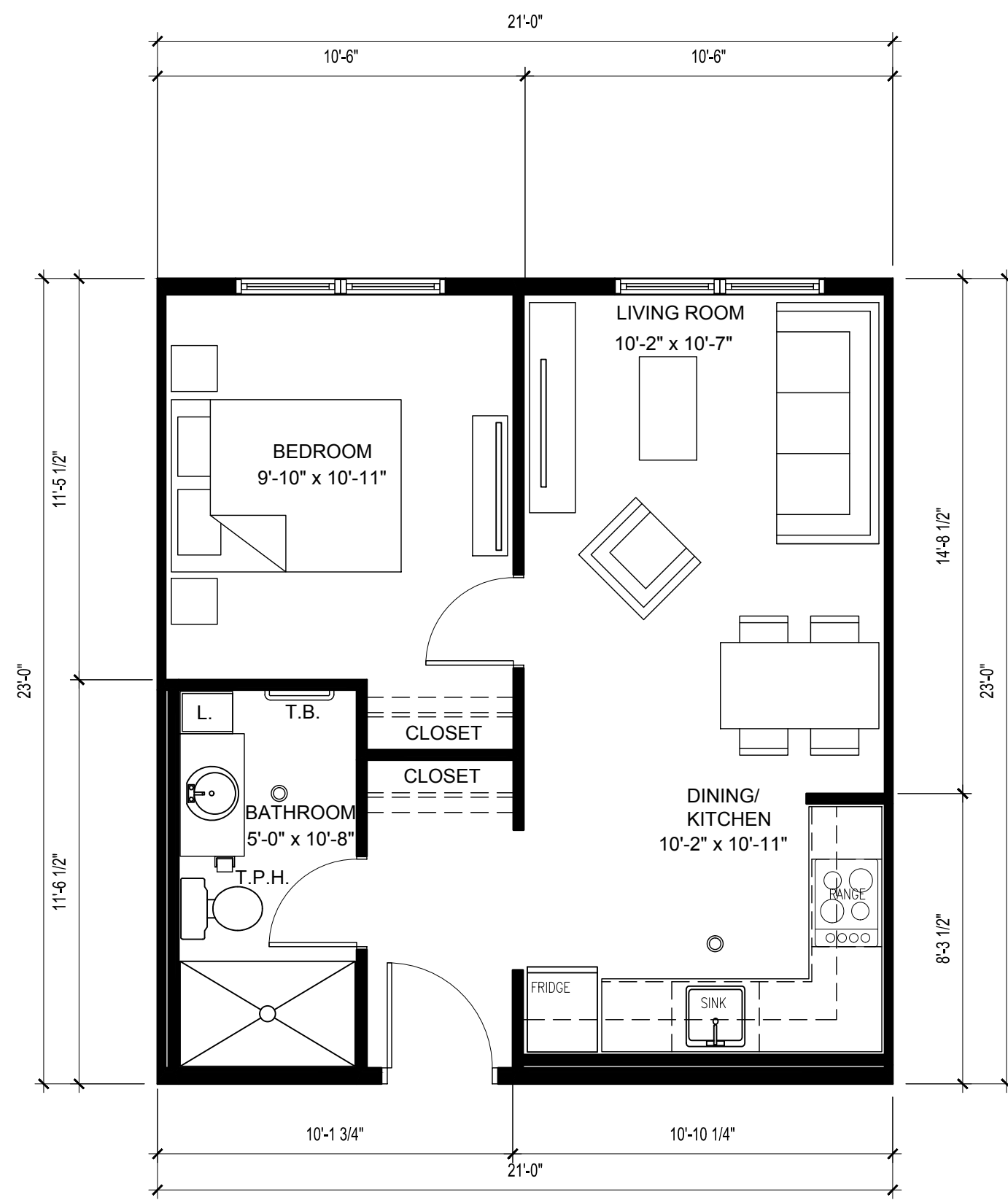
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 Project Number: 139998  
 Scale: AS SHOWN  
 Sheet Number: DP2



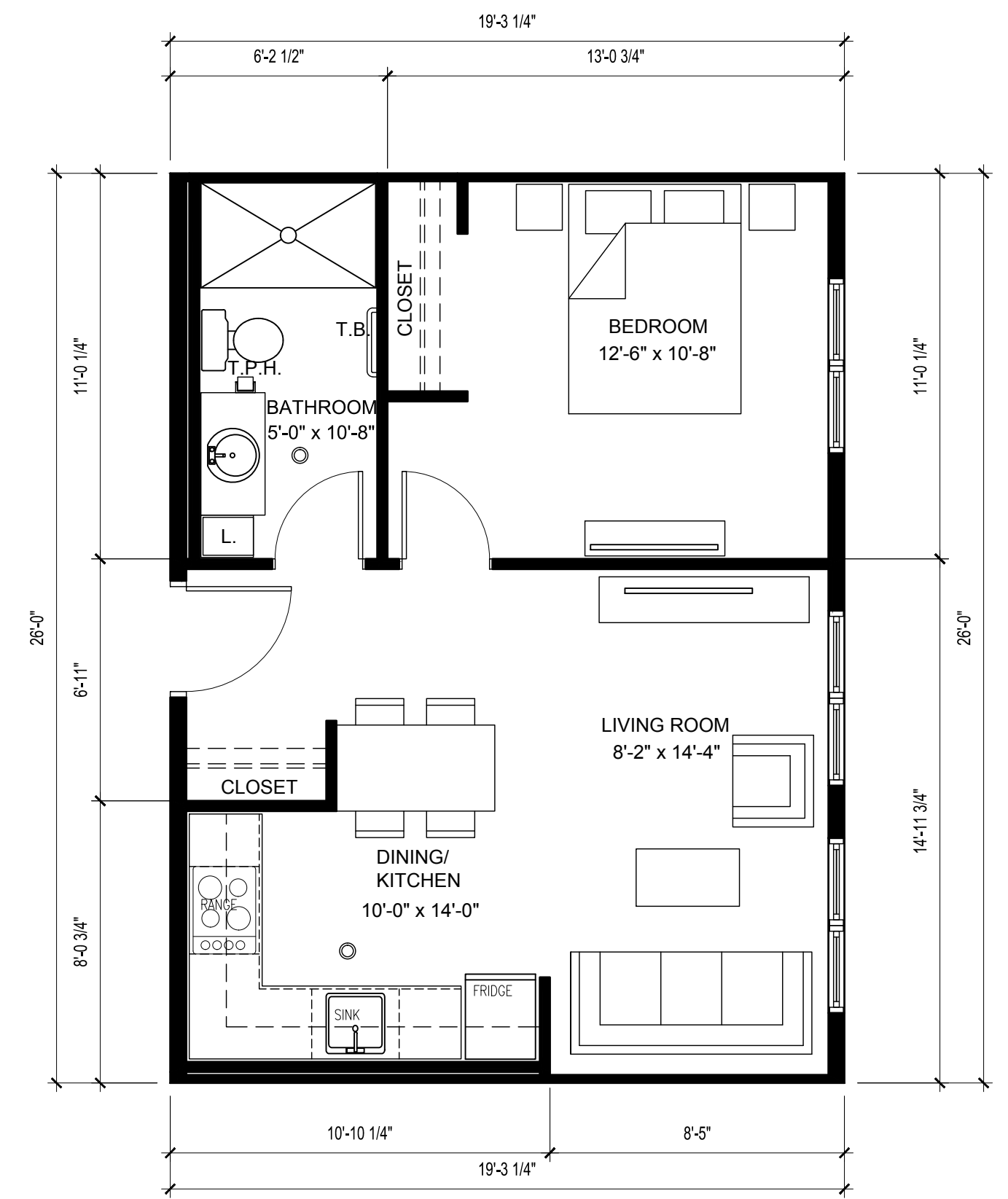




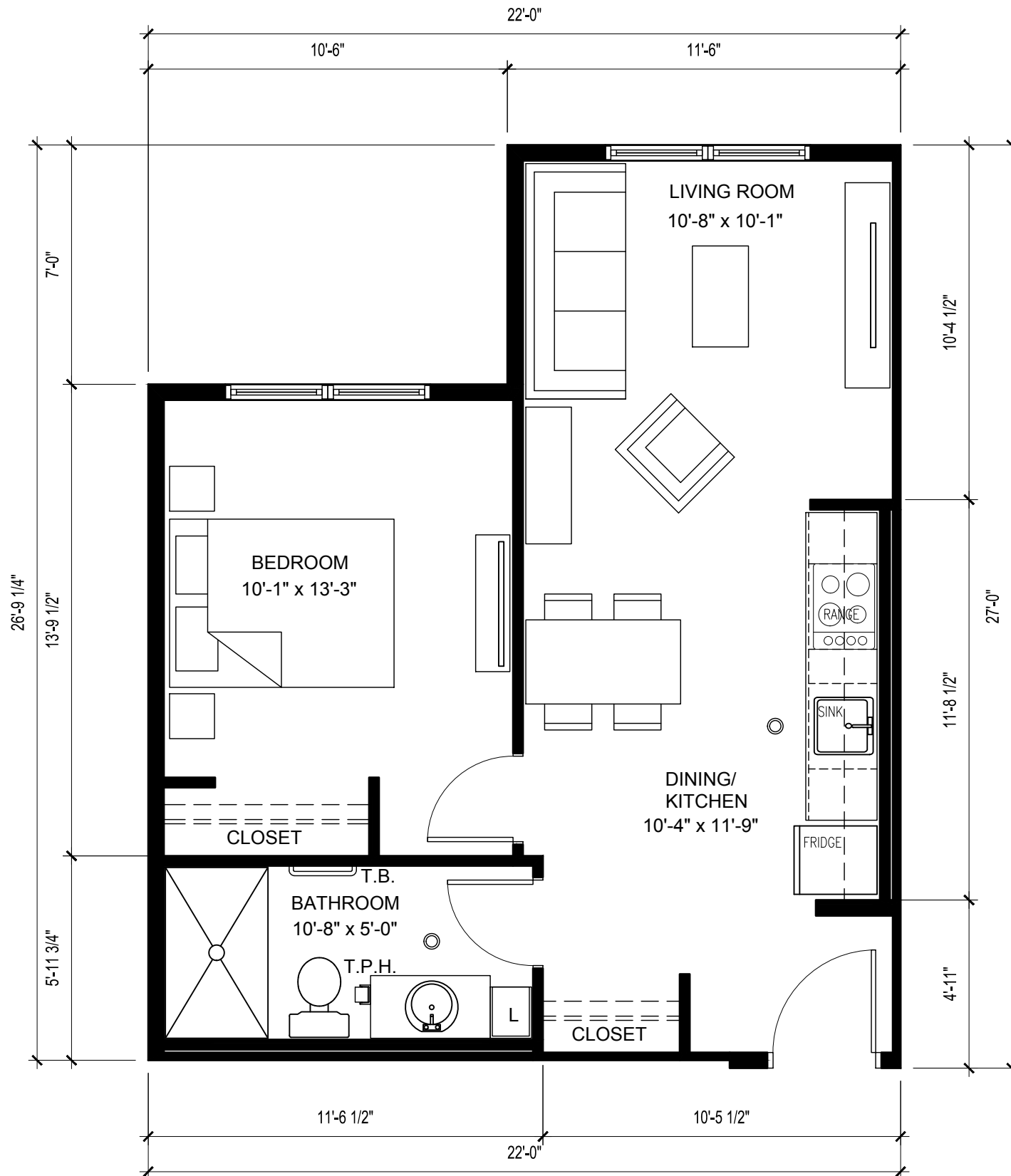
**1 UNIT TYPE 1Bd(BF) - 1**  
 DP05A 1/4" = 1'-0"  
 GFA AREA: 553 ft<sup>2</sup>  
 NET AREA: 510 ft<sup>2</sup>



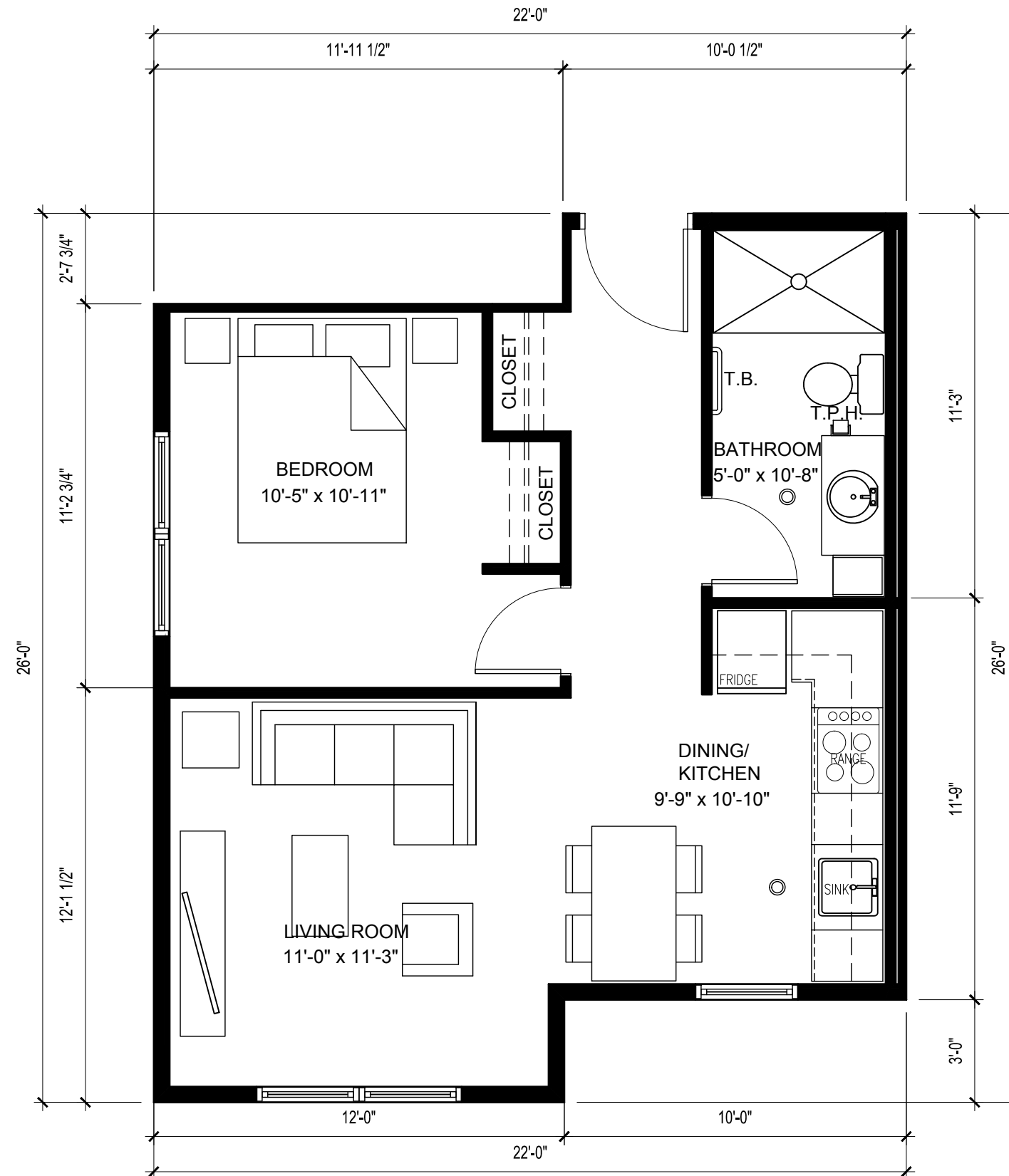
**2 UNIT TYPE 1Bd - 1**  
 DP05A 1/4" = 1'-0"  
 GFA AREA: 478 ft<sup>2</sup>  
 NET AREA: 445 ft<sup>2</sup>



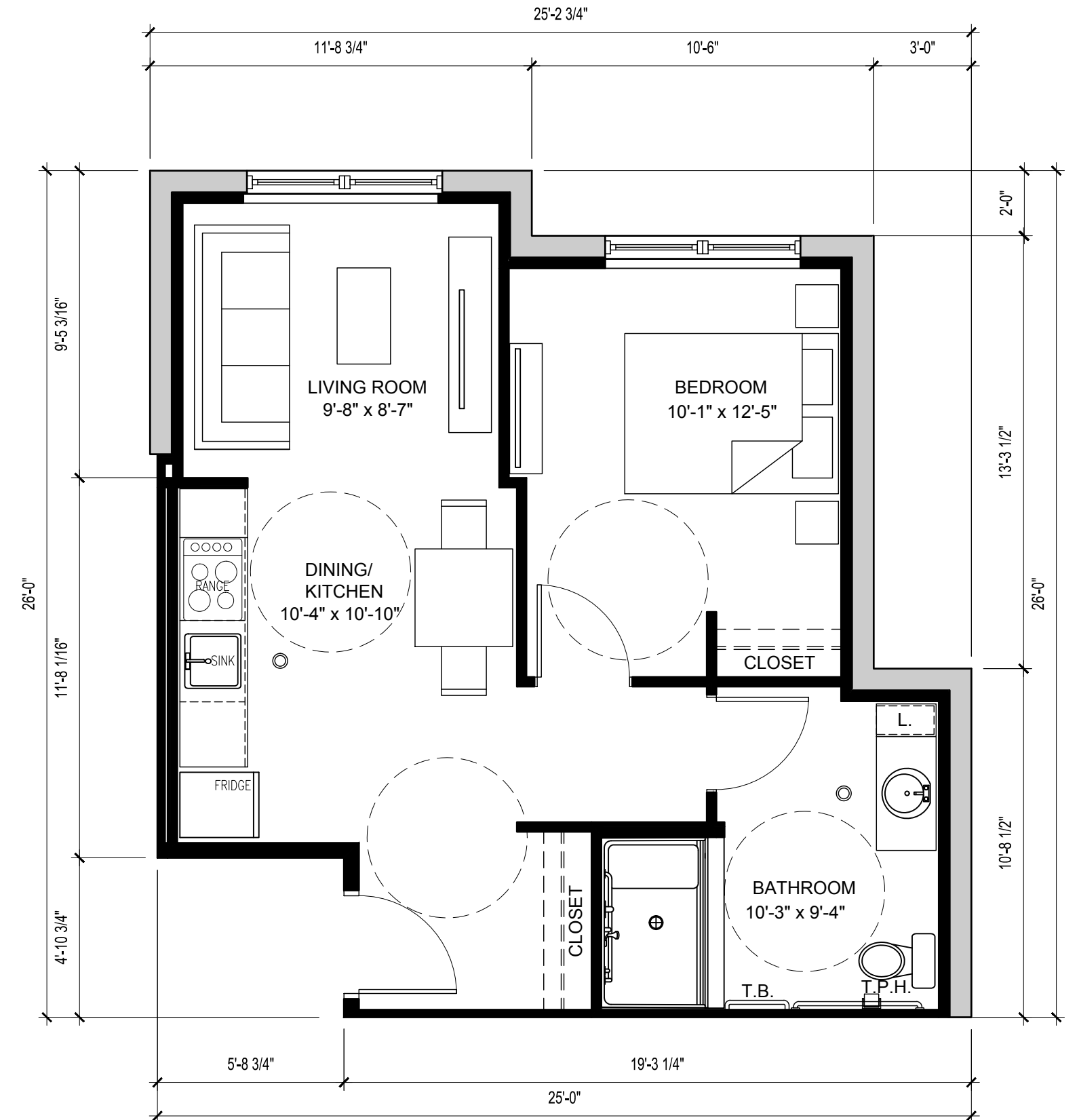
**3 UNIT TYPE 1Bd - 2**  
 DP05A 1/4" = 1'-0"  
 GFA AREA: 495 ft<sup>2</sup>  
 NET AREA: 461 ft<sup>2</sup>



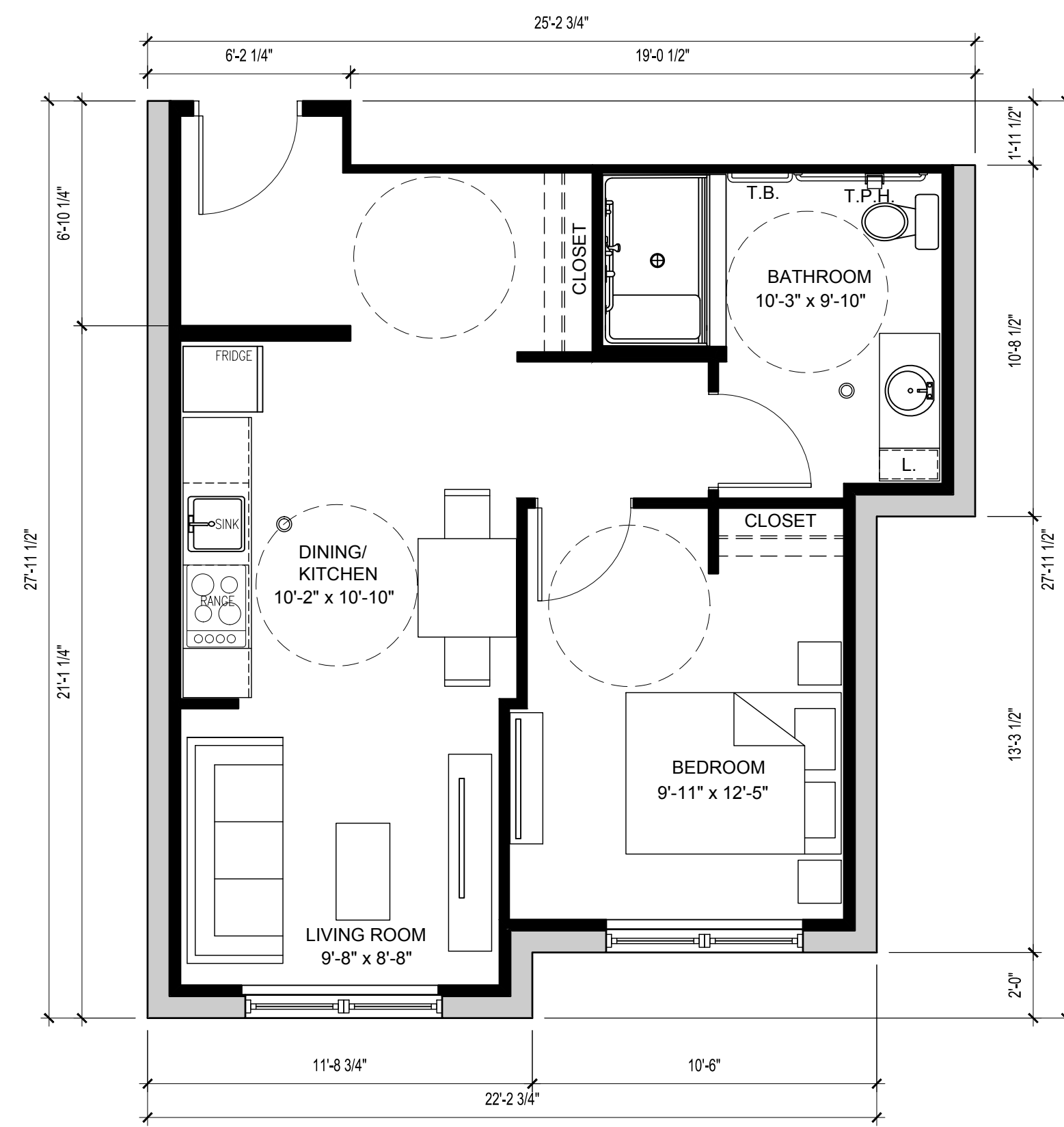
**4 UNIT TYPE 1Bd - 3**  
 DP05A 1/4" = 1'-0"  
 GFA AREA: 515 ft<sup>2</sup>  
 NET AREA: 473 ft<sup>2</sup>



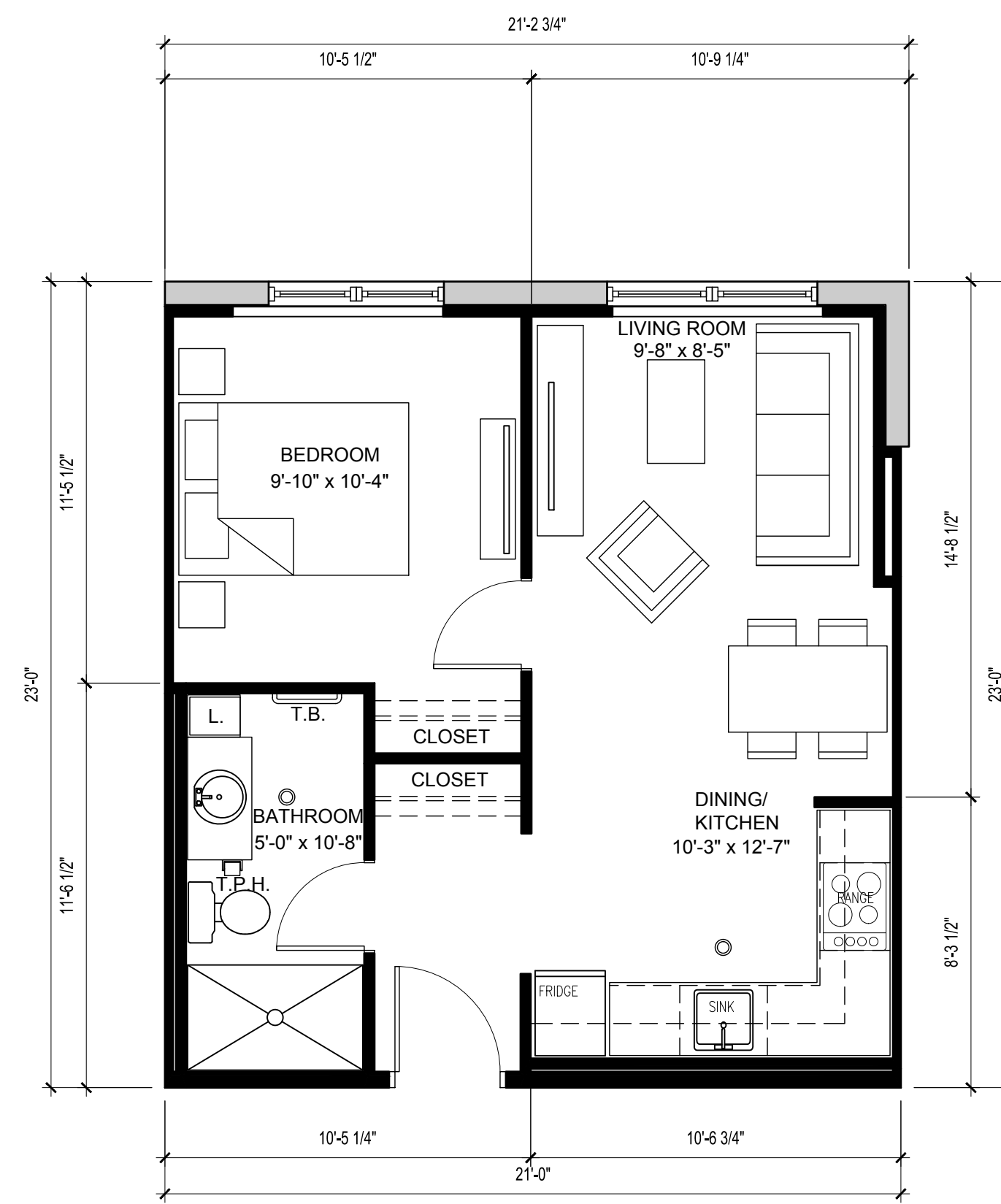
**5 UNIT TYPE 1Bd - 4**  
 DP05A 1/4" = 1'-0"  
 GFA AREA: 508 ft<sup>2</sup>  
 NET AREA: 467 ft<sup>2</sup>



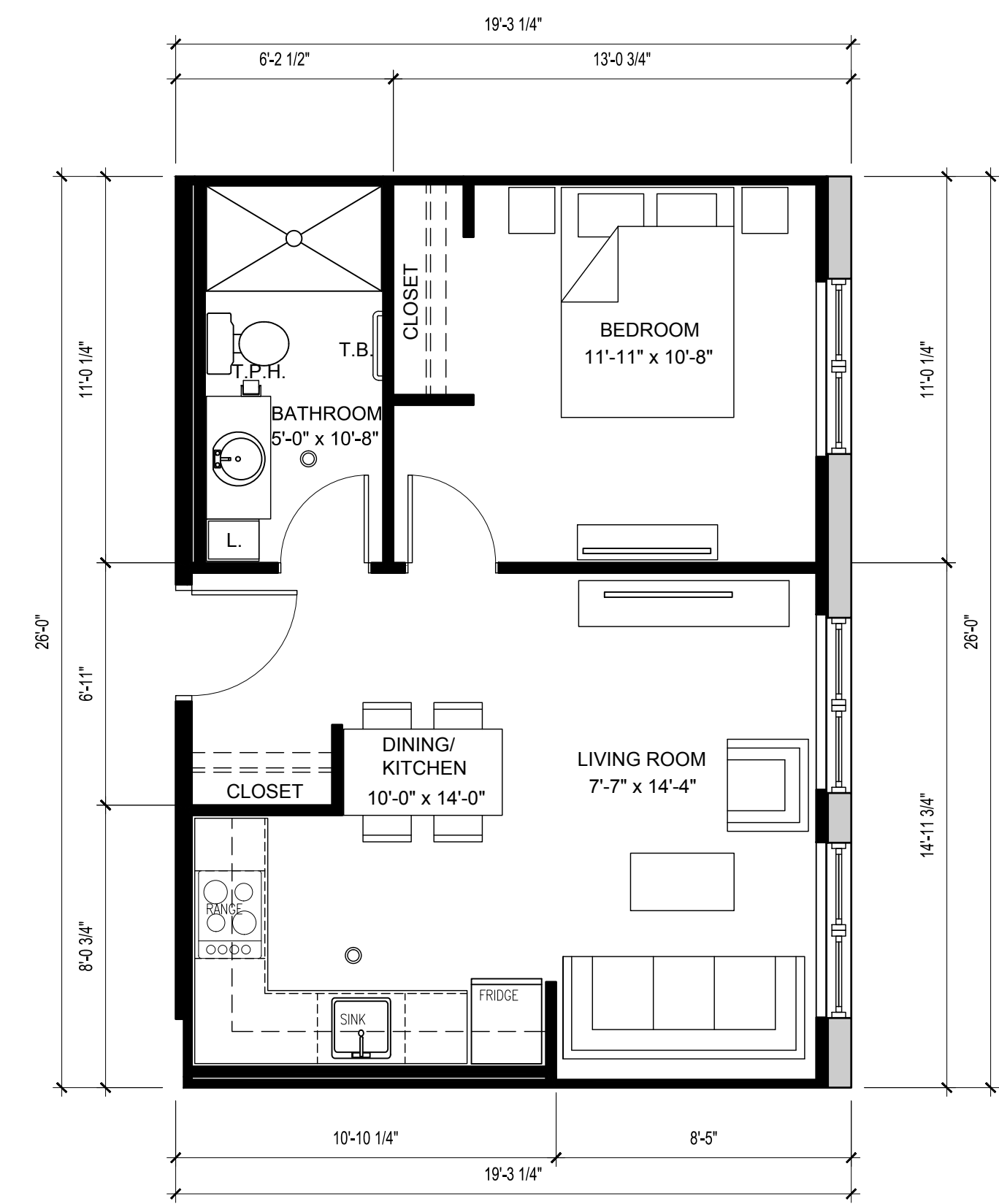
**6 UNIT TYPE 1Bd(BF) - 2**  
 DP05A 1/4" = 1'-0"  
 GFA AREA: 553 ft<sup>2</sup>  
 NET AREA: 483 ft<sup>2</sup>



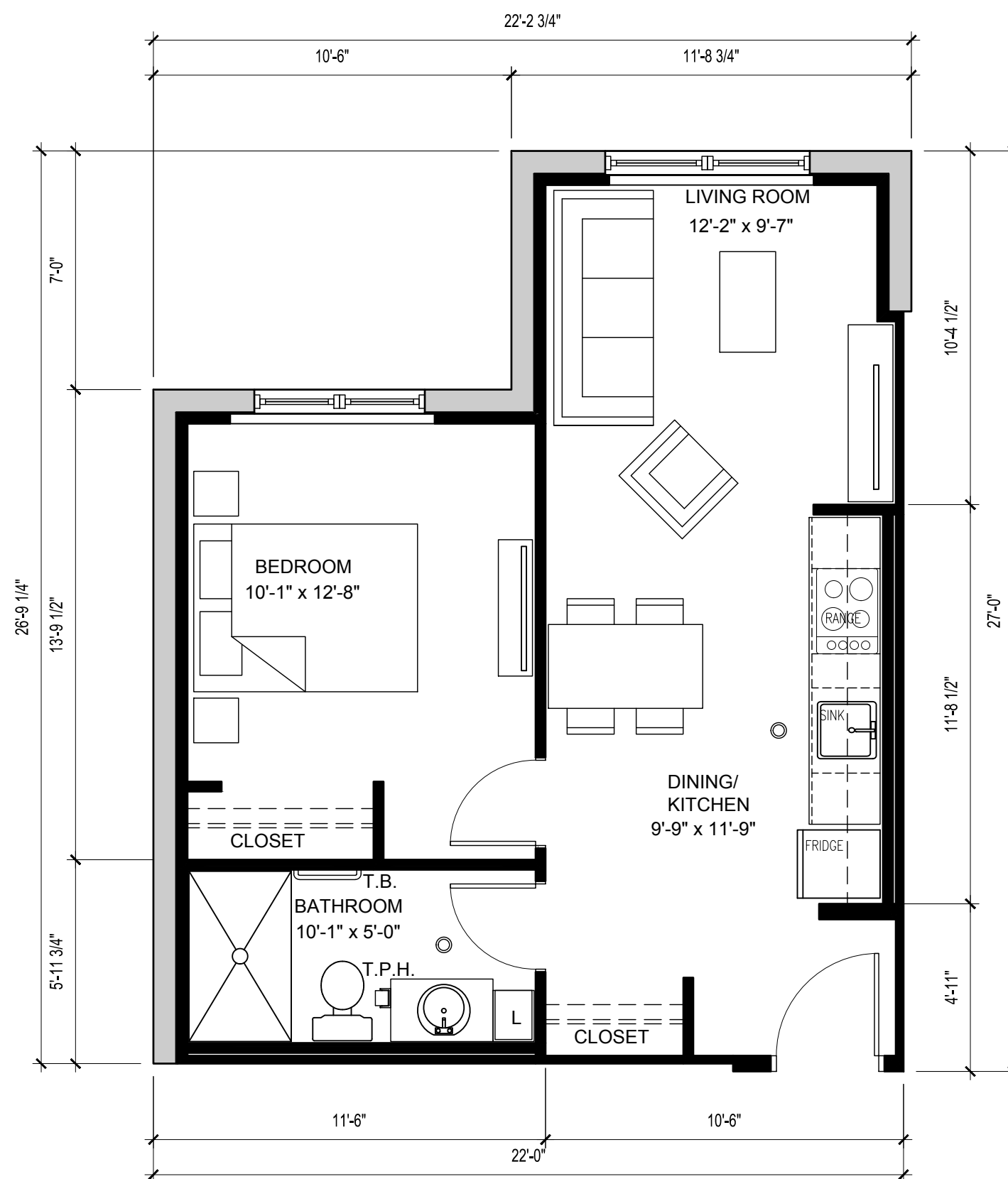
**1 UNIT TYPE 1Bd(BF) - 3**  
 DP05B 1/4" = 1'-0"  
 GFA AREA: 600 ft<sup>2</sup>  
 NET AREA: 517 ft<sup>2</sup>



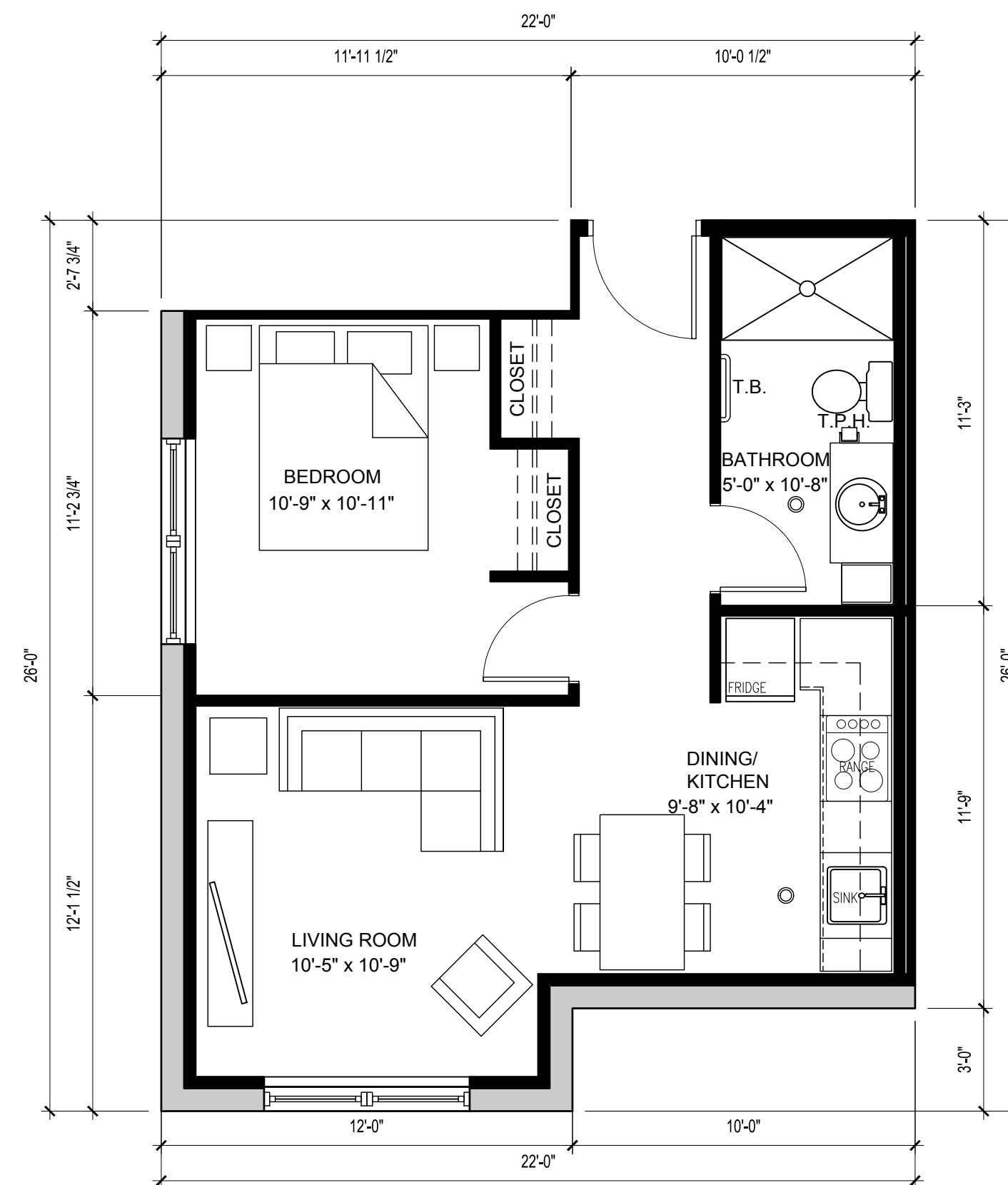
**2 UNIT TYPE 1Bd - 5**  
 DP05B 1/4" = 1'-0"  
 GFA AREA: 478 ft<sup>2</sup>  
 NET AREA: 430 ft<sup>2</sup>



**3 UNIT TYPE 1Bd - 6**  
 DP05B 1/4" = 1'-0"  
 GFA AREA: 495 ft<sup>2</sup>  
 NET AREA: 447 ft<sup>2</sup>

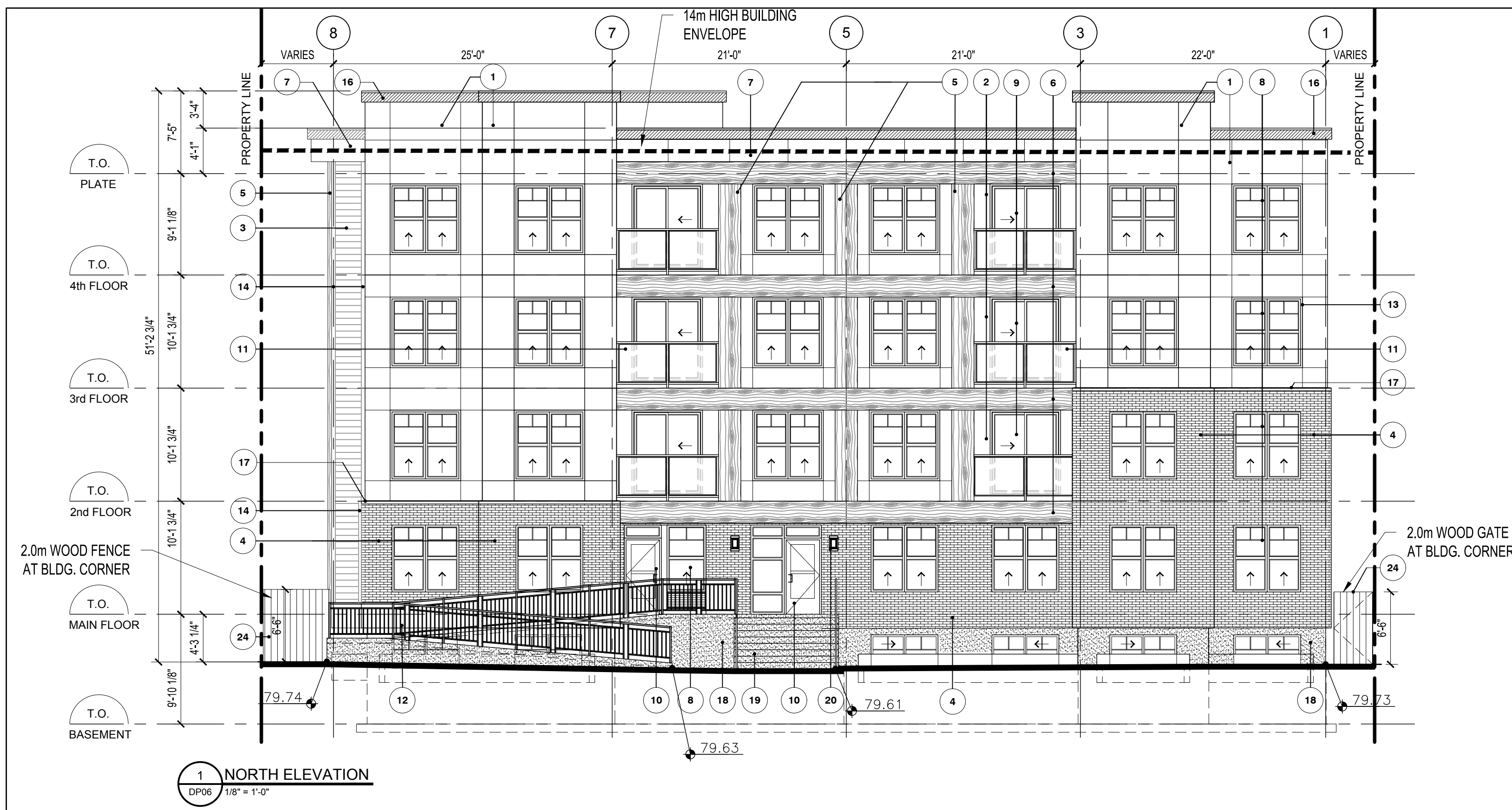


**4 UNIT TYPE 1Bd - 7**  
 DP05B 1/4" = 1'-0"  
 GFA AREA: 515 ft<sup>2</sup>  
 NET AREA: 446 ft<sup>2</sup>

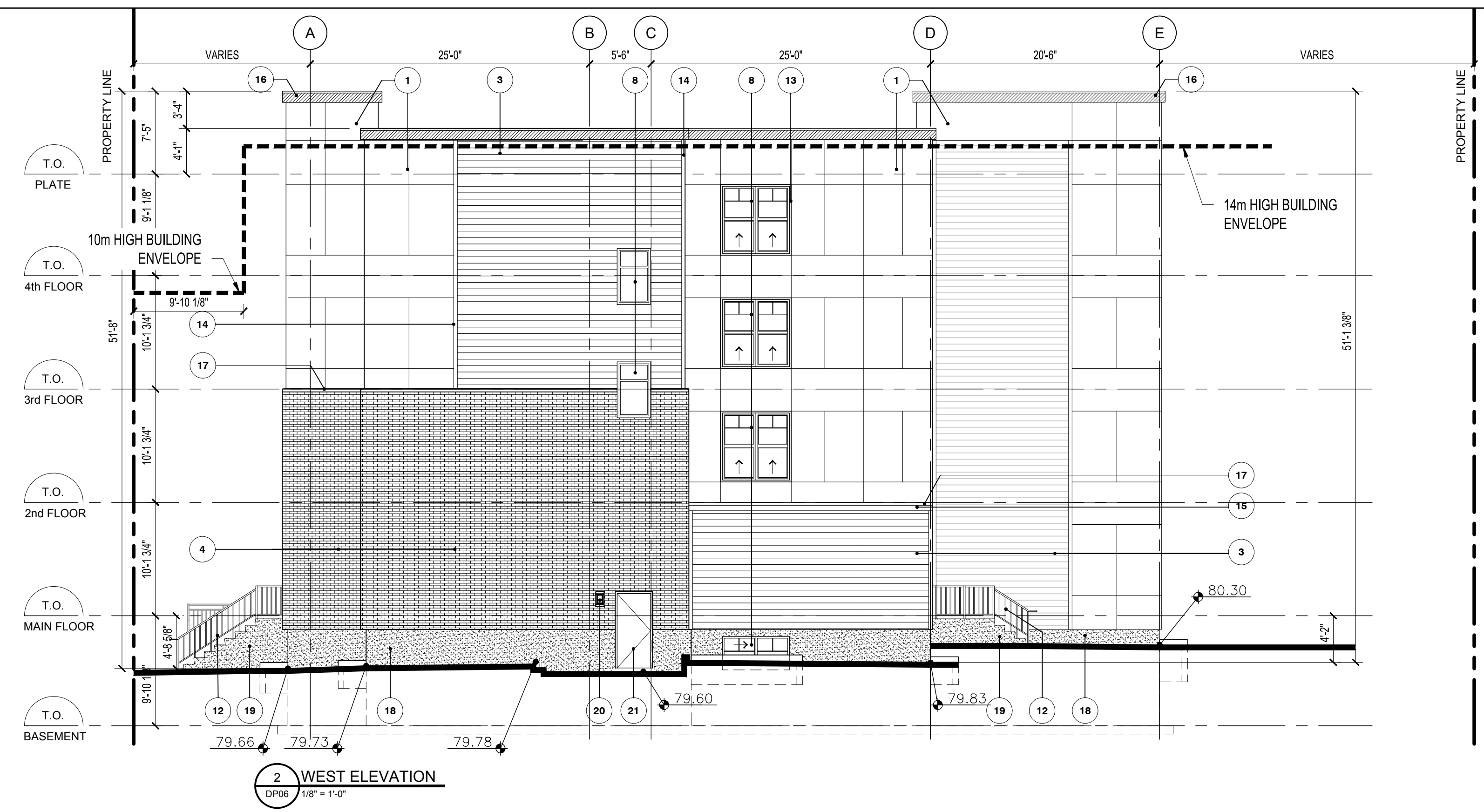


**5 UNIT TYPE 1Bd - 8**  
 DP05B 1/4" = 1'-0"  
 GFA AREA: 508 ft<sup>2</sup>  
 NET AREA: 442 ft<sup>2</sup>





1 NORTH ELEVATION  
DP06 1/8" = 1'-0"



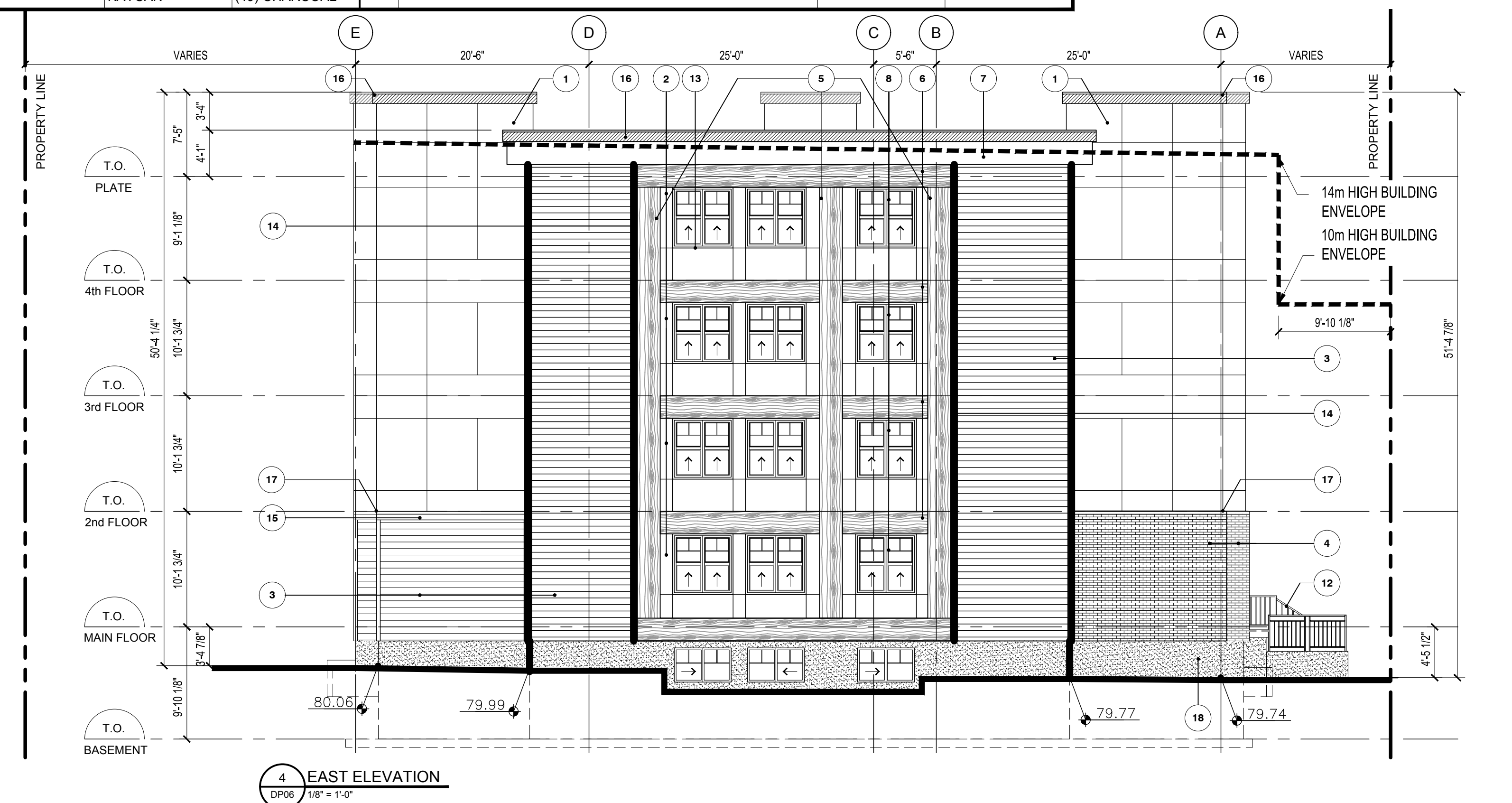
2 WEST ELEVATION  
DP06 1/8" = 1'-0"

**MATERIAL LEGEND**

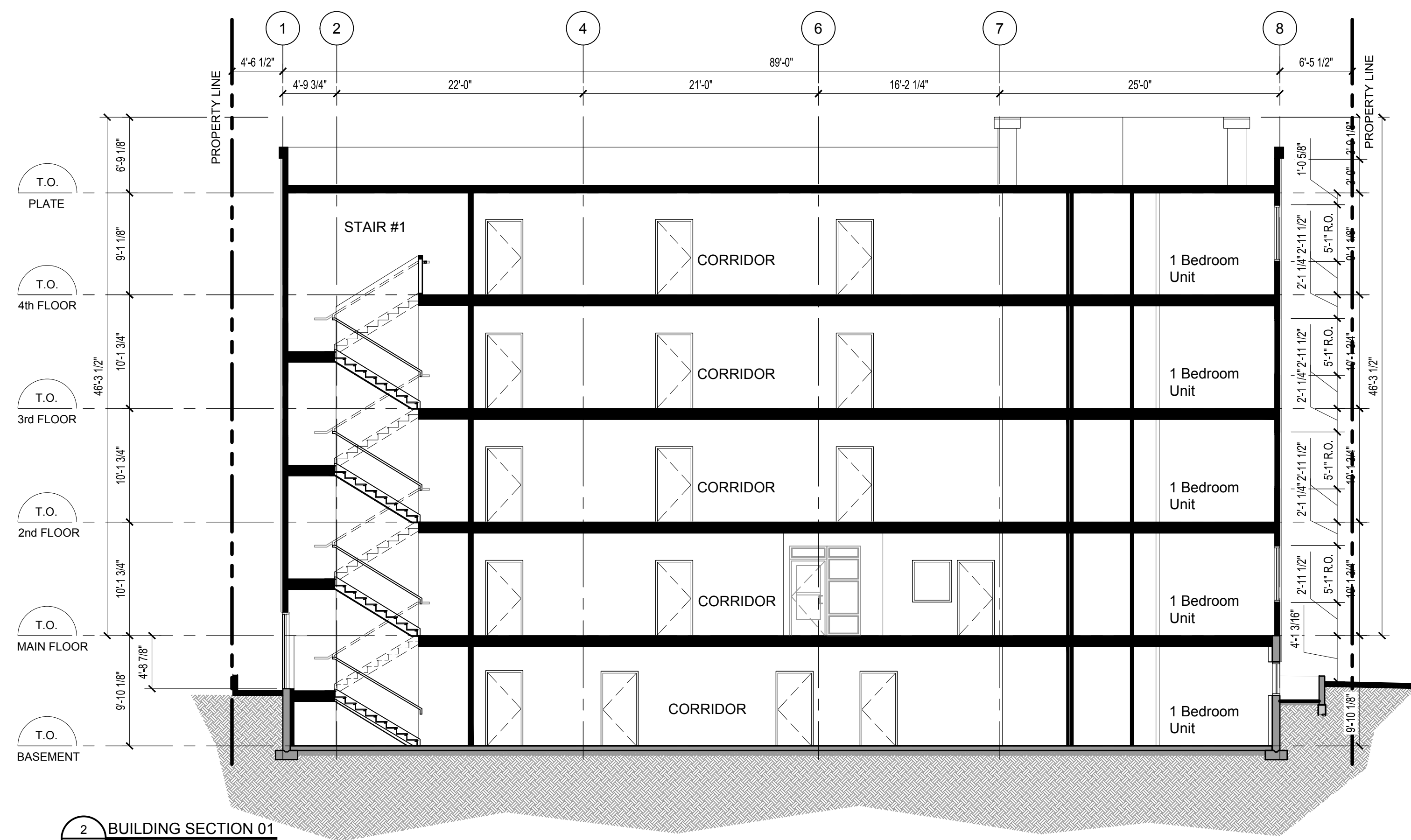
No.	Materials	Manufacturer	Colour	No.	Materials	Manufacturer	Colour	No.	Materials	Manufacturer	Colour
1	FIBER CEMENT BOARD PANEL SYSTEM COLOUR TYPE 1 c.w. EASYTRIM REVEALS (ANODIZED ALUMINUM)	JAMES HARDIE	PEARL GRAY	8	METAL CLAD VINYL WINDOW (TRIPLE GLAZED)	TBD	BLACK (ext.)	17	PRE-FINISHED METAL FLASHING / CAP	KAYCAN	(49) CHARCOAL
2	FIBER CEMENT BOARD PANEL SYSTEM COLOUR TYPE 2 c.w. EASYTRIM REVEALS (ANODIZED ALUMINUM)	JAMES HARDIE	ARCTIC WHITE	9	METAL CLAD VINYL SLIDING BALCONY DOOR (TRIPLE GLAZED)	TBD	BLACK (ext.)	18	PARGING	-	GREY
3	FIBER CEMENT HORIZONTAL SIDING, COLOUR TYPE 3	JAMES HARDIE	AGED PEWTER	10	ALUMINUM ENTRANCE	TBD	BLACK (ext.)	19	CONCRETE STAIR	-	GREY
4	BRICK (or EQUIVALENT ALTERNATIVE), COLOUR TYPE 4	IXL	SILVERADO VELOUR	11	ALUMINUM BALCONY RAILING c.w. TEMPARAD GLASS	TBD	BLACK	20	WALL MOUNTED LIGHT FIXTURE	TBD	TBD
5	ALUMINUM LONGBOARD VERTICAL SIDING, COLOUR TYPE 5	LONGBOARD	CEDAR	12	METAL RAILING, PREFINISHED (POWDER COATED)	TBD	BLACK	21	MTL. DOOR (INSULATED), PAINTED TO MATCH COLOUR TYPE 3	TBD	PEARL GRAY
6	ALUMINUM LONGBOARD HORIZONTAL SIDING, COLOUR TYPE 5	LONGBOARD	CEDAR	13	2" FIBER CEMENT TRIM - SMOOTH FINISH, COLOUR TYPE 1	TBD	PEARL GRAY	22	PRE-FIN. 6" ALUM EAVESTHROUGH / 3"x3" DOWNSPOUT	ROYAL ALUMIPRO	TBD
7	FIBER CEMENT FASCIA, COLOUR TYPE 1 c.w. ALUMINUM TRIM	JAMES HARDIE	PEARL GRAY	14	4" FIBER CEMENT TRIM - SMOOTH FINISH, COLOUR TYPE 3	TBD	AGED PEWTER	23	PRE-FIN. ALUM SOFFIT	KAYCAN	(49) CHARCOAL
				15	6" FIBER CEMENT TRIM - SMOOTH FINISH, COLOUR TYPE 3	TBD	AGED PEWTER	24	WD. FENCE - REFER TO LANDSCAPE DWGS - COLOUR TYPE 5	TBD	CEDAR
				16	12" MTL. CLAD FASCIA c.w. CAP FLASHING	KAYCAN	(49) CHARCOAL				



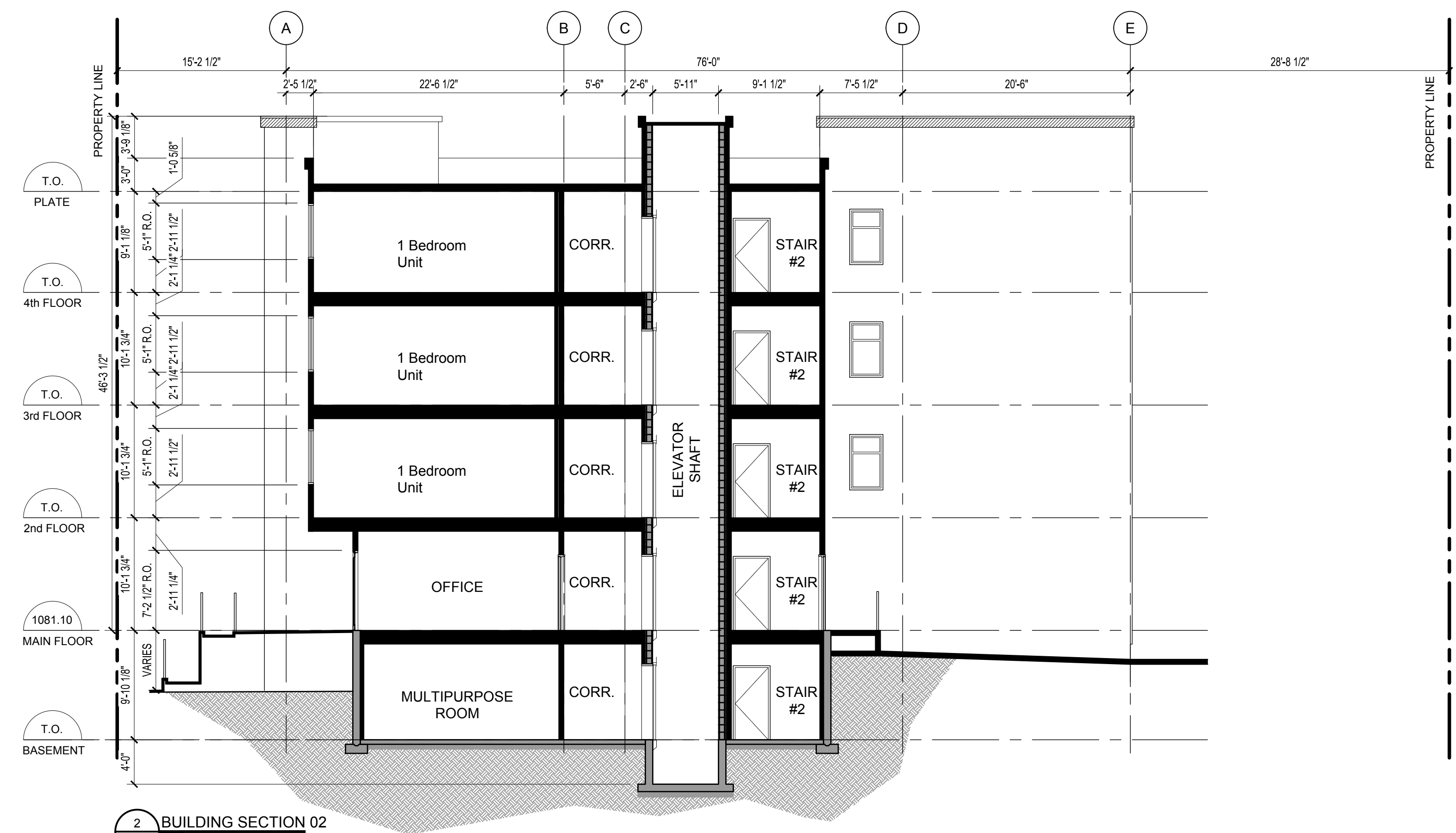
3 SOUTH ELEVATION  
DP06 1/8" = 1'-0"



4 EAST ELEVATION  
DP06 1/8" = 1'-0"



2 BUILDING SECTION 01  
DP07 1/8" = 1'-0"

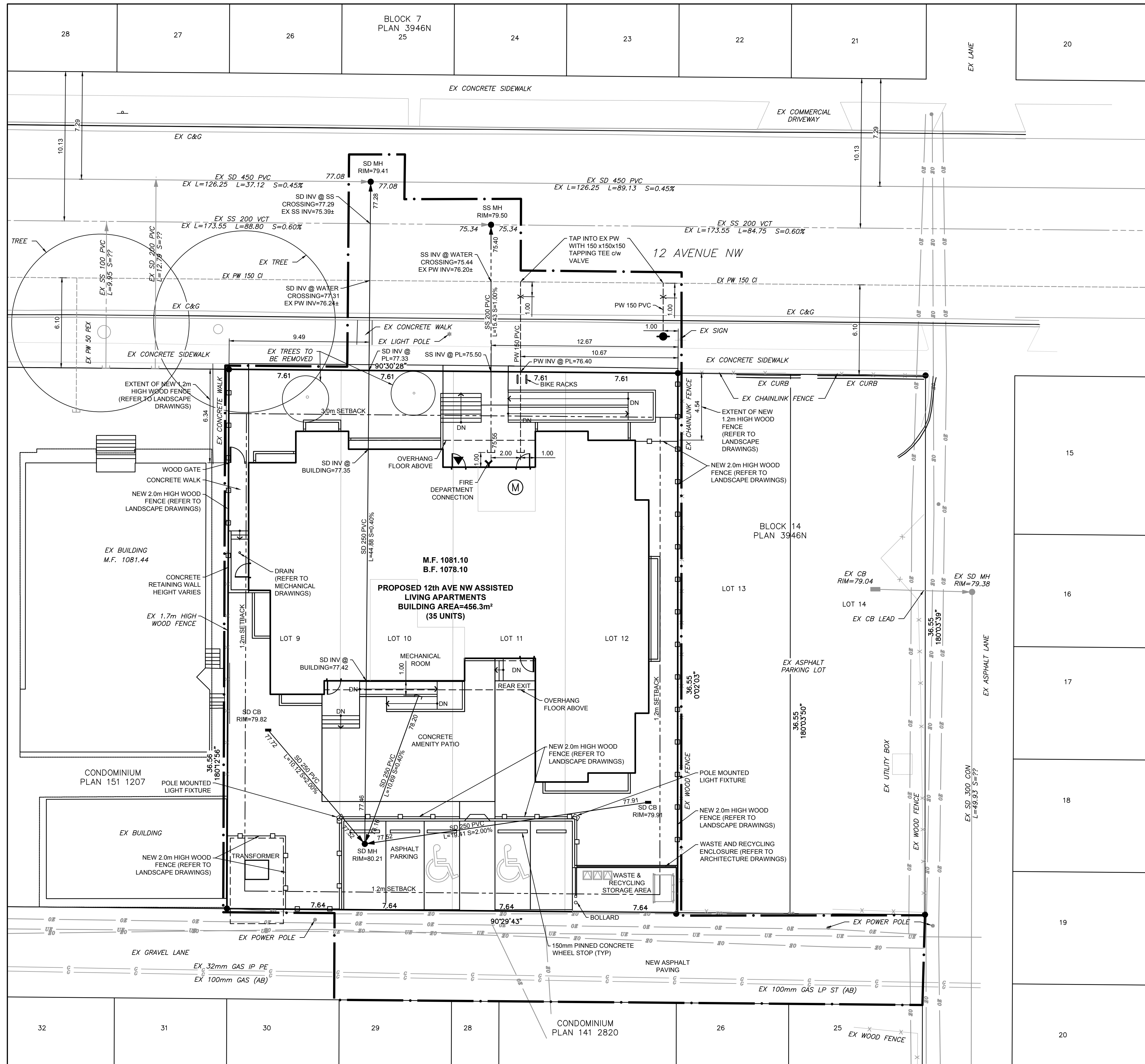


2 BUILDING SECTION 02  
DP07 1/8" = 1'-0"



3 STREET ELEVATION VIEW  
DP07 1/8" = 1'-0"

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**LEGEND**

	CONSTRUCTION BOUNDARY
	SITE PROPERTY LINE
	RIGHT OF WAY LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD POWERLINE
	EXISTING COMMUNICATION
	EXISTING STREET LIGHT/CATV/UNDERGROUND POWERLINE
	CHAIN LINK FENCE
	WOOD FENCE
	DITCH/GRASS SWALE
	CONCRETE CURB
	MATCH EXISTING GROUND BOUNDARY
	EXISTING CATCH BASIN LEAD
	STORM PIPE
	SANITARY STORM PIPE
	SANITARY SEWER MAIN
	EXISTING SANITARY SEWER MAIN
	WATERMAIN
	EXISTING WATERMAIN

<b>PROPOSED</b>	<b>EXISTING</b>	
		TYPE 5A MANHOLE
		TYPE 1-S MANHOLE
		CATCH BASIN
		DOUBLE CATCH BASIN
		GRATED TOP CATCH BASIN/MANHOLE
		HIGH POINT
		PUMPER HYDRANT
		SIAMESE CONNECTION
		VALVE
		CHECK VALVE
		MAIN VALVE
		TYPE 5A MANHOLE WITH PLASTIC PLUG
		POWERPOLE
		STREET LIGHT
		ELECTRIC PEDESTAL
		TELUS PEDESTAL
		CABLE TV PEDESTAL
		SIGN
		TRANSFORMER LOCATION
		WHEELCHAIR RAMP
		TREES
		MAIN FLOOR FINISHED ELEVATION
		METER ROOM LOCATION
		ENTRANCE DOOR
		EXISTING STATUTORY IRON SURVEY POST
		RIPRAP
		CATCH BASIN TYPE AND INLET CONTROL DEVICE TYPE

- NOTES**
- TOTAL DEVELOPMENT AREA = 0.1119ha.
  - SITE PLAN PROVIDED BY IBI GROUP, DATED SEPTEMBER 19, 2022.
  - SITE SURVEY PROVIDED BY TRONNES GEOMATICS INC., DATED JULY 12, 2022.
  - LEGAL INFORMATION/SURVEY PROVIDED BY TRONNES GEOMATICS INC., DATED JULY 14, 2022. BOUNDARY DIMENSIONS DERIVED FROM REGISTERED PLANS AND CERTIFICATES OF TITLE.
  - ALL CONSTRUCTION IS TO CONFORM TO CITY OF CALGARY SPECIFICATIONS UNLESS NOTED OTHERWISE.
  - ADD 1000 TO ALL ELEVATIONS TO ACHIEVE GEODETIC DATUM.
  - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS AND REPORT ALL ERRORS OR OMISSIONS TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS.
  - MAINTAIN 3.00m COVER ON ALL WATER LINES.
  - ALL SERVICES TO STOP 1.00 METERS FROM BUILDING.
  - ALL FITTINGS SHALL HAVE CATHODIC PROTECTION PROVIDED WITH ZINC ANODES.
  - ALL MANHOLES ARE TYPE 5A SRC UNLESS OTHERWISE NOTED.
  - ALL PVC PIPE TO BE INSTALLED WITH CLASS III BEDDING AS PER ASTM D2321 AND FULL COMPACTION.
  - ALL CONCRETE SEWERS AND CATCH BASIN LEADS TO BE INSTALLED WITH CLASS C BEDDING AND FULL COMPACTION.
  - PROVIDE A READILY ACCESSIBLE LOCATION FOR THE WATER METER, SERVICING THE BUILDING ON THE INSIDE OF THE FOUNDATION WALL THROUGH WHICH THE SERVICE PIPE ENTERS THE BUILDING.
  - CONCRETE PIPE TO BE FITTED WITH RUBBER GASKETS (RG, SRC).
  - INSULATION REQUIRED IF LESS THAN 2.5m OF COVER ON SANITARY OR 3.0m ON WATER AS PER INSULATION DETAIL 453.1044.001, CITY OF CALGARY.
  - ALL VALVES ARE 1.00m AWAY FROM CONNECTION POINT UNLESS OTHERWISE NOTED.



**DP SUBMISSION**

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD.
A	DP SUBMISSION	2022-09-30	MS/NI	RS

DESIGNED	BY	DATE (YYYY-MM-DD)
DRAWN	MS/NI	2022-09-26
CHECKED	RS	2022-09-26

SCALE: 1:150

**Calgary** **IBI** GROUP  
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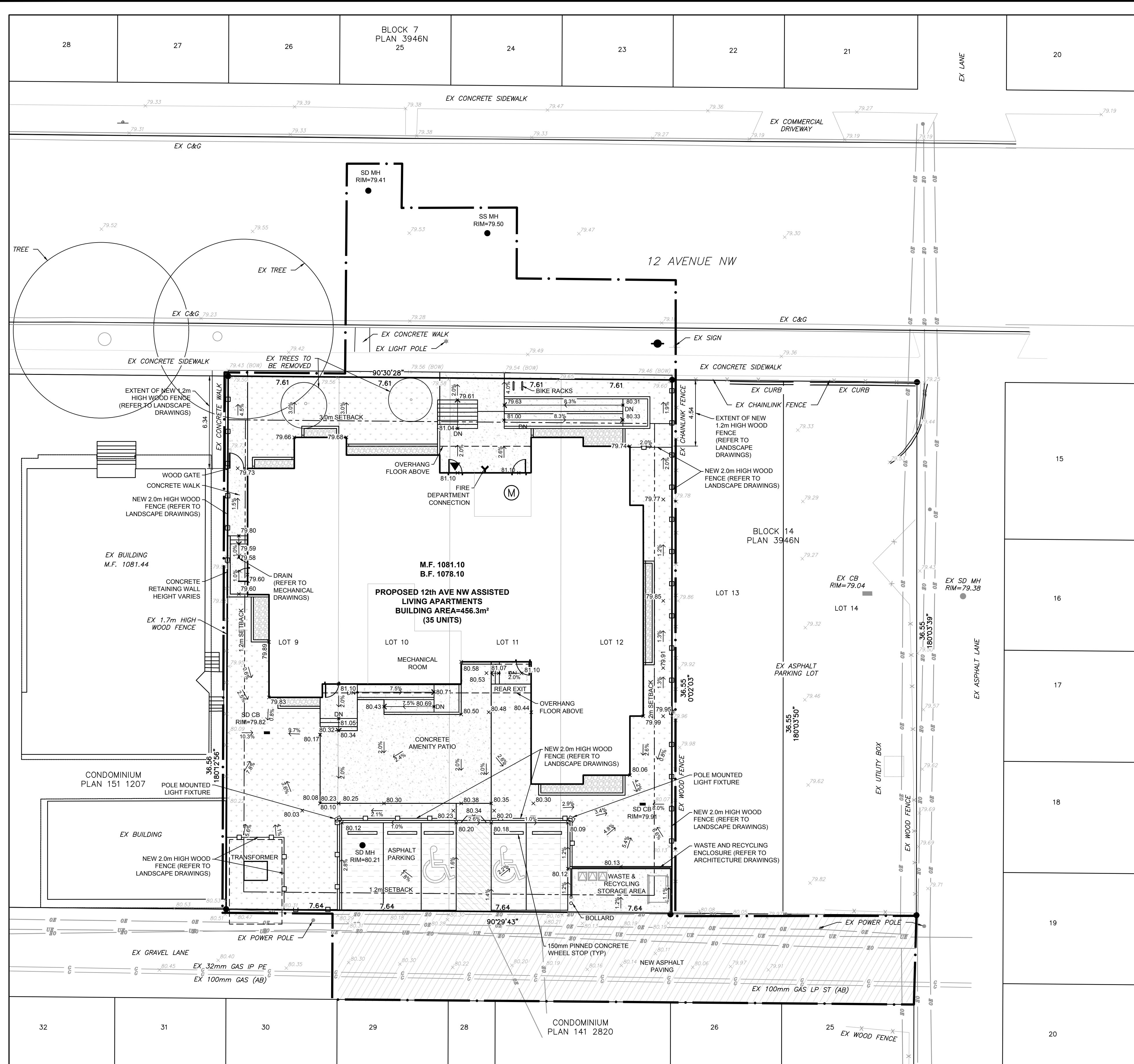
**PROJECT**  
**HOMESPACE 12th AVE NW ASSISTED LIVING APARTMENTS**  
 SEC: 22 - TWP: 24 - RGE: 1 - W 5th M

**SHEET TITLE**  
**UNDERGROUND LAYOUT PLAN**

FILE NO.	139998_base.dwg	ENG DWG NO.	
SHEET ID.	<b>C1.0</b>	SHEET NO.	<b>C1.0</b>
DRAWN	MS/NI	DATE (YYYY-MM-DD)	2022-09-26
BY		DATE (YYYY-MM-DD)	2022-09-26
PROFILE NO.			

**SITE INFORMATION**  
 LOT 9-12 BLOCK 14 PLAN 3946N  
 DP# 2022 #####  
 ADDRESS: 115115A/117 12 AV NW CALGARY, AB  
 LEGAL DESCRIPTION: NW 22-24-1-5

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**LEGEND**

- CONSTRUCTION BOUNDARY
- SITE PROPERTY LINE
- RIGHT OF WAY LINE
- DITCH/GRASS SWALE
- EXISTING DITCH/GRASS SWALE
- CHAIN LINK FENCE
- WOOD FENCE
- CONCRETE RETAINING WALL
- CONCRETE CURB
- MATCH EXISTING GROUND BOUNDARY

**PROPOSED**    **EXISTING**

- TYPE 5A MANHOLE
- TYPE 1-S MANHOLE
- CATCH BASIN
- DOUBLE CATCH BASIN
- GRATED TOP CATCH BASIN/MANHOLE
- HIGH POINT
- PUMPER HYDRANT
- SIAMESE CONNECTION
- TYPE 5A MANHOLE WITH PLASTIC PLUG
- POWERPOLE
- STREET LIGHT
- ELECTRIC PEDESTAL
- TELUS PEDESTAL
- CABLE TV PEDESTAL
- SIGN
- TRANSFORMER LOCATION
- WHEELCHAIR RAMP
- TREES
- MAIN FLOOR FINISHED ELEVATION
- ENTRANCE DOOR
- EXISTING STATUTORY IRON SURVEY POST
- RIPRAP
- CATCH BASIN TYPE AND INLET CONTROL DEVICE TYPE
- ORIGINAL GROUND MAJOR CONTOUR
- ORIGINAL GROUND MINOR CONTOUR
- TRAP-LOW NUMBER
- TRAP-LOW AREA TO SPILL ELEVATION
- EXISTING TRAP-LOW AREA TO SPILL ELEVATION
- HEAVY DUTY ASPHALT
- ASPHALT PARKING
- WINDOW WELL WASHED ROCK
- BRUSHED CONCRETE
- LANDSCAPE AREA
- EXISTING OVERLAND DRAINAGE ROUTE
- OVERLAND DRAINAGE ROUTE
- REVISION NOTE
- DIRECTION OF DRAINAGE FLOW
- FINISHED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- REMOVED EXISTING GRADE ELEVATION

**TL 5**

**TRAP-LOW AREA TO SPILL ELEVATION**

**EXISTING TRAP-LOW AREA TO SPILL ELEVATION**

**HEAVY DUTY ASPHALT**

**ASPHALT PARKING**

**WINDOW WELL WASHED ROCK**

**BRUSHED CONCRETE**

**LANDSCAPE AREA**

**EXISTING OVERLAND DRAINAGE ROUTE**

**OVERLAND DRAINAGE ROUTE**

**REVISION NOTE**

**DIRECTION OF DRAINAGE FLOW**

**FINISHED GRADE ELEVATION**

**EXISTING GRADE ELEVATION**

**REMOVED EXISTING GRADE ELEVATION**

- NOTES**
- TOTAL DEVELOPMENT AREA = 0.1115ha.
  - SITE PLAN PROVIDED BY IBI GROUP, DATED SEPTEMBER 19, 2022.
  - SITE SURVEY PROVIDED BY TRONNES GEOMATICS INC., DATED JULY 12, 2022.
  - LEGAL INFORMATION/SURVEY PROVIDED BY TRONNES GEOMATICS INC., DATED JULY 14, 2022. BOUNDARY DIMENSIONS DERIVED FROM REGISTERED PLANS AND CERTIFICATES OF TITLE.
  - ALL CONSTRUCTION IS TO CONFORM TO CITY OF CALGARY SPECIFICATIONS UNLESS NOTED OTHERWISE.
  - ADD 1000 TO ALL ELEVATIONS TO ACHIEVE GEODETIC DATUM.
  - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS AND REPORT ALL ERRORS OR OMISSIONS TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS.
  - TIE-IN ELEVATIONS TO THE EXISTING SURFACE TO BE CONFIRMED PRIOR TO CONSTRUCTION.
  - PROPOSED CURB HEIGHT IS 150mm UNLESS OTHERWISE NOTED.



**DP SUBMISSION**

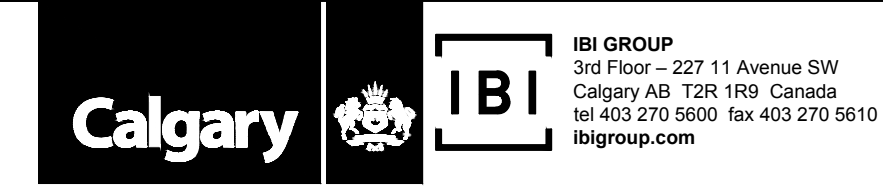
NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD
A	DP SUBMISSION	2022-09-30	MS/NI	RS

**PERMIT**

NO.	DESCRIPTION	DATE (YYYY-MM-DD)	BY	APPD

DESIGNED	BY	DATE (YYYY-MM-DD)
	NS	2022-09-26
DRAWN	MS/NI	2022-09-26
CHECKED	RS	2022-09-26

SCALE: 1:500 (HORZ) 0 10 20m  
1:50 (VERT) 0 1 2m



**PROJECT**

**HOMESPACE 12th AVE NW ASSISTED LIVING APARTMENTS**

SEC. 22 - TWP. 24 - RGE. 1 - W 5th M

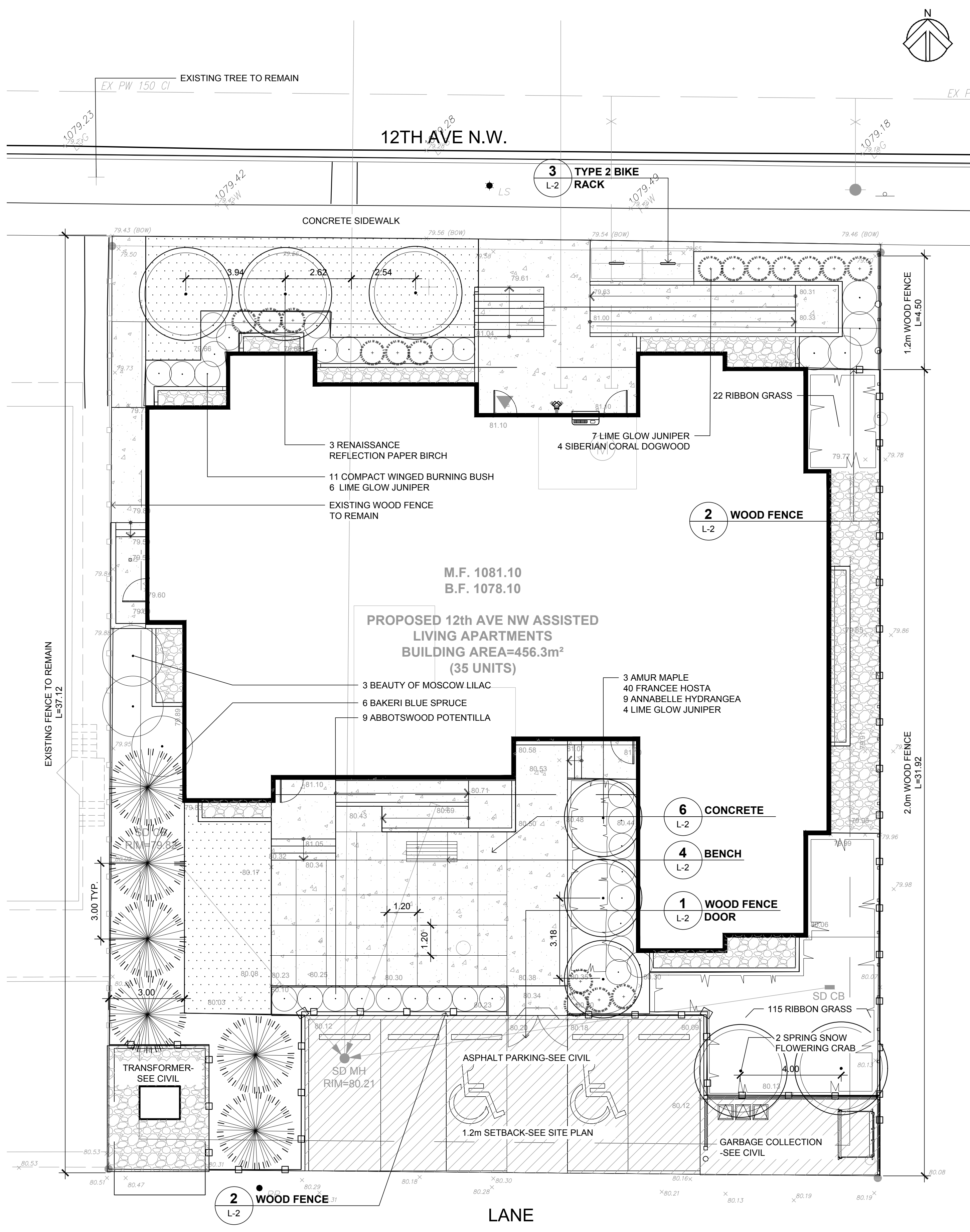
**SHEET TITLE**

**SURFACE AND GRADING PLAN**

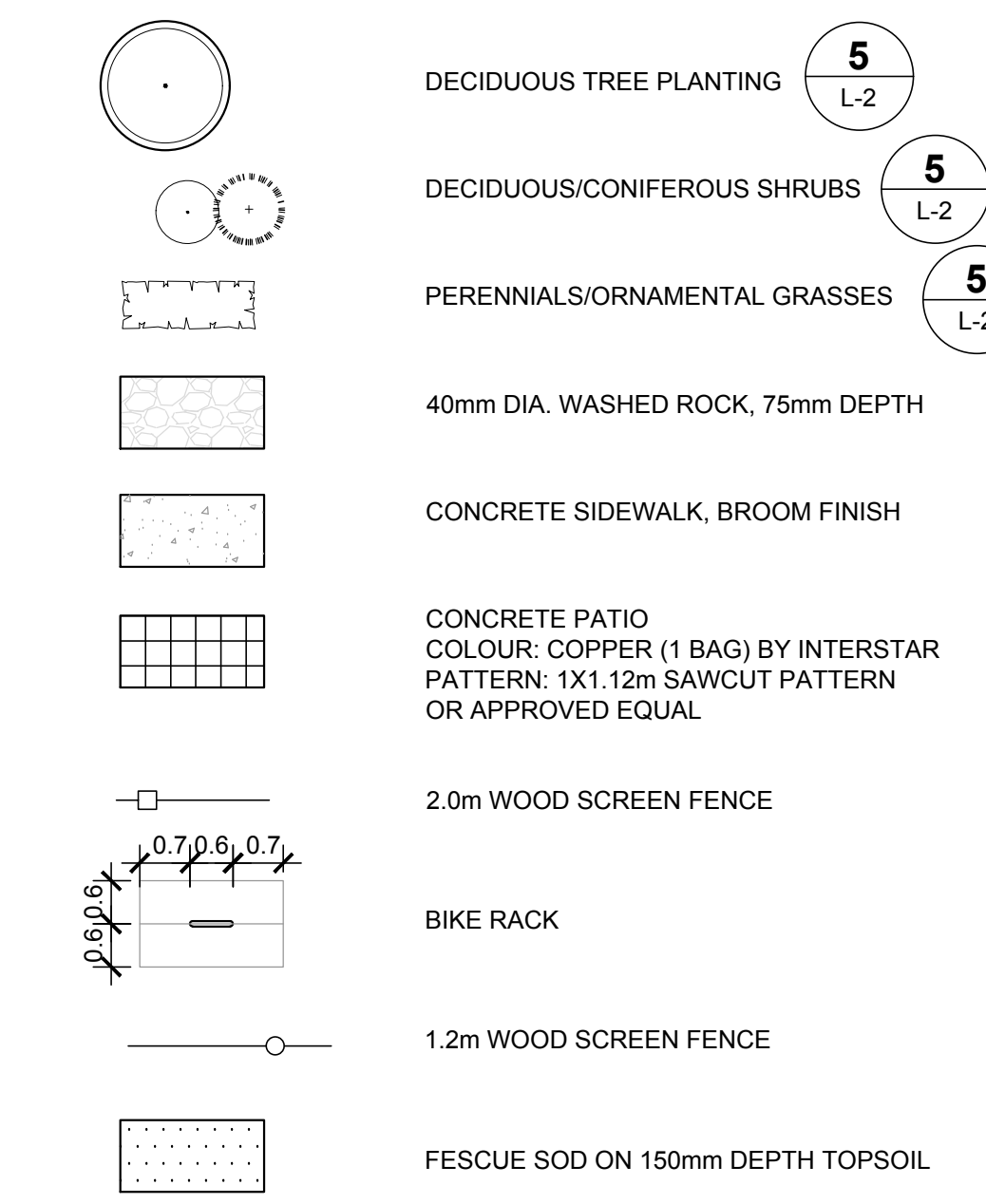
FILE NO.	139998_base.dwg	ENG DWG NO.	
SHEET ID.	<b>C2.0</b>	SHEET NO.	<b>C2.0</b>
DATE	2022-09-26	DATE	2022-09-26
BY	MS/NI	DATE	2022-09-26
DRAWN	MS/NI	DATE	2022-09-26

**SITE INFORMATION**

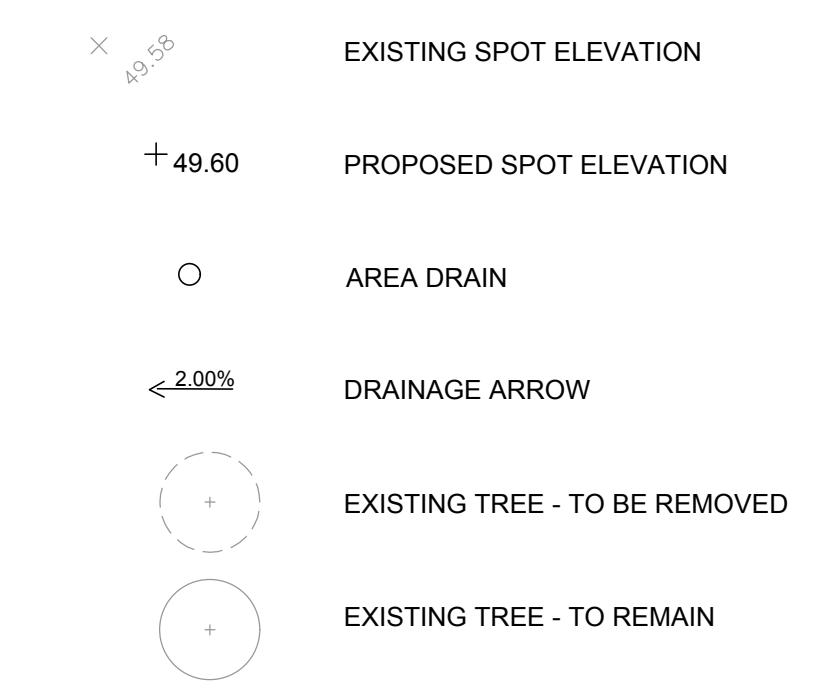
LOT 9-12 BLOCK 14 PLAN 3946N  
DP# 2022-####  
ADDRESS: 115115/117 12 AV NW CALGARY, AB  
LEGAL DESCRIPTION: NW 22-24-1-5



**LANDSCAPE LEGEND**



**GRADING LEGEND**



**PLANT SCHEDULE**

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
<b>DECIDUOUS TREES</b>				
3	BETULA PAPPYRIFERA 'RENCI'	RENAISSANCE REFLECTION PAPER BIRCH	75mm CAL.	B&B
3	ACER GINNALA 'MULTI-STEM'	AMUR MAPLE (MULTI-STEM)	50mm CAL	B&B
2	MALUS 'SPRING SNOW'	SPRING SNOW FLOWERING CRAB	75mm CAL	B&B
<b>CONIFEROUS TREE</b>				
6	PICEA PUNGENS 'BAKERI'	BAKERI BLUE SPRUCE	3000mm HT.	B&B
<b>CONIFEROUS SHRUBS</b>				
17	JUNIPERUS HORIZONTALIS 'LIMEGLOW'	LIME GLOW JUNIPER	400mm HT.	#5 CONT.
<b>DECIDUOUS SHRUBS</b>				
9	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	600mm HT.	#5 CONT.
4	CORNUS ALBA 'SIBIRICA'	SIBERIAN CORAL DOGWOOD	600mm HT.	#5 CONT.
9	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	600mm HT.	#5 CONT.
11	EUONYMUS ALATUS 'COMPACTUS'	COMPACT WINGED BURNING BUSH	600mm HT.	#5 CONT.
3	SYRINGA VULGARIS 'BEAUTY OF MOSCOW'	BEAUTY OF MOSCOW LILAC	600mm HT.	#10 CONT.
<b>PERENNIAL</b>				
40	HOSTA 'FRANCEE'	FRANCEE HOSTA		15cm CONT.
137	PHALARIS ARUNDINACEA 'PICTA'	VARIEGATED RIBBON GRASS		15cm CONT.

**IRRIGATION NOTES**

1. DRIP IRRIGATION SYSTEM TO BE DESIGN BUILD BY CONTRACTOR
2. THE IRRIGATION CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES AND SERVICES PRIOR TO CONSTRUCTION.
3. ENSURE A PROPER BACKFLOW PREVENTER IS INSTALLED AS PER THE NATIONAL PLUMBING CODE OF CANADA 2010
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE PROPER SPACING AND COVERAGE.
5. LOCATION OF DRIP IRRIGATION LINES ARE TO COORDINATED WITH TREE AND SHRUB PLANTING. NO GRASS AREAS TO BE IRRIGATED.
6. IRRIGATION LINES CROSSING UNDER WALKWAYS SHALL BE ENCASED IN SCH 40 PVC SLEEVES WITH MINIMUM 300mm COVER. DIAMETER OF SLEEVES SHALL BE 2 X THE SUM OF THE DIAMETERS OF ENCASED IRRIGATION LINES. INSTALL ADJACENT 50mm WIRE CONDUIT WITH MAIN LINE CROSSING.
7. WIRE SPLICES SHALL BE MADE WITH 3M DBY CONNECTORS AND HOUSED IN CARSON-BROOKS LOCKING VALVE BOX. PROVIDE 1.0m MINIMUM LENGTH WIRE SLACK COILED INSIDE SPLICE BOX AND AT CHANGES IN MAINLINE DIRECTION.
8. INSTALL 1 SPARE # 14 WIRE FROM CONTROLLER CONTINUOUSLY FROM VALVE TO VALVE THROUGHOUT SYSTEM. COIL 600mm LENGTH OF SPARE WIRE NEATLY INTO EACH VALVE BOX.

**MAINTENANCE, WARRANTY NOTES**

1. THE MAINTENANCE & WARRANTY PERIOD TO BE ONE FULL GROWING SEASON (MAY-OCT) FROM SUBSTANTIAL COMPLETION OF THE LANDSCAPE.
2. WATER ALL PLANT MATERIAL AS REQUIRED FOR THE DURATION OF THE MAINTENANCE PERIOD.
3. WITHIN THE WARRANTY PERIOD, ANY DEAD TREES AND SHRUBS OR PLANT MATERIAL IN POOR CONDITION AS NOTED BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

**NOTES**

ALL AREAS OF SOFT LANDSCAPING SHALL BE PROVIDED WITH AN LOW WATER UNDERGROUND SPRINKLER IRRIGATION SYSTEM  
 ALL CONSTRUCTION AND PLANTING DETAILS TO BE IN ACCORDANCE WITH THE CITY OF CALGARY PARKS AND RECREATION, STANDARD SPECIFICATIONS FOR LANDSCAPE CONSTRUCTION, CURRENT EDITION.

ALL PLANT MATERIALS TO BE HIGH QUALITY / SPECIMEN.  
 DRAINAGE FLOWS TO BE DIRECTED AWAY FROM ALL BUILDINGS AT A MINIMUM GRADE OF 2%. PLANT LOCATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL TREES AND SHRUBS SHALL BE PLANTED IN BEDS WITH A MINIMUM 75mm DEPTH OF CLEAN WOOD FIBRE MULCH (MAXIMUM 100mm)

TEMPORARY TREE PROTECTION FENCING OR BARRIER MATERIAL SHALL BE A BRIGHT OR CONTRASTING COLOUR AND BE DURABLE. FENCE POSTS SHALL BE COMPARABLE TO METAL T-POSTS OR HEAVIER. FENCE WILL BE MAINTAINED IN AN UPRIGHT POSITION THROUGHOUT THE DURATION OF THE PROJECT, AS PER CITY OF CALGARY PARKS TREE PROTECTION PLAN SPECIFICATIONS.  
 ALL UTILITIES MUST BE INSTALLED PRIOR TO PLANTING. ALL UTILITIES SHALL BE LOCATED PRIOR TO ANY EXCAVATION. TREE PROTECTION FENCING TO REMAIN IN PLACE FOR DURATION OF SITE CONSTRUCTION. AN URBAN FORESTRY TECHNICIAN MUST BE ONSITE TO MITIGATE POSSIBLE ROOT DAMAGE TO ADJACENT PUBLIC TREES DURING EXCAVATION FOR DEEP UTILITIES.

ALL TREES WITHIN 6.0m OF THE PROJECT BOUNDARY SHALL BE PROTECTED BY FENCING DESCRIBED IN THE NOTES ABOVE.

PRIOR TO CONSTRUCTION, AND AFTER TEMPORARY FENCE INSTALLATION, THE CONTRACTOR SHALL CONTACT CITY OF CALGARY URBAN FORESTRY AND ARRANGE AN ON SITE MEETING PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR SHALL ADHERE TO ALL CITY OF CALGARY URBAN FORESTRY REQUIREMENTS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION (SEE CITY OF CALGARY "TREE PROTECTION PLANS FOR CAPITAL PROJECTS" BROCHURE.)

NO STORAGE OF CONSTRUCTION MATERIALS SHALL OCCUR WITHIN FENCED TREE PROTECTION ZONES.

**PLANTING REQUIREMENTS**

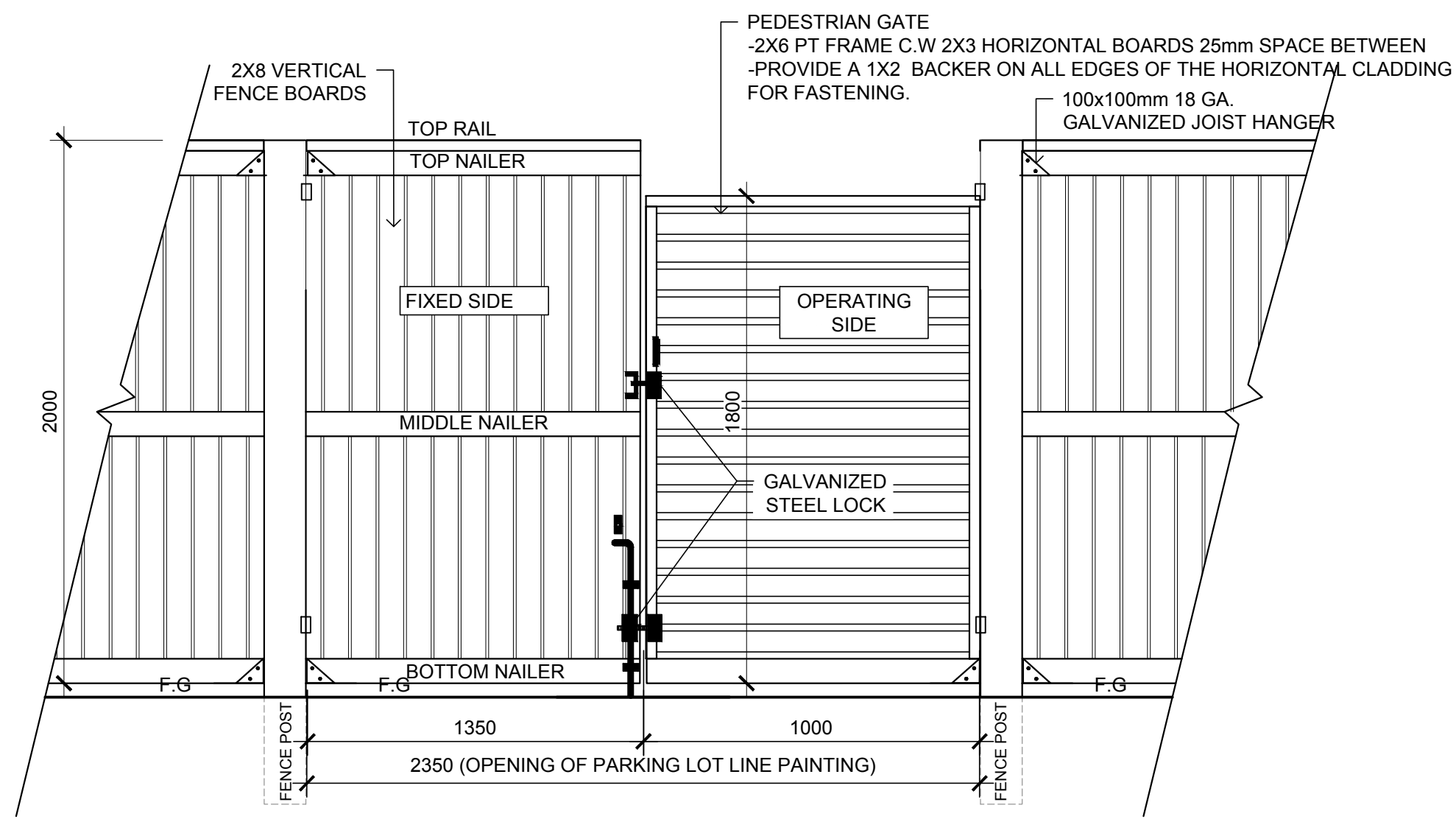
ZONING: MC-1  
 TOTAL LANDSCAPE AREA: 538m<sup>2</sup>  
 TOTAL LANDSCAPE AREA: 48.3%  
 \*\*SOFT LANDSCAPE REQUIRED (269m<sup>2</sup>, MIN 50%)  
 SOFT LANDSCAPE PROVIDED - 280m<sup>2</sup>, 52%  
 HARD LANDSCAPE REQUIRED (269m<sup>2</sup>, MAX 50%)  
 HARD LANDSCAPE PROVIDED -259m<sup>2</sup>, 48%  
 \*\*STREET ORIENTED BUILDING REQUIREMENT USED

TREES REQUIRED (1/45m <sup>2</sup> )	12
TREES PROVIDED	14
SHRUBS REQUIRED (2/45m <sup>2</sup> )	24
SHRUBS PROVIDED	53

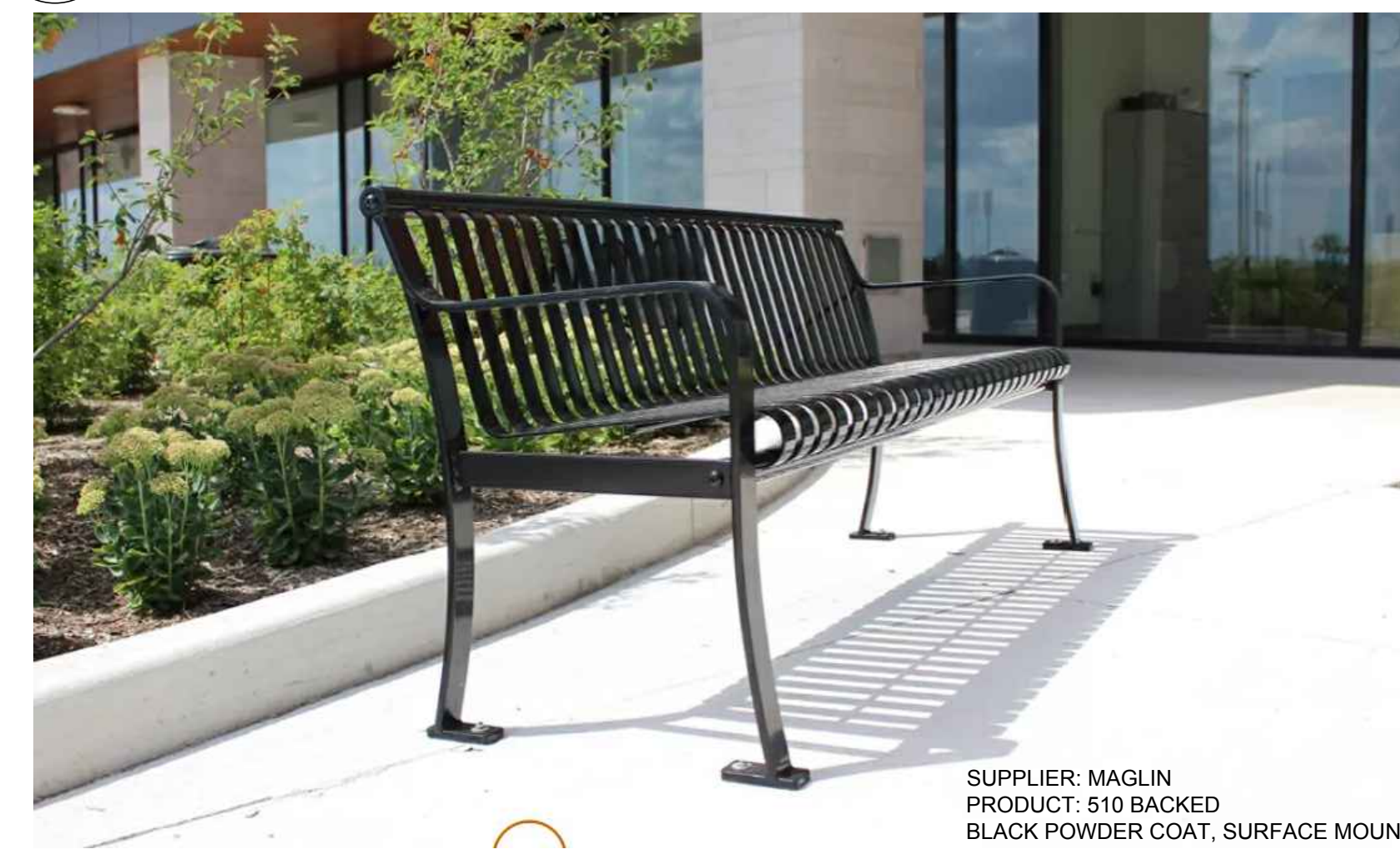
CON. TREES, 2m HT. REQ.	1
CON. TREES, 2m HT. PROVIDED	0
CON. TREES, 3M HT. REQ.	2
CON. TREES, 3m HT. PROVIDED	6
DEC. TRESS, 50mm CAL. REQ.	4
DEC. TRESS, 50mm CAL. PROVIDED	3
DEC. TRESS, 75mm CAL. REQ.	5
DEC. TREES, 75mm CAL. PROVIDED	5

TOTAL TREES PROVIDED 14

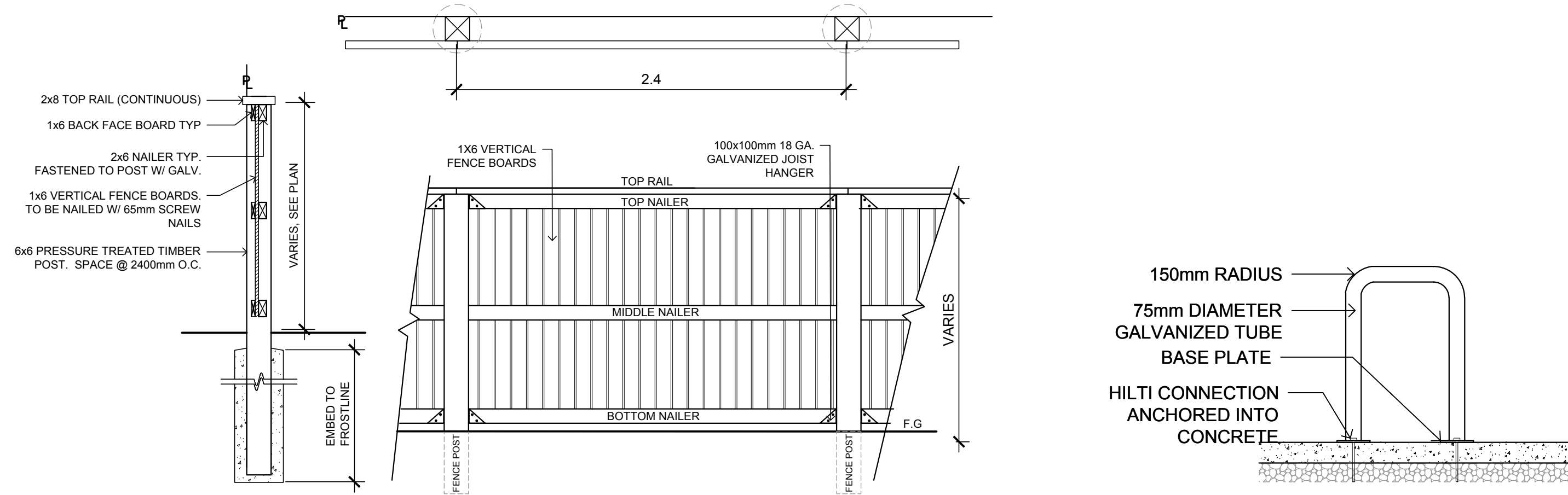
**1 LANDSCAPE AND GRADING PLAN**  
 L-1 1:100



**1 WOOD FENCE DOOR**  
 L-2 1:20

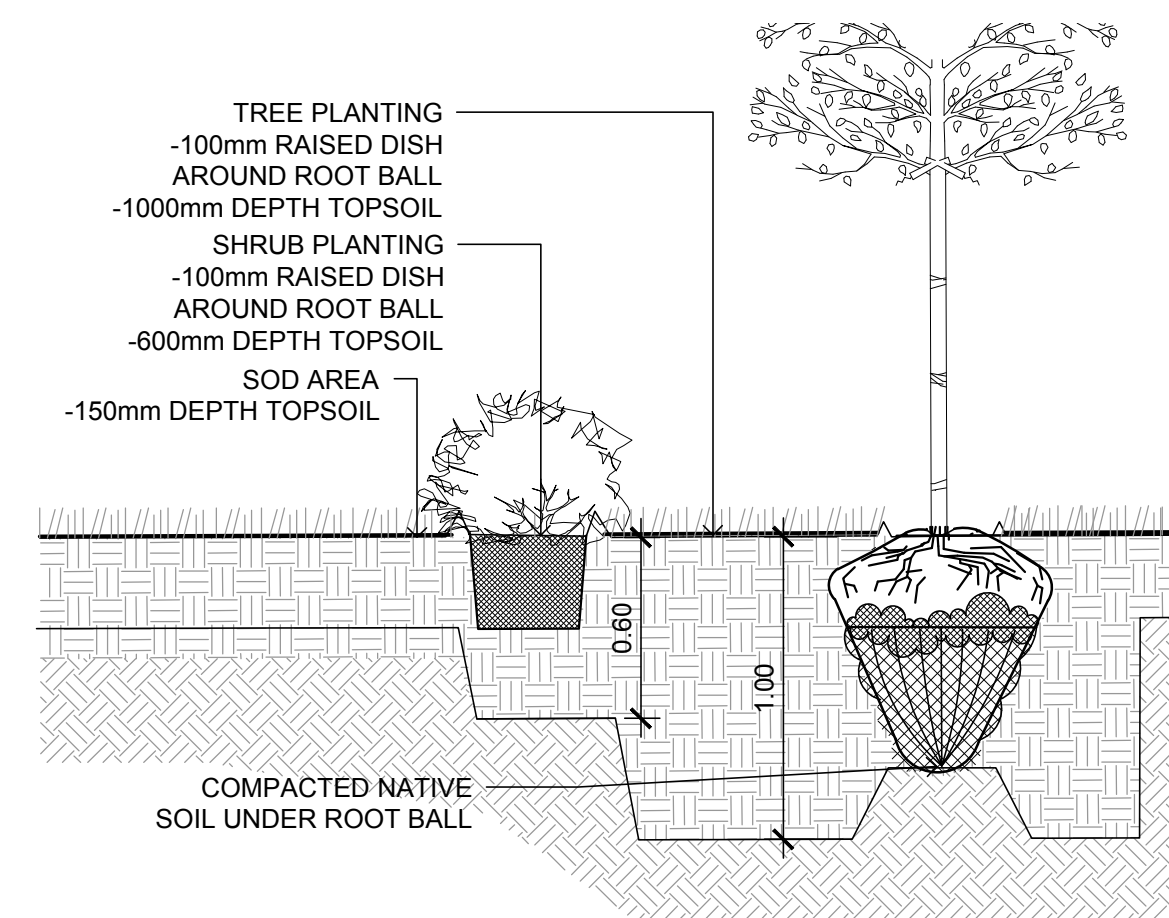


**4 BENCH**  
 L-2 1:20

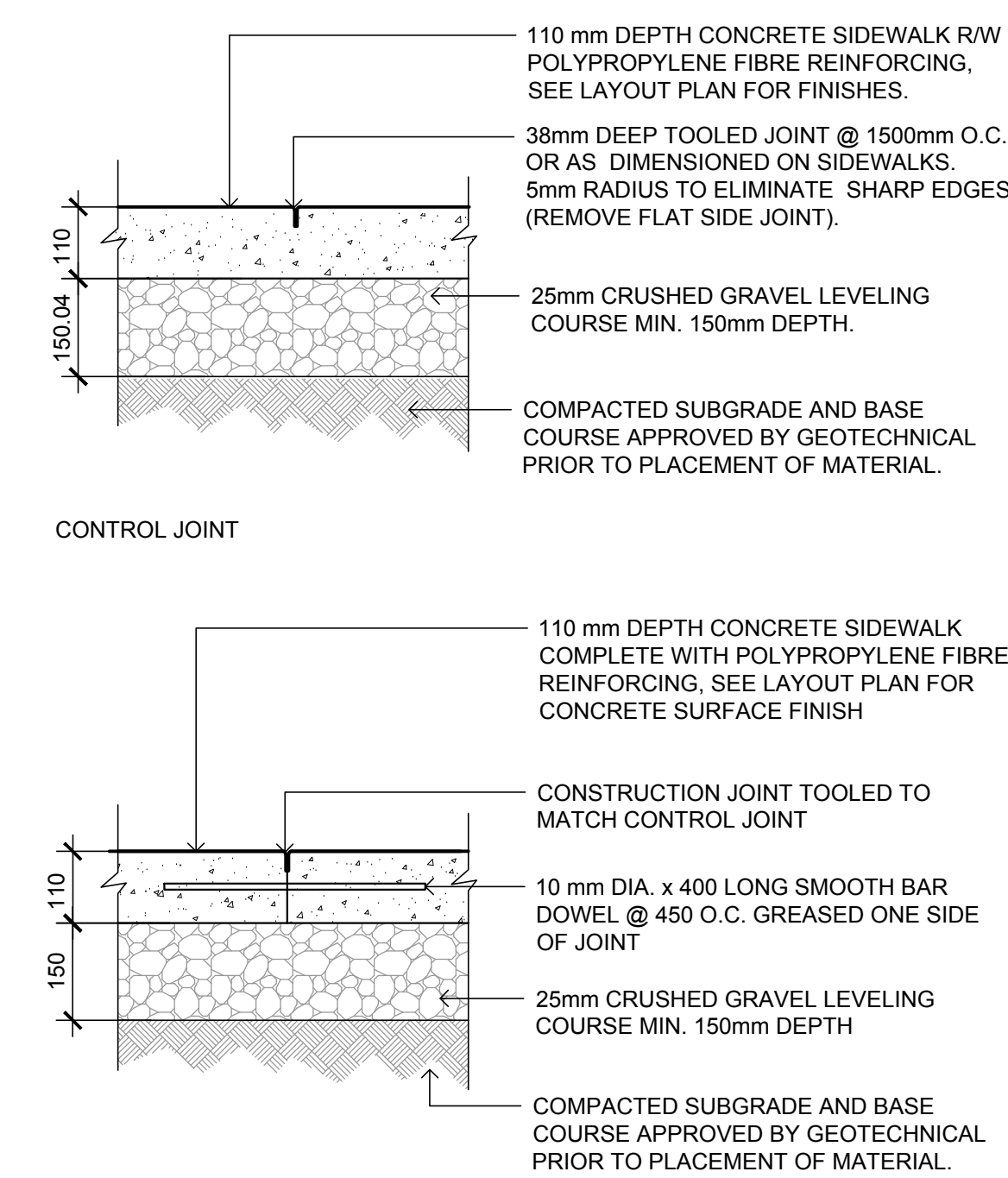


**2 WOOD FENCE**  
 L-2 1:20

**3 TYPE 2 BIKE RACK**  
 L-1 1:20



**5 PLANTING DETAIL**  
 L-2 1:25



**6 CONCRETE DETAILS**  
 L-2 1:10